

PLANNING & DEVELOPMENT COMMITTEE

Tuesday, September 15, 2015

6:00 pm

Council Board Room

One Batavia City Centre, Batavia NY

AGENDA

- I. Roll Call
- II. Call to Order
- III. Approval of Minutes – 8/18/15
- IV. Proposals

Address: *206 Main Street (Main Street Pizza)*

Applicant: Ronald Viele (contractor)

Proposal 1: Alterations to the exterior of this commercial building located within the Business Improvement District (BID)

Actions: 1. Review application
2. Discussion and action by the board

Address: *73 Union Street*

Applicant: Thomas Rapone (agent for Notre Dame School)

Proposal 2: Placement of a 37 sq.' unlit wall sign on the east elevation of this school building located within the R-1A residential use district residential use district

Actions: 1. Review application
2. Discussion and action by the board

Address: *190 Oak Street*

Applicant: Donald Morris (agent for First Free Will Baptist Church)

Proposal 3: Placement of a free standing digital reader board sign in the front (west) yard of this church property located within the R-1 residential use district

Actions: 1. Review application
2. Discussion and action by the board

Address: *29-33 Liberty Street*

Applicant: Rick Mancuso (agent for Reinhart Enterprises Inc.)

Proposal 4: Site plan review of a proposed 15,390 sq.' (171' x 90') one story warehouse addition to an existing industrial/business complex. The location of this planned building is in the southeast corner of this parcel

and was the site of a previous demolition that resulted in the removal of approximately 25,832 sq.' of structure

- Actions:
1. Review application
 2. Public hearing
 3. Discussion and action by the board

Address: 218 West Main Street

Applicant: Terry Smith (tenant)

Proposal 5: Placement of two 7.29' x 9.87 wall signs on this commercial use building, one on the west side and one on the east side

- Actions:
1. Review application
 2. Discussion and action by the board

Address: 264 Bank Street

Applicant: Randy Bebout (project manager)

Proposal 6: Replacement and expansion of the existing parking lot and construction of a dumpster enclosure on this medical office use parcel

- Actions:
1. Review application
 2. Discussion and action by the board

Address: 401-409 West Main Street (Dunkin Donuts)

Applicant: Robert Fitzgerald, PE (project engineer)

Proposal 7: Sketch Plan Review – Presentation of sketch plan for a redesigned Dunkin Donuts submittal. The purpose of this meeting will be to familiarize the City with the proposed project and provide the applicant an opportunity to obtain direction and guidance from the Planning and Development Committee prior to final submission of the site plan

- Actions:
1. Review application
 2. Discussion and recommendations

V. Other/ New Business/Updates

VI. Setting of Next Meeting: October 20, 2015

VII. Adjournment

PLANNING & DEVELOPMENT COMMITTEE

MINUTES

August 18, 2015 6:00 pm

Council Board Room
One Batavia City Centre, Batavia NY

Members present: *Edward Flynn, Alfred McGinnis, Duane Preston*

Members absent: Matthew Gray, Rachael Tabelski

Others present: *Meg Chilano – Recording Secretary, Jason Molino – City Manager, Doug Randall – Code Enforcement Officer*

I. Roll Call

Roll call of the members was conducted. Three members were present and Chairman Preston declared a quorum.

II. Call to order

Mr. Preston called the meeting to order at 6:02 pm.

III. Previous Meeting Minutes

Mr. Flynn moved to approve the minutes; the motion was seconded by Mr. McGinnis, and on roll call, was approved 3-0.

Result: Approval of June 16, 2015 meeting minutes.

IV. Proposals

- A. Alterations to the exterior of this commercial building located within the Business Improvement District (BID)

Address: *206 East Main Street*

Applicant: Ronald Viele (contractor)

- Actions: 1. Review application
2. Discussion and action by the board

This proposal was withdrawn by the applicant prior to the meeting.

- B. Placement of one 5' x 2' unlit wall sign and two 4.6' x 4.6' window signs on the south elevation of this commercial building located within the BID

Address: *315 Ellicott Street*

Applicant: Steve Fairbanks (sign contractor)

- Actions:
1. Review application
 2. Discussion and action by the board

1. Review Application

Mr. Preston read the summary of the proposal. Mr. Preston stated that the Genesee County Planning Board recommended approval of the application.

Mr. Fairbanks described the sign as composite with an aluminum/plastic core. He said that the letters are vinyl and the color of the logo is red and green. The sign will be unlit.

2. Discussion and Action by the Board

Mr. Flynn asked if all three signs were necessary. Mr. Fairbanks answered that they could do without the one on the door.

MOTION: Mr. Flynn moved to approve the application with the condition that the door sign is removed. The motion was seconded by Mr. McGinnis, and on roll call, was approved 3-0.

RESULT: Approval of sign permits.

- C. Subdivision of this existing parcel into two separate parcels and construction of an approximately 1,700 sq.' Dunkin Donuts restaurant with a drive-through window on the newly created parcel. Applications for: minor subdivision, site plan review, special use permit for drive-in restaurant, special sign permits, and recommendations to the ZBA for area variances

Address: 401-409 West Main Street

Applicant: Kip Finley (agent for the owner)

- Actions:
1. Review application
 2. Public hearing
 3. Discussion and action by the board

1. Review Application

Mr. Preston explained that the applicant had submitted a proposal for a site plan review at the same location the previous year at the September meeting of the PDC. The site plan had been denied last year, and this year, the applicant returned with another proposal and a new site plan. Mr. Preston then read the summary of the current proposal.

Mr. Preston reported that the Genesee County Planning Board recommended disapproval. He said that a supermajority would be needed in order to override the decision of the Planning Board. Mr. Preston explained that the Planning and Development Committee only had three members in attendance and would not be able to vote on the proposal; however, the PDC would still proceed to hold a public hearing.

Kip Finley from Indus Hospitality Group presented the Dunkin Donuts project. He said that Indus intends to purchase a portion of the Five Star property for the purpose of erecting a Dunkin Donuts restaurant with a drive-through window. According to Mr. Finley, Mike Mikolajczyk, owner of the already established Dunkin Donuts, will be the operator of the new Dunkin Donuts.

Mr. Finley noted that the PDC had previously requested that a traffic study be conducted, which Indus complied with for this proposal. He said that for the traffic study Stantec took into consideration the intersections, traffic on the highway, traffic on River Street, and circulation on the site. After the analysis was complete, Mr. Finley said that they sent the traffic study to the Department of Transportation, the permitting agency for West Main Street, for a recommendation. According to Mr. Finley, the DOT recommended splitting the driveway so vehicles can only make a right in/right out turn. He said that one problem the DOT noted was the queue.

Mr. Finley explained that the previous plan allowed for six cars to enter the queue before it overflowed into the parking lot; but the new plan is different. Now the drive-through window is facing Five Star Bank. According to Mr. Finley, the new plan allows for eight cars to enter the queue before it overflows into the parking lot. He said that five more cars will fit into the parking area before the line backs onto the road.

Mr. Finley said that another concern expressed by the PDC concerning the previous plan had been building esthetics and signage. The first submission, according to Mr. Finley, was a Dunkin Donuts prototype, which he said was all about flashiness. He said that the new building has similar architecture but contains more classic features, such as grills on the windows. He also noted that the illumination has been removed from the signs and replaced with the goose-neck lighting that the properties on Main Street favor.

2. Public Hearing

Mr. Preston opened the public hearing at 6:20 pm. He read the procedures for public hearings into the minutes. (See attached.) He also read an email concerning the proposal into the minutes. (See attached.)

Douglas Kohorst, a resident of East Pembroke, was the first to speak. Mr. Kohorst said that based on what he heard at the meeting regarding the plans for Dunkin Donuts, he believes the proposal should be approved.

Nelson Baker, 20 Redfield Parkway, agreed with Mr. Kohorst. According to Mr. Baker, he has lived at this location since 1998 and he does not believe there will be any difference in the traffic if the project is approved. He said that he believes the only traffic that will be captured is eastbound traffic, and that the right in/right out driveway is an adequate solution.

Mike Barrett, 411 West Main Street, spoke next. Mr. Barrett stated that he has no objection to the plan as long as the easement is maintained between River Street and his property. He indicated that he needs the easement for deliveries and customers purchasing propane.

The next speaker was Don Fryling, who said that he has resided at 6 Redfield Parkway since 1978. According to Mr. Fryling, a child was struck by a car last week directly across from the proposed Dunkin Donuts site. He pointed out that traffic already backs up past the Tops signal at times, and that the additional traffic from Dunkin Donuts will create even greater congestion. He said that people are already accustomed to turning left into Five Star Bank, Batavia Marine, and Taco Bell and nothing will deter them from also turning left into Dunkin Donuts.

Mr. Fryling quoted Chief Heubusch as saying that he is uneasy about the possibility that this location could cause more traffic accidents. Mr. Fryling said that emergency staff has expressed concerns over the congestion that could be created between two traffic lights. He also quoted County Legislator, Ed De Janeiro, as saying that this is the wrong place for this business. According to Mr. Fryling, Councilman Cipollone agreed that the area is too congested.

Mr. Fryling related a situation that occurred in 1990 when a small project was proposed at the corner of Redfield Parkway and Main Street. The Genesee County Planning Board disapproved of the project saying that it would make traffic in an already congested area worse. Mr. Fryling pointed out that the project was proposed 25 years ago and the traffic is even worse today than it was back then.

Mr. Fryling noted that Batavia Municipal Code requires 68 spaces and that this small space will only accommodate about one third of that amount. He said that just because Dunkin Donuts claims that there is enough space for vehicles to park, it is not necessarily so.

Mr. Fryling said that there is a reason why the County has recommended disapproval two times: the lot is too small and the area too congested.

James Owen, 2 Redfield Parkway, said that he observes a tremendous traffic flow problem and though the donuts are great, he would prefer to see Dunkin Donuts in a different location. Mr. Owen pointed out the difficulties drivers experience when turning left off Redfield Parkway since the removal of the traffic signal. He said that not only is it nearly impossible to make a left-hand turn, at times it is so congested that it is just as difficult to turn right.

Kathy Owen, a resident of Redfield Parkway, said that she has lived there her entire life and she does not think the traffic study tells the story of the numerous near-miss accidents that occur in that congested area. She noted that the only time it is possible to easily make a left-

hand turn off Redfield Parkway is early in the morning, the time when Dunkin Donuts believes they will generate the most traffic. Ms. Owen expressed concern over how the traffic flow in the area will change when Park Road is closed due to the construction which will be taking place there. Her last concern was that the signage and lighting would be too bright for the neighborhood.

Mike Mikolajczyk, owner of the current Dunkin Donuts, said that he believes they have accounted for every issue the board wished them to address, such as making left-hand turns into the restaurant and the lighting. According to Mr. Mikolajczyk, the traffic study should be acceptable because it is based on fact, rather than opinion or theory. He told the board that he wants to be a good neighbor and that they have spoken with Mr. Barrett regarding the easements. Mr. Mikolajczyk said he believes they can compromise and work out issues with neighbors, and that they can be an asset to the area.

Nann Zorn, from 12 River Street where she said she has lived for 58 years, spoke last. Ms. Zorn said that the majority of traffic comes from Lewiston Road directly into the right lane from where cars can turn into Sport of Kings, The Batavia Commons Plaza, Taco Bell, or Batavia Marine, or they are anticipating a turn onto River Street. She stated that an additional stop in that area will create more driving hazards.

Ms. Zorn said that while all vehicles are supposed to enter the site as eastbound traffic, she does not believe that will happen in actuality. The Indus Group claims that drivers approaching from the west will have already stopped at the current Dunkin Donuts, but Ms. Zorn believes that the lure of the drive-through will lead vehicles approaching from the west to use the proposed Dunkin Donuts' entrance despite creating a hazard.

Another scenario Ms. Zorn proposed was that vehicles traveling westbound would turn onto River Street and then make an immediate right and cut through Five Star Bank's parking lot. Her concern is that the turn into Five Star is very close to the intersection and the site of many near accidents and that it could become more dangerous with customers trying to use it to get to Dunkin Donuts. She pointed out that frequently there are eight or nine cars lined up on River Street at the traffic light and how difficult it is for cars exiting the bank to get out.

Ms. Zorn commented on the amount of snow that fell this past winter and expressed concern over where that much snow could be plowed and piled. She added that Dunkin Donuts' plan for extensive landscaping, while esthetically pleasing, is not a substitute for a poor location.

Mr. Flynn moved to close the public hearing at 6:37 pm; the motion was seconded by Mr. McGinnis, and on roll call, was approved 3-0.

3. Discussion and Action by the Board

Mr. Preston noted once again that the Genesee County Planning Board recommended disapproval of the application and that a supermajority is needed to override their decision.

MOTION: Mr. Preston moved, therefore, to table the project and all actions including the minor subdivision, site plan reviews, special use permit, special sign permits, and recommendations to the ZBA for area variances until the September meeting.

The board recommended that Dunkin Donuts consider several revisions before returning to the next meeting:

- Reconsider drive-through layout. Having the lane run through the parking area is not going to work. (Mr. Preston cited Burger King as an example of how he would like to see the queue. Vehicles drive to the rear of the lot and line up along the back rather than wrapping around the building.)
- Traffic flow needs to be reconsidered, perhaps utilizing River Street.
- Landscaping between the sidewalk and parking lot is required and the plans do not show any.
- The number and size of signs, particularly the pylon sign, is beyond what is permitted.
- Include an assessment from the police.
- Engineer should provide examples of architectural options.
- Directions need to be labeled on the drawings.
- Provide information on existing easements and proposed easements.
- A larger queue is needed.

The motion was seconded by Mr. Flynn, and on roll call, was approved 3-0.

RESULT: Application tabled.

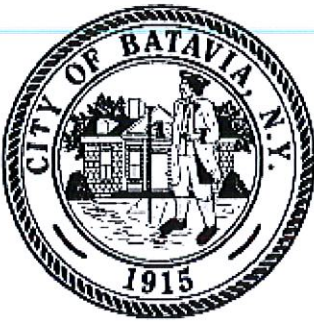
V. Other/New Business/Updates

VI. Setting of Next Meeting: September 15, 2015

VII. Adjournment

Mr. Preston moved to adjourn at the meeting at 6:43 pm. Mr. Flynn seconded. All voted in favor.

Meg Chilano
Bureau of Inspection Clerk



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 8/28/15 (updated)

Re: 206 East Main St. (Main Street Pizza)
Tax Parcel No. 84.058-1-2

Zoning Use District: C-3

The applicant, Ronald Viele (contractor), has filed an application for a building permit that involves alterations to the exterior of this commercial building located within the Business Improvement District.

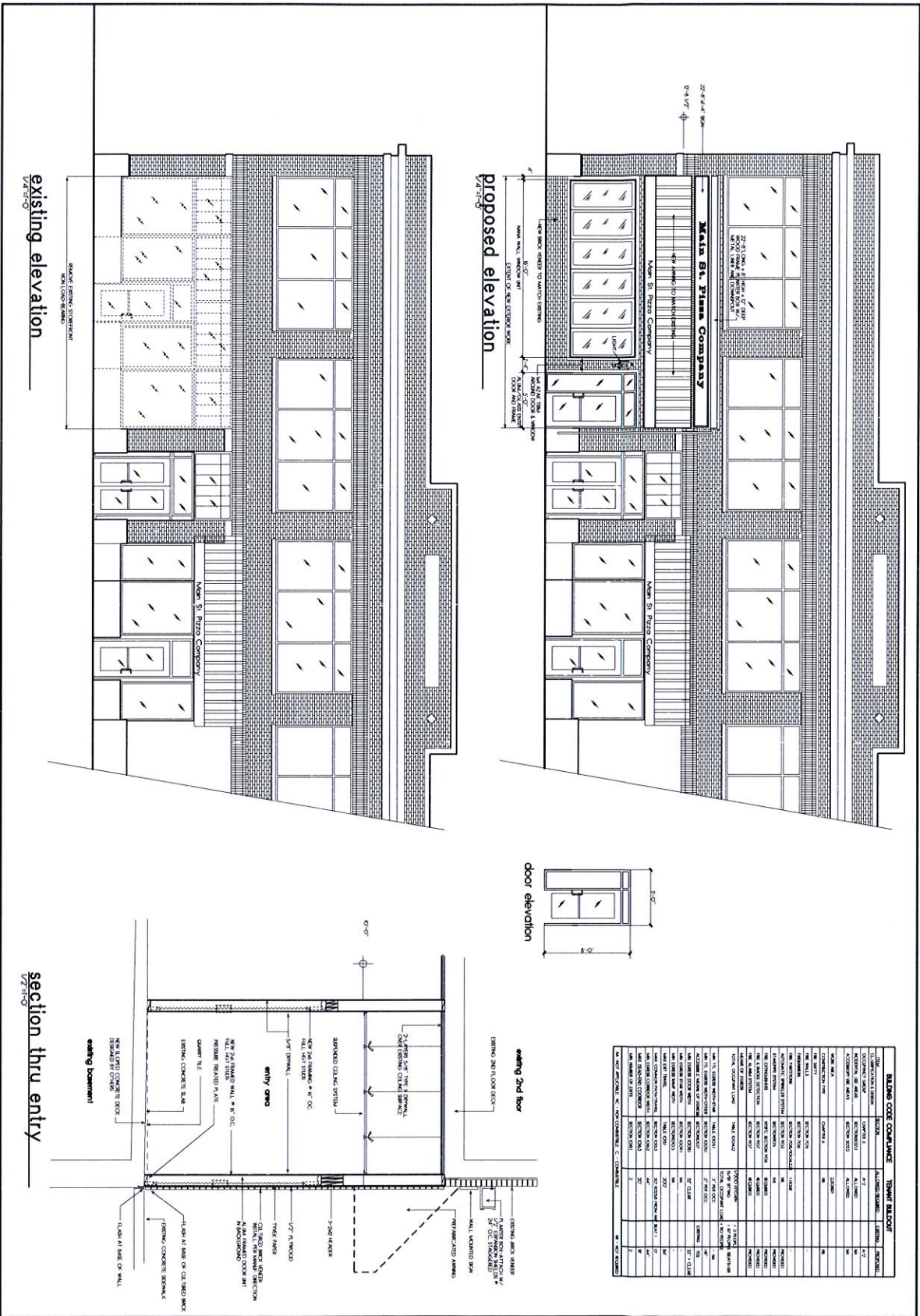
Note: The applicant has submitted a revised plan that includes changes to windows, egress door and exterior materials in order to address concerns expressed by the County Planning Board during their 8/13/15 meeting, see attached.

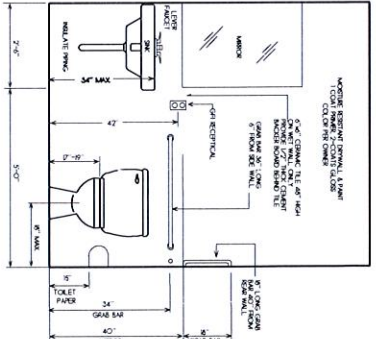
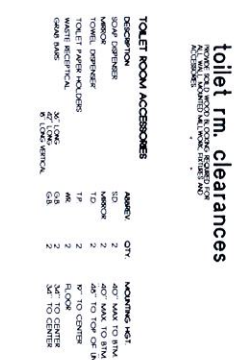
Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (2).

Review and Approval Procedures:

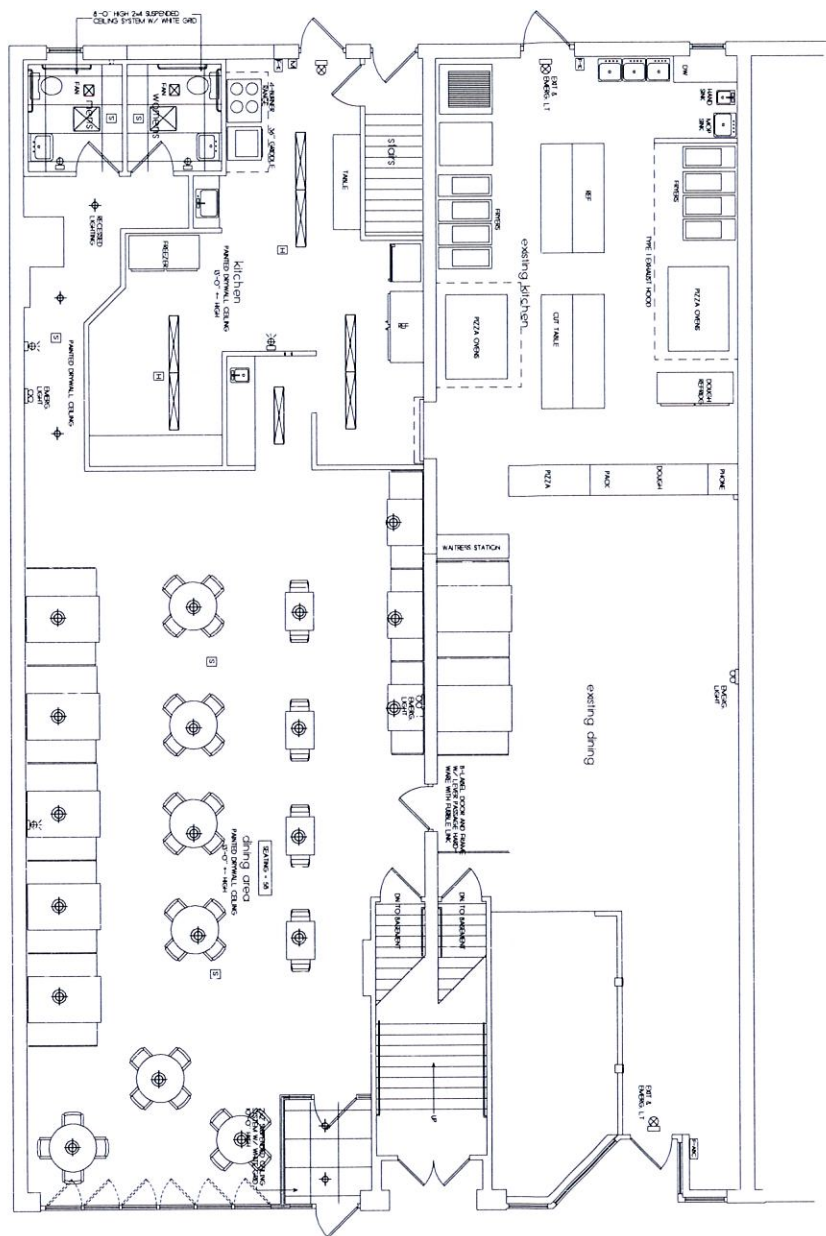
County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of **the right of way of a state parkway, thoroughway, expressway, road or highway.**

City Planning and Development Committee- Pursuant to section 190-14 D. (2) (a) of the zoning ordinance, the Planning and Development Committee shall review and approve actions involving exterior changes to buildings located within the BID.





ALA architects
255 EAST AVENUE ROCHESTER, NEW YORK 14604
(585) 52-2099 ALAARC@FRONTIER.NET



reflected ceiling plan



LEGEND

- EXISTING LIGHT FIXTURE
- NEW LIGHT FIXTURE
- EXISTING VENT
- NEW VENT
- EXISTING CABINET
- NEW CABINET
- EXISTING STAIR
- NEW STAIR
- EXISTING DOOR
- NEW DOOR
- EXISTING WALL
- NEW WALL
- EXISTING FLOOR
- NEW FLOOR
- EXISTING CEILING
- NEW CEILING

REVISIONS		
NO.	DATE	DESCRIPTION
1	7/25	REVISE FRONT ENTRY & ELEVATION

PROPOSED RENOVATION
FOR
MAIN ST. PIZZA
206 EAST MAIN STREET BATON, NEW YORK

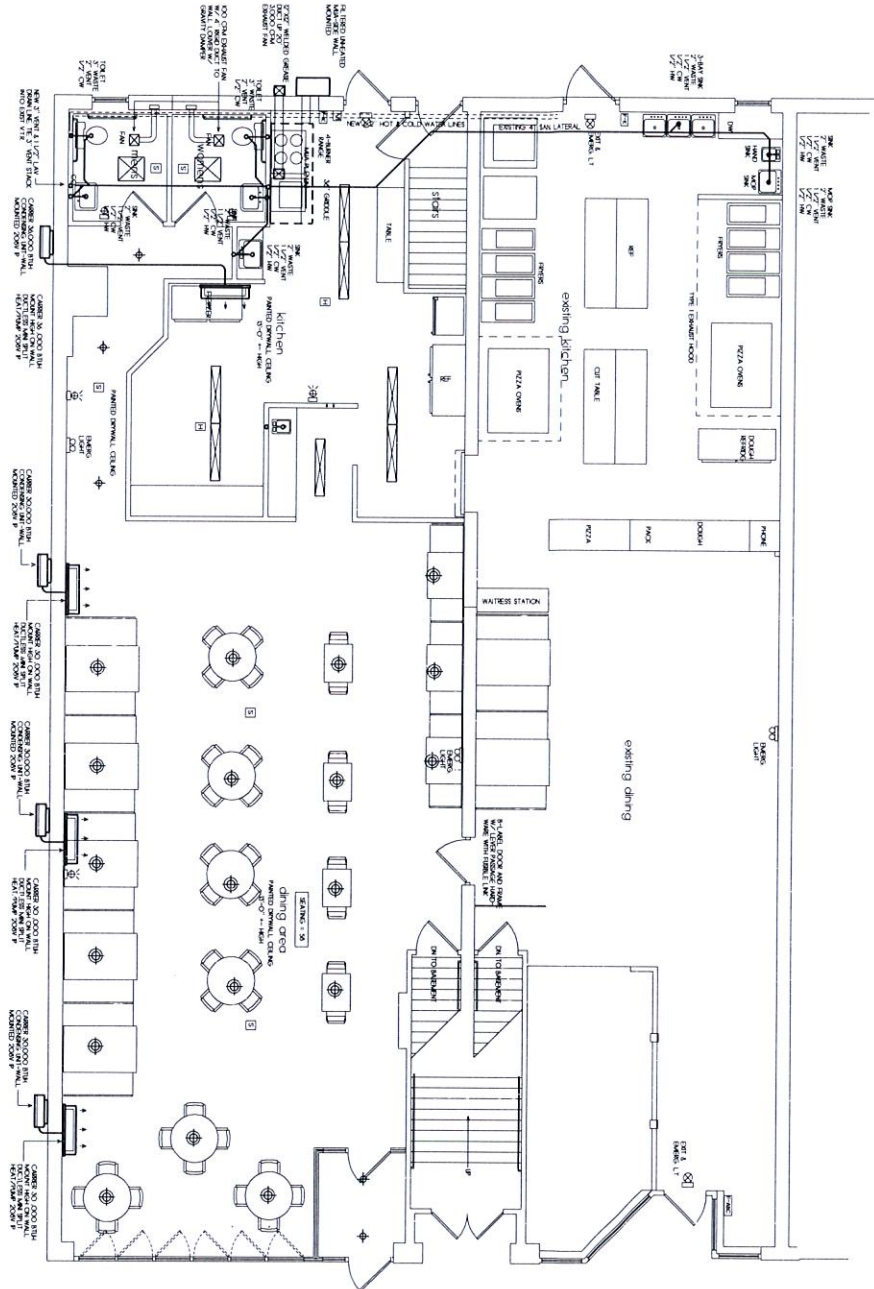
ALA architects
255 EAST AVENUE ROCHESTER, NEW YORK 14604
1585/ 52-2099 ALAARC@FRONTIER.NET

JUNE 20, 2015

A-3

JOB NO.

mechanical plan



JUNE 20, 2015

M-1

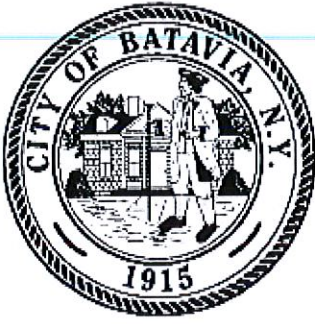
JOB NO.

REVISIONS		
No.	DATE	DESCRIPTION
1	7/25	REVISE FRONT ENTRY & ELEVATION

PROPOSED RENOVATION
FOR
MAIN ST. PIZZA
206 EAST MAIN STREET BATAVIA, NEW YORK



ALA architects
255 EAST AVENUE ROCHESTER, NEW YORK 14604
(585) 552-2099 ALA@ARC.FRONTIER.NET



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Planning and Development Committee
From: Doug Randall, Code Enforcement Officer
Date: 8/28/15
Re: 73 Union St.
Tax Parcel No. 84.006-1-2

Zoning Use District: R-1A

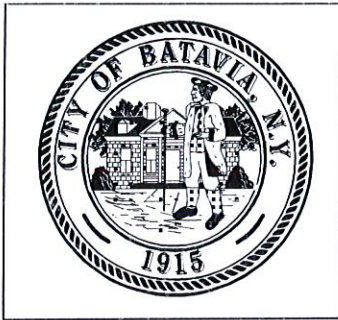
The applicant, Thomas Rapone (agent for Notre Dame High School), has applied for approval to place a 37 sq.' unlit wall sign on the east elevation of this school building located within the R-1A residential use district.

Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (1).

Review and Approval Procedures:

City Planning and Development Committee- Pursuant to section 190-43 R, the Planning and Development Committee shall review and approve or deny Special Sign Permits.

BMC 190-43 F and exhibit A Wall signs exceeding 2 sq.' in area are not permitted in residential use districts.



Permit No.: _____

Date: _____

Zone: R-1A.84.006-1-2**SIGN PERMIT APPLICATION****City of Batavia**

One Batavia City Centre, Batavia, NY 14020

(585) 345-6345 • Fax (585) 345-1385

APPLICANT/OWNER:NOTRE DAME HIGH SCHOOL THOMAS.RAPONE@NDHSBATAVIA.COM

Name

E-mail Address

75 UNION ST543-2783343-2321

Street Address

Phone

Fax

BATAVIA, NY 14020

City, State, Zip Code

ADDRESS OF SIGN:Same**AREA OF SIGN:**Length 6'382"Width 5'915"Area 37'7"approx. 3% of wall area**TYPE OF SIGN:**

1. All sign applications must have an illustration of the sign with its dimensions and copy.
2. Freestanding signs must have a Sit Plan to show the sign's location on the property.
3. All other signs must include an elevation plan to show the sign's placement on the building.

☐ FreestandingSet Back _____
Wall Length 55'8"Height _____
Wall Height 22'6"Area 1,201'8"☒ Wall☐ Projecting☐ Marquee☐ Awning / CanopyLength _____
Window Length _____Height _____
Window Height _____

Area _____

Area _____

☐ Window☐ Portable**Lighting:**☐ Internal☐ External**Existing Signs** (Please list all existing signs with dimensions):

Applicant's Signature _____

Date 8/26/11





Issuing Officer _____

Date _____






Planning Board Chairperson _____

Date _____

FEES: \$25 Sign Permit☒ \$50 Special Sign Permit \$10 Portable Sign

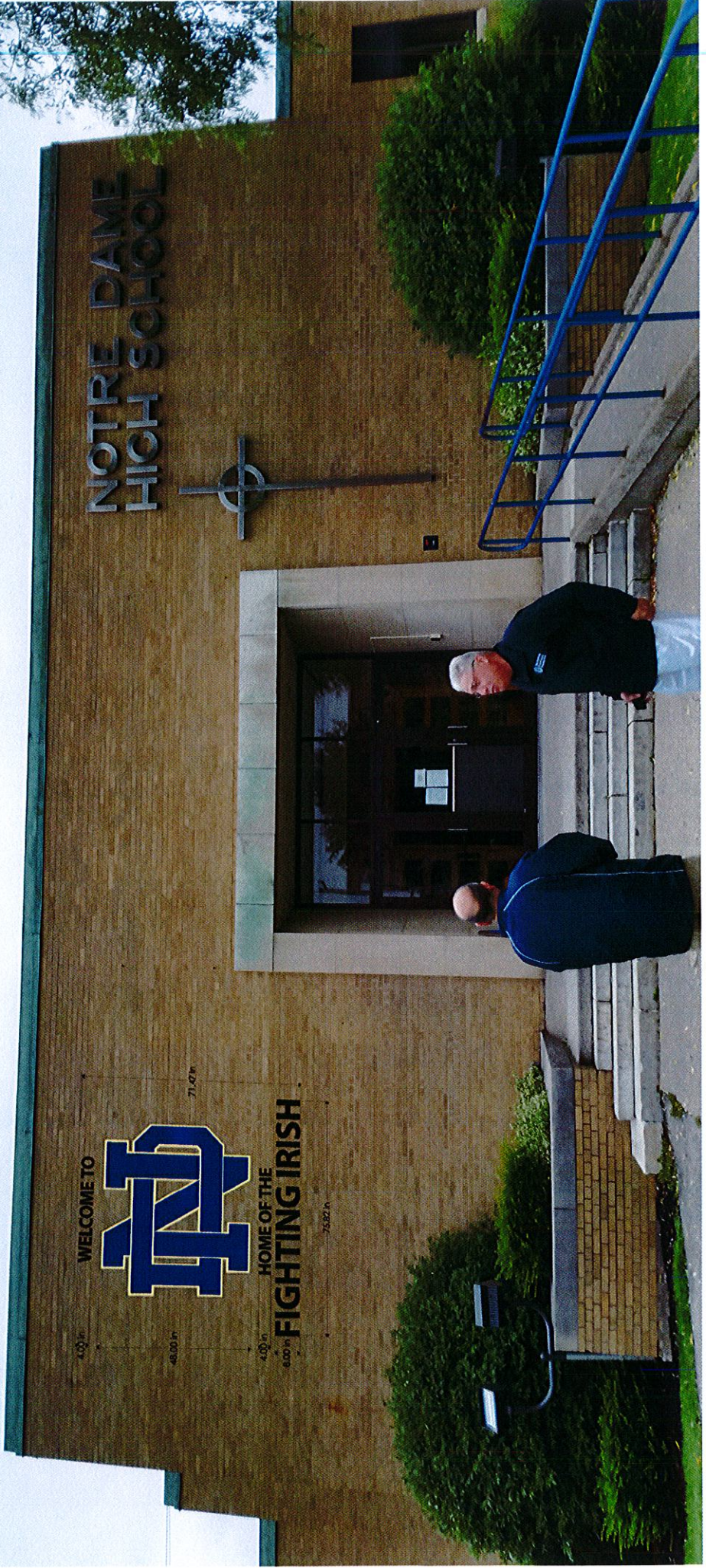





VSP-3M GRAPHIC DIVISION		DATED: 15JUL15
DESIGNER: TRACE R GEORGE - CEO/PRESIDENT		PROOF NO.: 2
PROJECT NAME: NOTRE DAME EXTERIOR		JOB NO.: VSP9925

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Corporate Headquarters 10 Dyle Road - Suite 4 - West Seneca, New York 14224 - 716.674.7446 X100 - fx. 716.674.5116 - email: TRAGE@VSPbranding.com



WELCOME TO

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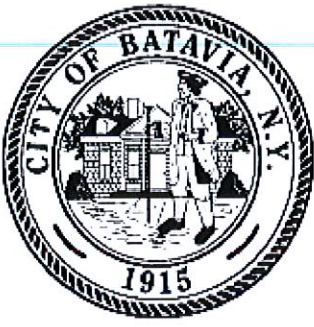
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City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 8/28/15

Re: 190 Oak St.
Tax Parcel No. 71.014-2-26

Zoning Use District: R-1

The applicant, Donald Morris (agent for First Free Will Baptist Church), has applied for approval to place a free standing digital reader board sign in the front (west) yard of this church property located within the R-1 residential use district.

Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (1).

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the boundary of the city; the boundary of a County or State park or other recreation area; **the right of way of a state parkway, throughway, expressway, road or highway;** the boundary of county or state owned land on which a public building or institution is situated; the boundary of a farm operation located in an agricultural district (not required for area variances).

City Planning and Development Committee- Pursuant to section 190-43 R, the Planning and Development Committee shall review and approve or deny Special Sign Permits.

BMC 190-43 F and Exhibit A Free standing signs are not permitted in the R-1 residential use district.

190-43 H (2) **Signs may not be illuminated by or contain flashing, intermittent, rotating or moving lights, except to show time and temperature.**

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 344-2580 Ext. 5467

DEPARTMENT USE ONLY:

GCDP Referral # _____



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

Required According to:

GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N

(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATIONBoard(s) Planning and Development CommitteeAddress One Batavia City CentreCity, State, Zip Batavia, NY 14020Phone (585) 345 - 6347

Ext. _____

2. APPLICANT INFORMATIONName Donald MorrisAddress 190 Oak St.City, State, Zip Batavia, NY 14020Phone (585) 343 - 4905

Ext. _____

Email _____

MUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia**3. TYPE OF REFERRAL:** (Check all applicable items)☐ Area Variance☐ Use Variance☐ Special Use Permit☐ Site Plan Review☐ Zoning Map Change☐ Zoning Text Amendments☐ Comprehensive Plan/Update☒ Other: Special Sign Permit

Subdivision Proposal

☐ Preliminary☐ Final**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**A. Full Address 190 Oak St.B. Nearest intersecting road Noonan Dr.C. Tax Map Parcel Number 71.014-2-26

D. Total area of the property _____ Area of property to be disturbed _____

E. Present zoning district(s) R-1**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☒ NO ☐ YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law _____

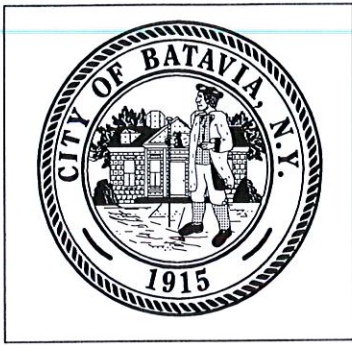
C. Please describe the nature of this request Approval to place a free standing digital reader board sign in the front yard of this property located within a residential use district.**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral☒ Local application☐ Site plan☐ Subdivision plot plans☐ SEQR forms☐ Zoning text/map amendments☐ Location map or tax maps☒ Elevation drawings☐ Agricultural data statement☐ New or updated comprehensive plan☒ Photos☐ Other: Cover letter

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.

Email to planning@co.genesee.ny.us**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)Name Douglas RandallTitle Code Enf. OfficerPhone (585) 345 - 6327

Ext. _____

Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020Email drandall@batavianewyork.com



Permit No.: _____

Date: _____

Zone: _____

SIGN PERMIT APPLICATION**City of Batavia**

One Batavia City Centre, Batavia, NY 14020

(585) 345-6345 • Fax (585) 345-1385

APPLICANT/OWNER:Name First Free Will Baptist Society
Emmanuel Baptist Church E-mail Address EmmanuelBaptist1@
Emmanuel.rochester.ny.comStreet Address 190 Oak St. Phone 343-4905 Fax _____
City, State, Zip Code Batavia NY 14020**ADDRESS OF SIGN:**190 Oak St. Batavia, NY 14020**AREA OF SIGN:**Length 4 Width 6 Area 24 sq ft**TYPE OF SIGN:**

1. All sign applications must have an illustration of the sign with its dimensions and copy.
2. Freestanding signs must have a Sit Plan to show the sign's location on the property.
3. All other signs must include an elevation plan to show the sign's placement on the building.

☒ FreestandingSet Back 45 ft 6 in from curbHeight 7'6"☐ Wall

Wall Length _____

Wall Height _____

Area _____

☐ Projecting☐ Marquee☐ Awning / Canopy

Length _____

Height _____

Area _____

☐ Window

Window Length _____

Window Height _____

Area _____

☐ Portable**Lighting:**☒ Internal☐ External**Existing Signs** (Please list all existing signs with dimensions):a 4'6" sign there now
78 1/4 inches wide by 75 inches tall

Applicant's Signature

Donald H MorrisDate Aug. 23, 2015

Issuing Officer _____

Date _____

Planning Board Chairperson _____

Date _____

FEES:

_____ \$25 Sign Permit

☒ \$50 Special Sign Permit

_____ \$10 Portable Sign



Cabinet: 4' x 6'
Mount: Twin Pole

Cabinet Color: Black
Face Color: Bristol Blue
Line Color: White

Outline Color: Black
Font: Benguiat

TekStar 20mm 32x80 4'x6'



stewart signs

America's Premier Sign Company

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ORIGINAL DESIGN DO NOT DUPLICATE

DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK-BASED PRINTING PROCESS THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH BETWEEN INK, VINYL, PAINT, OR LED COLOR. ARTIST'S RENDITION OF BRICKWORK, MASONRY AND LANDSCAPING IS NOT INCLUDED IN THE PROPOSAL. ALL MEASUREMENTS SHOWN ARE APPROXIMATIONS; DIMENSIONS OF FINAL PRODUCT MAY VARY.

APPROVED AS SHOWN.

X _____ DATE _____ 1. _____

APPROVED WITH LISTED CHANGES.

X _____ DATE _____ 2. _____

3. _____

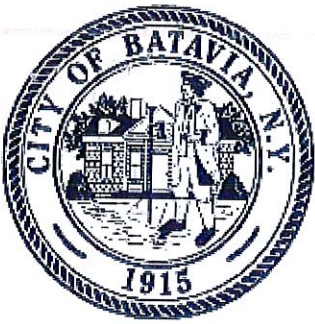
Sketch #191672 Customer #1075788
6/9/2015 ricciardi -PROPOSAL-

Existing Sign
Emmanuel Baptist
190 Oak St.









City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 8/31/15

Re: 29-33 Liberty St. (aka 36 Swan St./ address point 44 Swan St.)
Tax Parcel No. 84.015-1-27

Zoning Use District: I-1

The applicant, Rick Mancuso (agent for Reinhart Enterprises Inc.), has submitted a site plan for review of a proposed 15,390 sq.' (171' x 90') one story warehouse addition to an existing industrial/business complex. The location of this planned building is in the southeast corner of this parcel and was the site of a previous demolition that resulted in the removal of approximately 25,832 square feet of structure.

Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (2).

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the **right of way of a state parkway, thoroughway, expressway, road or highway**

City Planning and Development Committee- Pursuant to section 190-44 B (1) and C (1)(a) of the zoning ordinance, the Planning and Development Committee shall review and approve, prior to permit issuance, site plans for new buildings and expansions of existing buildings that increase the lot coverage by more than 1,300 sq.'.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 344-2580 Ext. 5467

DEPARTMENT USE ONLY:

GCDP Referral # _____



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

Required According to:

GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATIONBoard(s) Planning and Development CommitteeAddress One Batavia City CentreCity, State, Zip Batavia, NY 14020Phone (585) 345 - 6347

Ext. _____

2. APPLICANT INFORMATIONName Rick MancusoAddress 216 East Main St., suite 35City, State, Zip Batavia, NY 14020Phone (585) 356 - 2243

Ext. _____

Email rick@mancusoinvestments.comMUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia**3. TYPE OF REFERRAL:** (Check all applicable items)

- ☐ Area Variance
☐ Use Variance
☐ Special Use Permit
☒ Site Plan Review

- ☐ Zoning Map Change
☐ Zoning Text Amendments
☐ Comprehensive Plan/Update
☐ Other: _____

Subdivision Proposal

- ☐ Preliminary
☐ Final

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:A. Full Address 29-33 Liberty St, (aka 36 Swan St., /address point 44 Swan)B. Nearest intersecting road SchoolC. Tax Map Parcel Number 84.015-1-27D. Total area of the property 4.45 acres Area of property to be disturbed .365 acresE. Present zoning district(s) I-1**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☒ NO ☐ YES If yes, give date and action taken _____B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law
_____C. Please describe the nature of this request Approval to construct a 15,390 sq.' warehouse addition to an existing industrial/business complex in the same location as a previous building demolition.**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- ☒ Local application
☒ Site plan
☐ Subdivision plot plans
☐ SEQR forms

- ☐ Zoning text/map amendments
☐ Location map or tax maps
☒ Elevation drawings
☐ Agricultural data statement

- ☐ New or updated comprehensive plan
☒ Photos
☒ Other: Cover letter

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.
Email to planning@co.genesee.ny.us

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com



LIBERTY STREET (66.0' WIDE)

SCHOOL STREET

SARAH F. LINCOLN

2.997 ± Ac.

RAILROAD

ERIE

REINHART ENTERPRISES INC.

3.848 ± Ac.

PROPOSED MAIN BUILDING

SWAN STREET (49.5' WIDE)



NOTE
REFERENCE MAP OF BROWN & LAY SUBDIVISION (EAST SIDE OF
LIBERTY STREET IN VILLAGE LOT-31) FILED IN MAP BOOK-1,
PAGE-79
REFERENCE MAP OF TOMPKINS SUBDIVISION (WEST SIDE OF
SWAN STREET IN VILLAGE LOT-22) FILED IN MAP BOOK-5,
PAGE-222
FOR TOPOGRAPHICAL INFORMATION SEE SHEET 2 OF 2

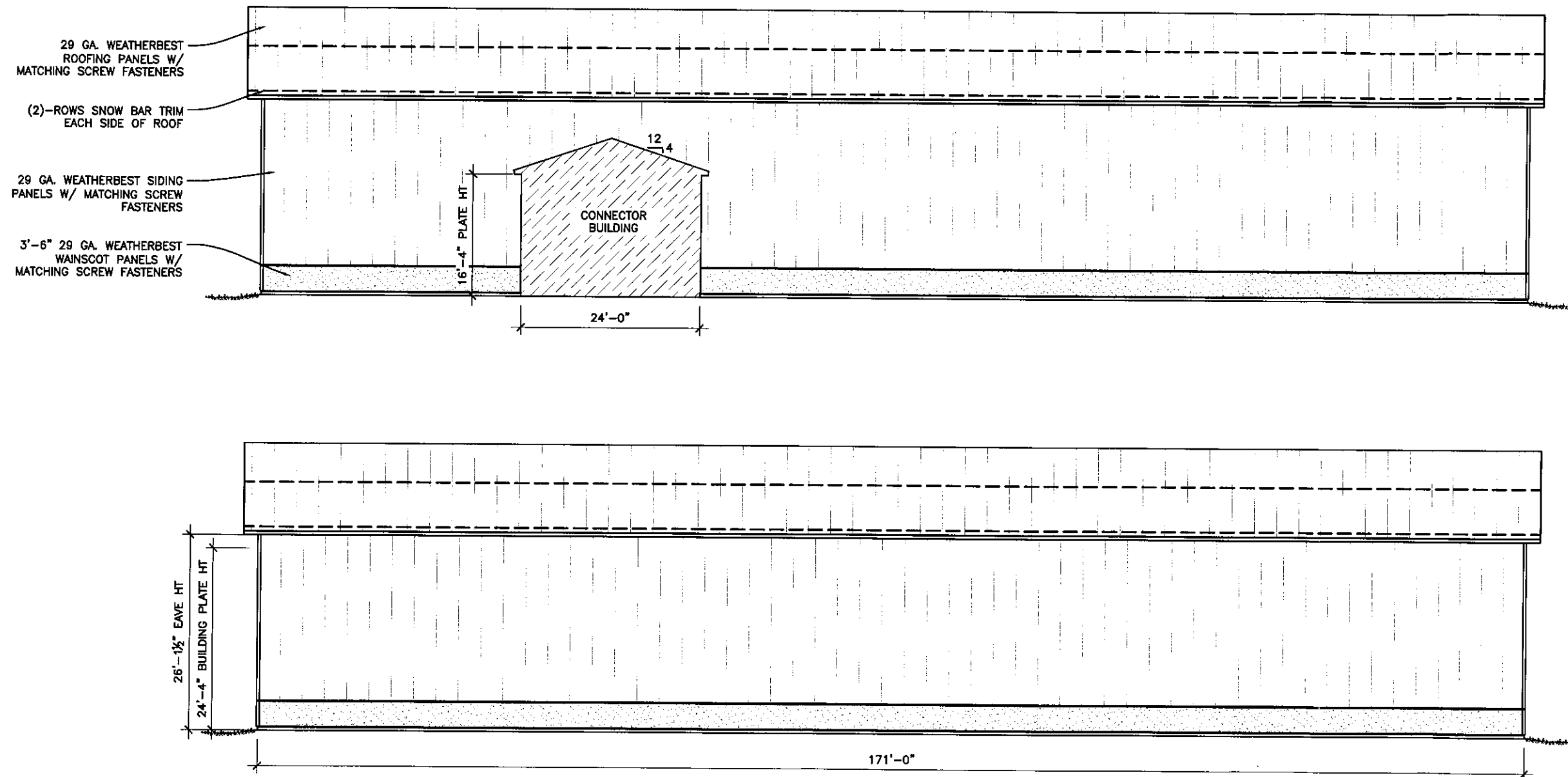
PROPOSED BUILDINGS ADDED BY MCINTOSH & MCINTOSH, P.C.
AUGUST 21, 2015
RESURVEYED BY MCINTOSH & MCINTOSH, P.C. APRIL 12, 1985
(SEWER NOT VERIFIED IN FIELD)

DOUGLAS A. MCINTOSH - JOHN E. MCINTOSH, JR.

LOCKPORT, NEW YORK ALBION, NEW YORK NIAGARA FALLS, NEW YORK BATAVIA, NEW YORK
PHONE 433-2335 PHONE 589-9164 PHONE 289-2873 PHONE 343-5854

SURVEY OF PART OF ORIGINAL VILLAGE LOTS 31 & 33
LOCATION CITY OF BATAVIA, GENESEE COUNTY, NEW YORK

© 2015 MCINTOSH & MCINTOSH, P.C. ALL RIGHTS RESERVED. JOB No B-1344-T SCALE 1" = 30' DATE: MARCH 13, 1974 SHEET 1 OF 2



BUILDING ELEVATIONS
1/16" = 1'-0"

E1



FINGERLAKES CONSTRUCTION
1-800-328-3522
WWW.FINGERLAKESCONSTRUCTION.COM



DRAWING INDEX: E1, E2

#	ISSUED:	DATE:	#	ISSUED:	DATE:
1	PRELIMINARY	8-25-18			

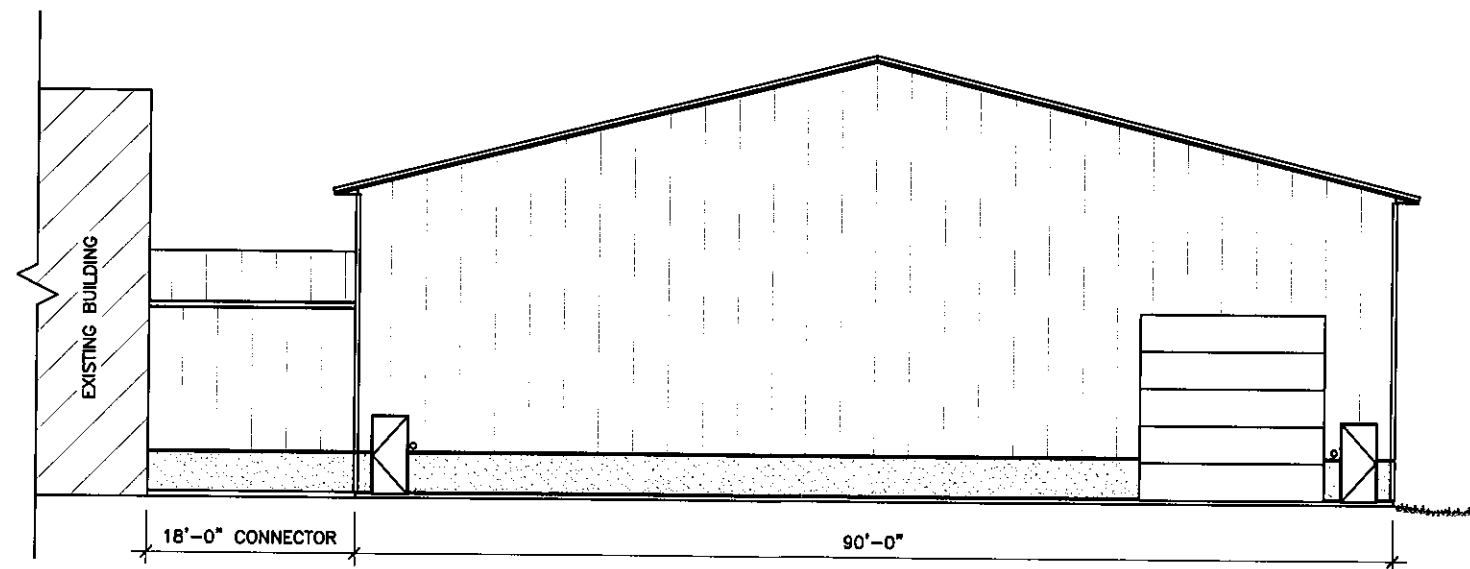
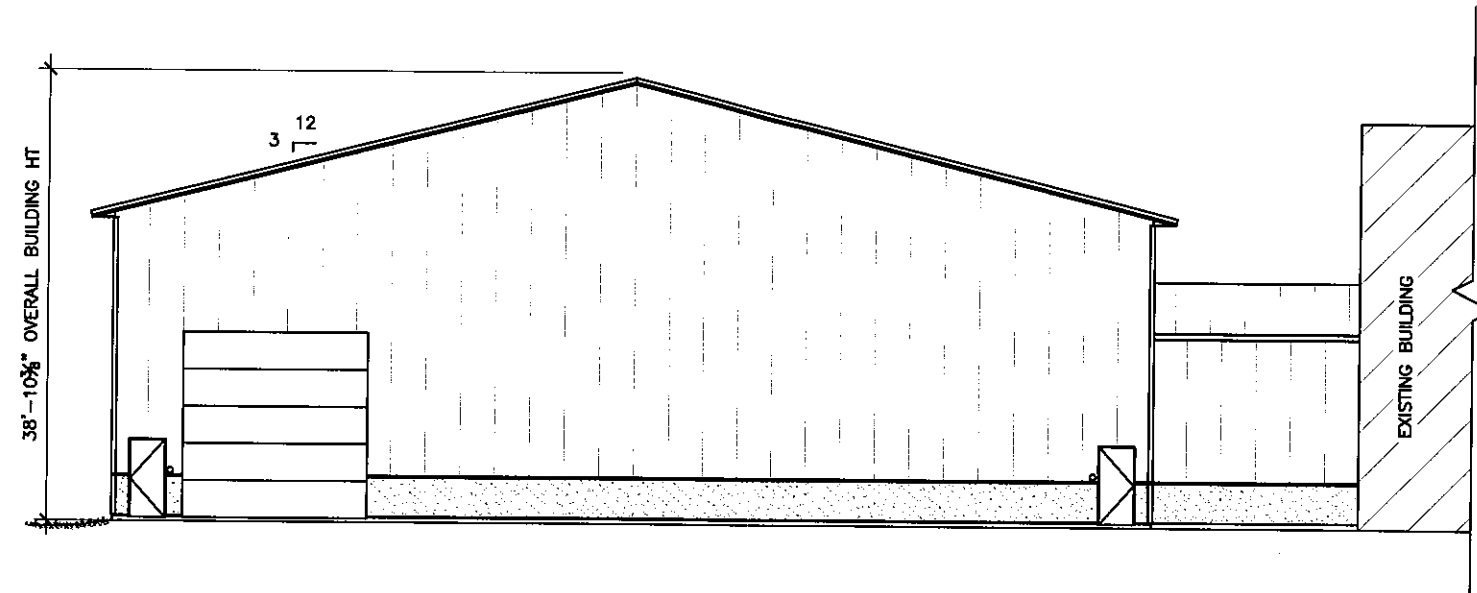
THIS DOCUMENT CONTAINS CONFIDENTIAL INFORMATION WHICH IS THE PROPERTY OF FINGERLAKES CONSTRUCTION. RECEIPT OR POSSESSION DOES NOT CONVEY ANY RIGHTS TO LOAN, SELL OR OTHERWISE DISCLOSE SAID INFORMATION. REPRODUCTION OR USE OF SAID INFORMATION FOR ANY PURPOSE OTHER THAN IN CONNECTION WITH WHICH SAID INFORMATION WAS SUPPLIED IS NOT ALLOWED WITHOUT EXPRESS WRITTEN PERMISSION OF FINGERLAKES CONSTRUCTION. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THESE PLANS IN ANY WAY.

JOB NUMBER & NAME:

NY0024461L REINHART ENT. INC

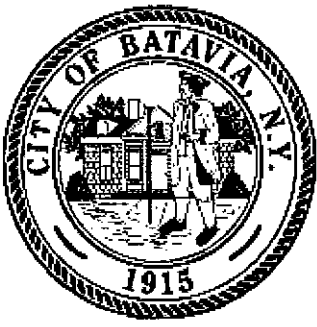
DRAWN BY:

PPHILLIPS



BUILDING ELEVATIONS

1/16" = 1'-0"



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 9/2/15

Re: 218 West Main St.
Tax Parcel No. 84.039-2-25

Zoning Use District: C-2

The applicant, Terry Smith (tenant), has applied for approval to place two 7.29' x 9.87' wall signs on this commercial use building, one on the west side and one on the east side.

Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (1).

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the **right of way of a state parkway, thoroughway, expressway, road or highway.**

City Planning and Development Committee- Pursuant to section 190-43 R, the Planning and Development Committee shall approve or deny Special Sign Permits.

BMC 190-43 F and exhibit A Only one wall sign is permitted for each street frontage.

SEND OR DELIVER TO:

GENESSEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 344-2580 Ext. 5467

DEPARTMENT USE ONLY:

GCDP Referral # _____



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATIONBoard(s) Planning and Development CommitteeAddress One Batavia City CentreCity, State, Zip Batavia, NY 14020Phone (585) 345 - 6347 Ext. _____**2. APPLICANT INFORMATION**Name Terry SmithAddress 26 Dellinger Ave.City, State, Zip Batavia, NY 14020Phone (585) 512 - 9762 Ext. _____ Email _____MUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia**3. TYPE OF REFERRAL:** (Check all applicable items)

- ☐ Area Variance
☐ Use Variance
☐ Special Use Permit
☐ Site Plan Review

- ☐ Zoning Map Change
☐ Zoning Text Amendments
☐ Comprehensive Plan/Update
☒ Other: Special sign permit

- Subdivision Proposal
☐ Preliminary
☐ Final

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:A. Full Address 218 West Main St.B. Nearest intersecting road HollandC. Tax Map Parcel Number 84.039-2-25

D. Total area of the property _____ Area of property to be disturbed _____

E. Present zoning district(s) C-2**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☒ NO ☐ YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

BMC 190-43 RC. Please describe the nature of this request Approval to place two 7.29' x 9.87' wall signs on this commercial buildingOne on the west side and on on the east side.**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

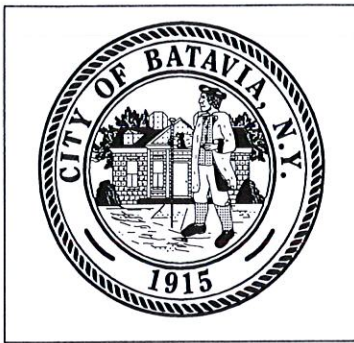
- ☒ Local application
☐ Site plan
☐ Subdivision plot plans
☐ SEQR forms

- ☐ Zoning text/map amendments
☐ Location map or tax maps
☐ Elevation drawings
☐ Agricultural data statement

- ☐ New or updated comprehensive plan
☒ Photos
☐ Other: Cover letter

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.

Email to planning@co.genesee.ny.us**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drrandall@batavianewyork.com



Permit No.: _____
Date: _____
Zone: C-2

SIGN PERMIT APPLICATION City of Batavia

One Batavia City Centre, Batavia, NY 14020
(585) 345-6345 • Fax (585) 345-1385

APPLICANT/OWNER:

Name Terry Smith E-mail Address Smithy3478.TS@gmail.com
Street Address 200 Delaware Ave Phone 585-512-9762 Fax _____
City, State, Zip Code Batavia NY 14020

ADDRESS OF SIGN:

218 W. main st

AREA OF SIGN:

Length 87 1/2' Width 118 1/2' Area East Side of Bldgs 71.95 sq. ft.
7'-3 1/2" 9'-10 1/2"

TYPE OF SIGN:

1. All sign applications must have an illustration of the sign with its dimensions and copy.
2. Freestanding signs must have a Sit Plan to show the sign's location on the property.
3. All other signs must include an elevation plan to show the sign's placement on the building.

<input type="checkbox"/> Freestanding	Set Back _____	Height _____	
<input checked="" type="checkbox"/> Wall	Wall Length <u>87 1/2'</u>	Wall Height <u>17.5' (approx)</u>	Area <u>700 sq. ft.</u>
<input type="checkbox"/> Projecting			
<input type="checkbox"/> Marquee			
<input type="checkbox"/> Awning / Canopy	Length _____	Height _____	Area _____
<input type="checkbox"/> Window	Window Length _____	Window Height _____	Area _____
<input type="checkbox"/> Portable			

Lighting: ☐ Internal ☐ External

Existing Signs (Please list all existing signs with dimensions):

None

Applicant's Signature T. Smith

Date 8/11/15

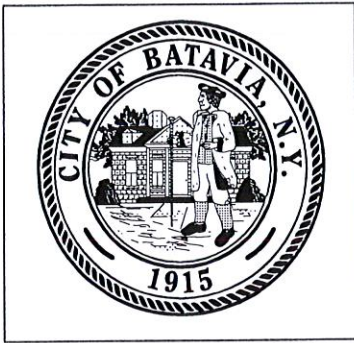
Issuing Officer _____

Date _____

Planning Board Chairperson _____

Date _____

FEES: _____ \$25 Sign Permit ☒ \$50 Special Sign Permit _____ \$10 Portable Sign



Permit No.: _____

Date: _____

Zone: C-2**SIGN PERMIT APPLICATION****City of Batavia**

One Batavia City Centre, Batavia, NY 14020

(585) 345-6345 • Fax (585) 345-1385

APPLICANT/OWNER:Terry Smith

Name

Smith3478.TS@gmail.com

E-mail Address

26 Bellinger Ave

Street Address

585-512-9762

Phone

Fax

Batavia NY 14020

City, State, Zip Code

ADDRESS OF SIGN:218 W. Main St**AREA OF SIGN:**Length 87' 1/2Width 118' 1/2Area west Side of Building**TYPE OF SIGN:**

1. All sign applications must have an illustration of the sign with its dimensions and copy.
2. Freestanding signs must have a Sit Plan to show the sign's location on the property.
3. All other signs must include an elevation plan to show the sign's placement on the building.

☐ Freestanding

Set Back _____

Height _____

☒ WallWall Length 87' 1/2Wall Height 17.5' (approx)Area 700 sq. ft.☐ Projecting40' (approx)☐ Marquee☐ Awning / Canopy

Length _____

Height _____

Area _____

☐ Window

Window Length _____

Window Height _____

Area _____

☐ Portable**Lighting:**☐ Internal☐ External**Existing Signs** (Please list all existing signs with dimensions):None**Applicant's Signature**T.S.

Date

8/11/15**Issuing Officer**

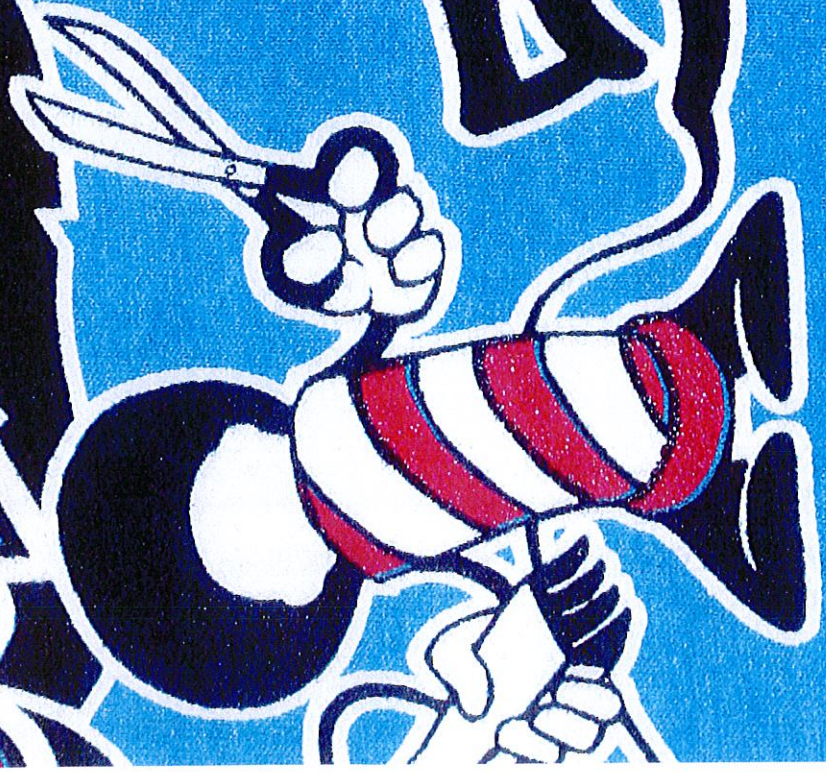
Date

Planning Board Chairperson

Date

FEES: \$25 Sign Permit☒ \$50 Special Sign Permit \$10 Portable Sign

THE BARBERS



512-9762



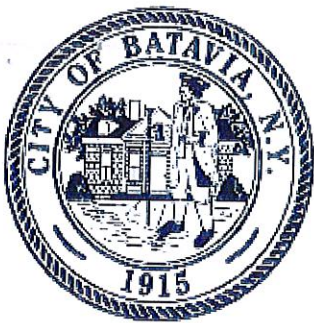




HOLLAND AVE

W MAIN ST

8/18



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 9/1/15

Re: 264 Bank St.
Tax Parcel No. 71.082-1-12

Zoning Use District: P-2

The applicant, Randy Bebout (Project Manager), has applied for a permit to replace and expand the existing parking lot and to construct a dumpster enclosure on this medical office use parcel.

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the boundary of county or state owned land on which a public building or institution is situated.

City Planning and Development Committee- Pursuant to section 190-25 G (1)(a) the Code Enforcement Officer shall refer all requests for building permits to the PDC for review and approval prior to permit issuance. See BMC 190-25 E. (1 and 2) for off-street parking requirements.

The PDC will be the lead agency to conduct SEQR.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING

3837 West Main Street Road

Batavia, NY 14020-9404

Phone: (585) 344-2580 Ext. 5467

DEPARTMENT USE ONLY:

GCDP Referral # _____



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

Required According to:

GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N

(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATIONBoard(s) Planning and Development CommitteeAddress One Batavia City CentreCity, State, Zip Batavia, NY 14020Phone (585) 345 - 6347 Ext. _____**2. APPLICANT INFORMATION**Name Randy BeboutAddress 255 East AvenueCity, State, Zip Rochester, NY 14604Phone (585) 512 - 2000 Ext. _____ Email randy.bebout@tylin.comMUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia**3. TYPE OF REFERRAL:** (Check all applicable items)

- ☐ Area Variance
☐ Use Variance
☐ Special Use Permit
☐ Site Plan Review

- ☐ Zoning Map Change
☐ Zoning Text Amendments
☐ Comprehensive Plan/Update
☒ Other: approval of pmt in P-2

- Subdivision Proposal
☐ Preliminary
☐ Final

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:A. Full Address 264 Bank St. (aka 262 Bank)B. Nearest intersecting road DouglasC. Tax Map Parcel Number 71.082-1-12D. Total area of the property 1.9 acres Area of property to be disturbed .1 acresE. Present zoning district(s) P-2**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☒ NO ☐ YES If yes, give date and action taken _____B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law
 _____C. Please describe the nature of this request Approval to expand the existing parking lot and construct a dumpster encl.
 _____**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- ☒ Local application
☒ Site plan
☐ Subdivision plot plans
☒ SEQR forms

- ☐ Zoning text/map amendments
☐ Location map or tax maps
☐ Elevation drawings
☐ Agricultural data statement

- ☐ New or updated comprehensive plan
☒ Photos
☒ Other: Cover letter

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.
 Email to planning@co.genesee.ny.us

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drrandall@batavianewyork.com

August 26, 2015

City of Batavia City Hall
One Batavia City Centre
Batavia, NY 14020

ATTN: Doug Randall

RE: Request for Site Plan Approval
Site Improvements - Wilmot Cancer Institute
262 Bank Street

Dear Mr. Randall:

On behalf of the Cabot Group, we are submitting the following information for Site Plan Review and Approval:

- (12) Copies of the Letter of Intent
- (12) Copies of the Short Form EAF
- (12) 11x17 copies of the Site Plan Drawings

We respectfully request to be placed on the agenda for the September 15, 2015 Planning and Development Committee Meeting for Site Plan approval.

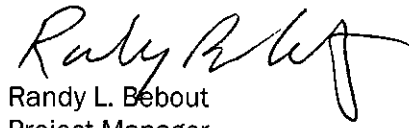
The project site is located on the west side of Bank Street at the north end of Tracy Avenue and north of Hart Street in the City of Batavia. The proposed site improvements consist of the following:

- Remove existing dumpster enclosure and construct a new wooden enclosure and shed south of the existing medical building.
- Install new concrete curbing along the main drive lane in front of the building.
- Construct a new concrete sidewalk.
- Add additional accessible and standard parking spaces.
- Relocate an existing light pole, add accessible signage.
- Reseal and restripe the existing parking spaces.

Currently, there are 21 parking spaces (18 standard, 3 accessible). Proposed are 38 spaces (33 standard, 5 accessible). The net change is an increase in 17 spaces in addition to adding the required striped accessible loading areas meeting the ADA requirements. There are no changes to minimum setbacks to parking from a property line.

Should you have any questions or require additional information, please do not hesitate to contact us.

Sincerely,
T.Y. Lin International

A handwritten signature in black ink, appearing to read "Randy L. Bebout". The signature is fluid and cursive, with a large, stylized "R" and "B".

Randy L. Bebout
Project Manager

RLB/sw

Attachments

Cc: The Cabot Group, Bruce Hunt (electronic)
T.Y. Lin International, Nate Buczek

T:\rochester\projects\436234\300_corresp\City of Batavia_PB_Letter of Intent_8-26-15

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

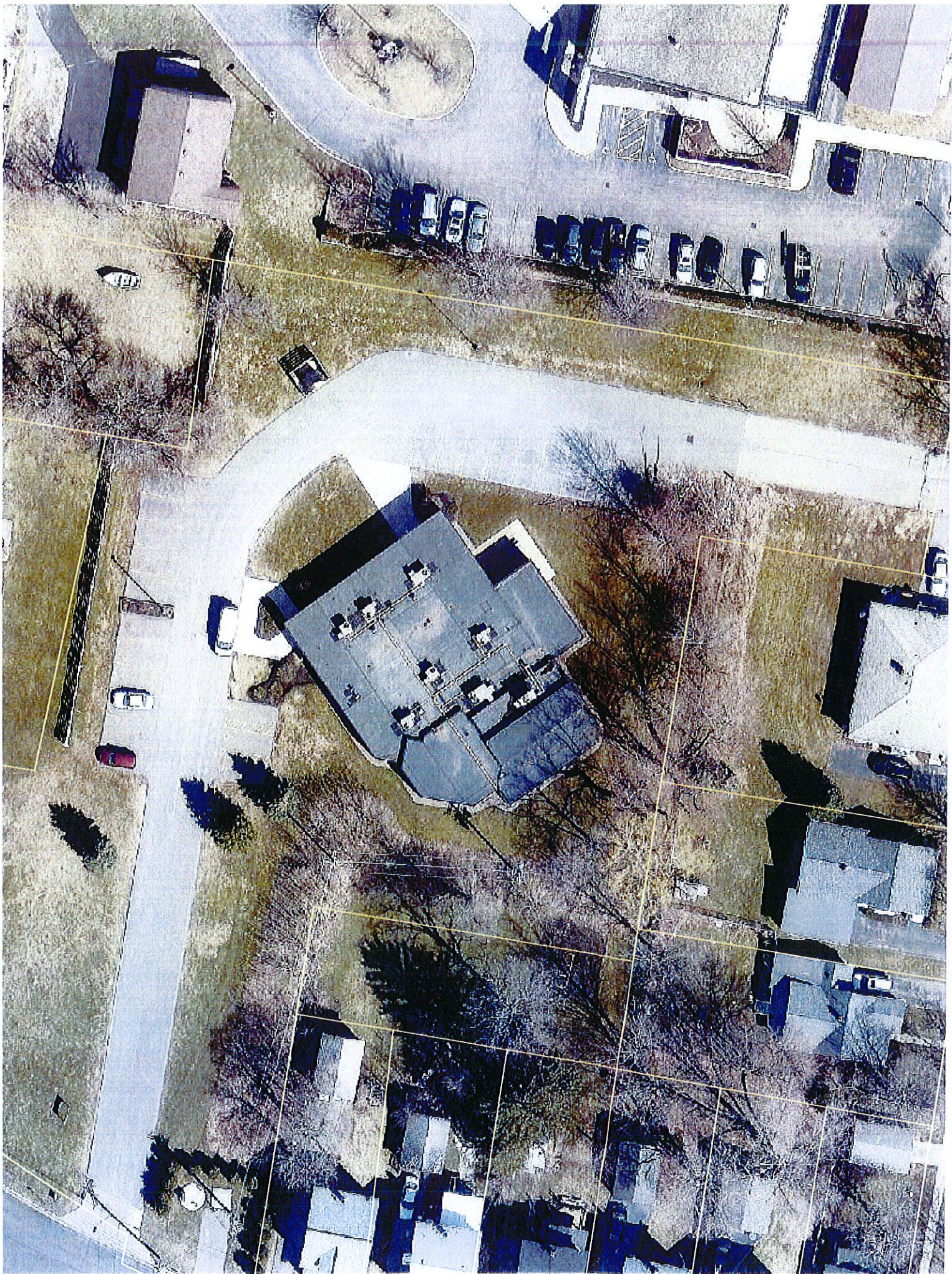
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: Site Improvements - WILMOT CANCER INSTITUTE							
Project Location (describe, and attach a location map): 262 Bank Street							
Brief Description of Proposed Action: • Remove existing dumpster enclosure and construct a new wooden enclosure and shed south of the existing medical building • Install new concrete curbing along main drive lane in front of building • Construct a new concrete sidewalk • Add additional accessible and standard parking spaces • Relocate an existing light pole, add accessible signs • Reseal and re-stripe the existing parking spaces							
Name of Applicant or Sponsor: The Cabot Group		Telephone: 585.381.1500 x 2106 E-Mail: bhunt@THECABOTGROUP.com					
Address: 130 Linden Oaks							
City/PO: Rochester		State: New York	Zip Code: 14625				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		1.9 acres					
b. Total acreage to be physically disturbed?		0.1 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.9 acres					
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ No changes to existing water service	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ No changes to existing sanitary lateral	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ No changes to any existing wetland or waterbody	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES No changes to storm water run-off/conveyances on site	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ Not familiar with history of this developed site or adjacent sites _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>T.Y. LIN INTERNATIONAL</u> Date: <u>8/26/15</u> Signature: <u><i>Harvey Bullock</i></u>		



UNIVERSITY OF ROCHESTER

SITE IMPROVEMENTS

WILMOT CANCER INSTITUTE

262 BANK STREET

BATAVIA, NEW YORK

UTILITY COMPANIES

WATER

CITY OF BATAVIA DEPARTMENT OF PUBLIC WORKS
1 BATAVIA CITY CENTRE
BATAVIA, NEW YORK 14020
ATTN: Matt Worth, Superintendent of Water & Wastewater
(585) 345-6315

SANITARY SEWER

CITY OF BATAVIA DEPARTMENT OF PUBLIC WORKS
1 BATAVIA CITY CENTRE
BATAVIA, NEW YORK 14020
ATTN: Matt Worth, Superintendent of Water & Wastewater
(585) 345-6315

GAS

NATIONAL FUEL
9600 WEHRLE DRIVE
CLARENCE, NY 14031
ATTN: Anne Donovan
(716) 759-5155

ELECTRIC

NATIONAL FUEL
9600 WEHRLE DRIVE
CLARENCE, NY 14031
ATTN: Sally Dorigo
(585) 344-5897

TELEPHONE

VERIZON
65 FRANKLIN STREET, 6TH FLOOR
BUFFALO, NEW YORK 14202
ATTN: Thomas Swierski, Engineer
(716) 840-8657
(716) 842-0405 FAX

CABLE

TIME WARNER
6601 KIRKVILLE ROAD
EAST SYRACUSE, NEW YORK 13057
ATTN: Bob Scott, Account Executive
(315) 883-5111

APPROVAL AGENCIES

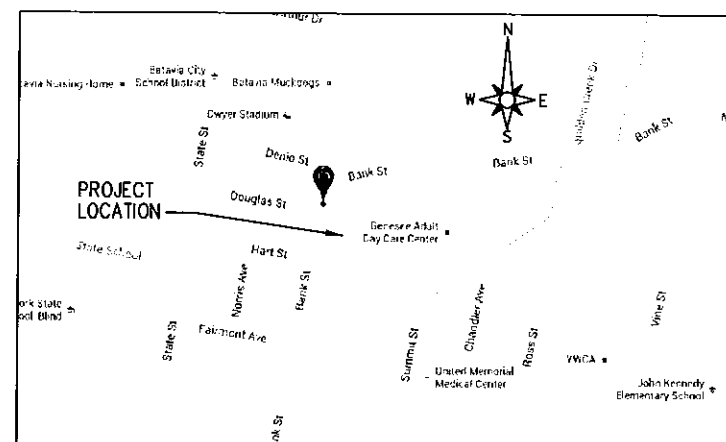
CITY OF BATAVIA

CITY OF BATAVIA BUREAU OF INSPECTION
1 BATAVIA CITY CENTRE
BATAVIA, NEW YORK 14020
ATTN: Doug Randall, City Inspector
(585) 345-6330
(585) 345-8182 FAX

DESIGN CONSULTANTS

DESIGN ENGINEER

T.Y. LIN INTERNATIONAL
255 EAST AVENUE
ROCHESTER, NY 14604
ATTN: Nate Buczek
(585) 512-2000



LOCATION MAP
NOT TO SCALE

DWG. NO.	DESCRIPTION	SHEET NO.
T-1	TITLE SHEET	1 of 8
SM-1	SURVEY MAP	2 of 8
C-0	DEMOLITION PLAN	3 of 8
C-1	SITE PLAN	4 of 8
C-2	PAVEMENT RESTORATION & UTILITY PLAN	5 of 8
C-3	GRADING AND EROSION CONTROL PLAN	6 of 8
CD-1	CONSTRUCTION DETAILS - 1	7 of 8
CD-2	CONSTRUCTION DETAILS - 2	8 of 8

PREPARED FOR

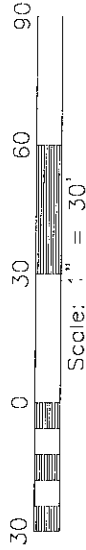
UNIVERSITY OF ROCHESTER

271 EAST RIVER ROAD

ROCHESTER, NY 14627-0347

PRELIMINARY PLANS

UNIVERSITY OF ROCHESTER SITE IMPROVEMENTS WILMOT CANCER INSTITUTE 262 BANK STREET, BATAVIA, NEW YORK			
TYLIN INTERNATIONAL 255 EAST AVENUE ROCHESTER, NY 14604 (585) 512-2000	PROJECT NO.	43.6234.00	PROJ. WDR.
	DATE	08/26/15	DATE WDR.
	SCALE	NO SCALE	CHKD. BY
	DRAWING NO.	T-1	
	SHEET NO.	1 of 8	

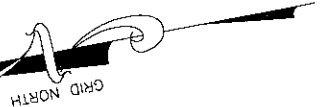


NUMBER	DIRECTION	DISTANCE
1	N 15°42'21" E	39.11' MEAS.
2	N 24°08'30" E	10.75' D&M
3	S 79°48'20" W	10.31' D&M
4	N 24°08'52" E	22.67' D&M
5	N 31°22'00" E	35.03' D&M
6	N 39°56'45" E	34.39' D&M
7	N 52°42'42" E	19.19' D&M
8	N 0°16'52" E	14.82' D&M
9	S 09°37'55" W	29.42' MEAS.

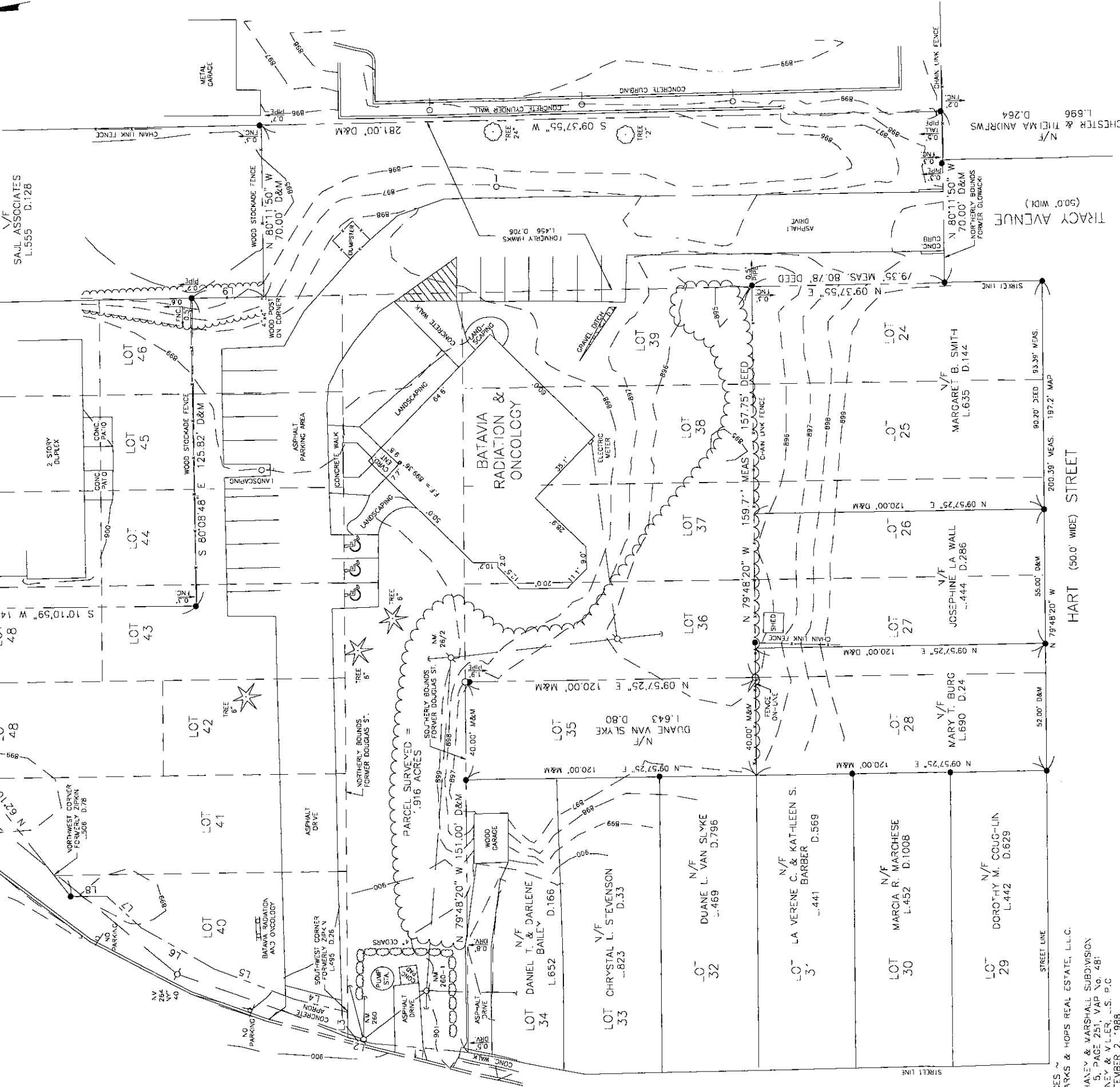
LEGEND

- = IRON PIN/PIPE FOUND
- = UTILITY POLE WITH GUY WIRE
- = WATER VALVE
- = MONITORING WELL
- = SICK
- = DEED & MEASURE
- = MAP & MEASURE

BANK (WIDTH VARIES) STREET



V/F
SAIL ASSOCIATES
L.555 D.128



- REFERENCES ~
- DEED TO SPARKS & HOPS REAL ESTATE, L.L.C. L.849 D.630
 - MAP OF MAHADEV & MARSHALL SUBDIVISION FILED BOOK 5, PAGE 251, VAP No. 481
 - MADE BY G. T. NELSON & V. L. NELSON, L.L.C. P.C. DATED: SEPTEMBER 2, 1988
 - MAP BY JOHN E. MCINTOSH, JR., L.L.C. DATED: APRIL 22, 1997

WE CERTIFY THAT THIS MAP WAS MADE JULY 24, 2007 FROM NOTES OF A SURVEY COMPLETED JUNE 20, 2007.

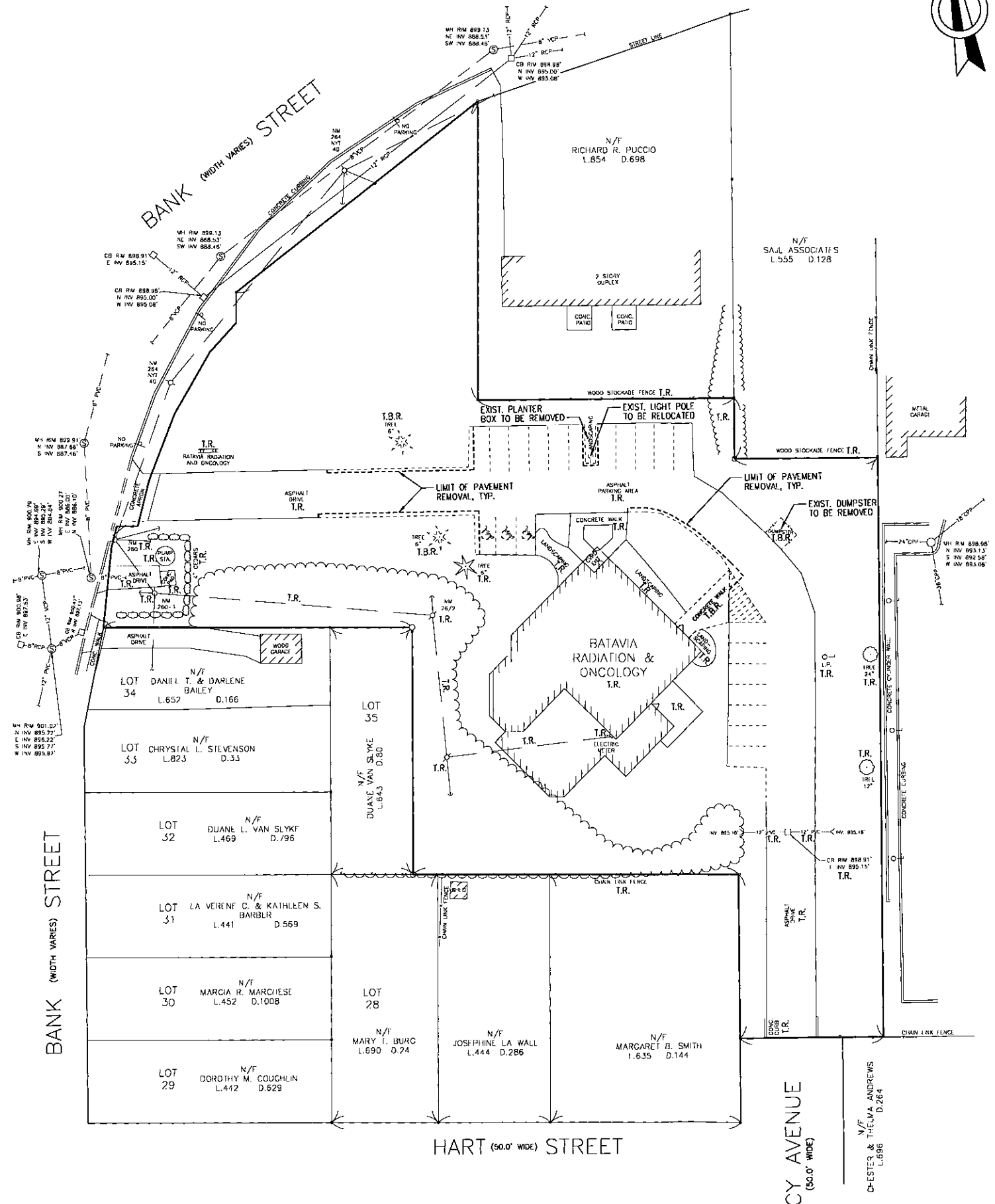
KEVIN M. O'DONOGHUE, L.S. No. 49514

NOTES:
1) UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
2) THIS SURVEY WAS PREPARED BY A LICENSED SURVEYOR IN THE CREDIT ABSTRACT OF TITLE AND SUBJECT TO ANY STATE OF FACT THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.

MAP OF A SURVEY
OF LAND BEING
SPARKS & HOPS REAL ESTATE, LLC
BEING PART OF ORIGINAL VILAGE LOTS 16 & 26
CITY OF BATAVIA
GENESEE COUNTY, NEW YORK

WE-CH & O'DONOGHUE
LAND SURVEYORS, P.C.
P.O. BOX 669
87.5 ROUTE 237
STATTON, NEW YORK 14143
PH: (585) 343-5334
FAX 343-5610

JOB No. G07-32215



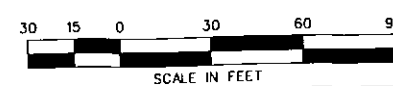
DEMOLITION NOTES

1. THE BASEMAP INFORMATION IS PROVIDED BY WELCH & O'DONOGHUE LAND SURVEYORS, P.C., CONTACT WELCH & O'DONOGHUE FOR ADDITIONAL INFORMATION ON THE PROJECT HORIZONTAL AND VERTICAL CONTROL. CONTRACTOR TO FIELD VERIFY AND REPORT ANY DISCREPANCIES FROM THE PLANS TO THE ENGINEER.
2. THE CONTRACTOR SHALL CALL THE UNDERGROUND FACILITIES PROTECTION ORGANIZATION (UPPO)(800-962-7962) AND AT LEAST (7) FULL WORKING DAYS PRIOR TO THE START OF THE DEMOLITION PHASE. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ANY AND ALL UTILITY COMPANIES THAT ARE NOT A MEMBER OF THE "DIG SAFELY NEW YORK" PROGRAM. THE CONTRACTOR SHALL PAY FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGED UTILITY LINES OR LOSS OF SERVICE.
3. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER'S PROJECT MANAGER. PRIOR TO DEMOLITION, COORDINATE THE REMOVAL OF THE EXISTING UTILITIES, PAVEMENT, FENCING, ETC. WITH THE OWNER'S PROJECT MANAGER.
4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS IN THE AREA OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFE REMOVAL AND DISPOSAL OF ALL BRUSH, TREES, DEBRIS, OR ANY OTHER APPURTENANCES FROM THE SITE.
6. THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER.
7. THE CONTRACTOR SHALL MAINTAIN AND PROTECT EXISTING TRAFFIC/PEDESTRIAN ACCESS TO THE SITE. THE CONTRACTOR SHALL COORDINATE THE WORK ZONE TRAFFIC CONTROL (WZTC) WITH THE OWNER'S PROJECT MANAGER AND THE ENGINEER. ALL WZTC TO BE COMPLETE IN CONFORMANCE WITH THE OWNER'S STANDARDS AND THE CURRENT NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
8. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE DRAINAGE INLETS FREE OF ANY OBSTRUCTIONS TO ENSURE PROPER STORM WATER FLOW ACROSS THE SITE.
9. THE CONTRACTOR SHALL DELINEATE, REMOVE, AND PROPERLY DISPOSE OF ANY CONTAMINATED SOIL AND MATERIALS ON-SITE THAT EXCEED ANYSDC THRESHOLD VALUES. HANDLING, REMOVAL, AND DISPOSAL OF CONTAMINATED MATERIALS SHOULD TAKE PLACE IN ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL, AND LOCAL REGULATIONS.
10. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER SHOWN ON THE PLANS OR NOT.

LEGEND

- T.B.R. TO BE REMOVED
- T.B.R.L. TO BE RELOCATED
- T.R. TO REMAIN
- - - - - EXISTING FEATURE TO BE REMOVED
- - - - - LIMIT OF PAVEMENT REMOVAL
- [Hatched Box] EXISTING CONCRETE TO BE REMOVED
- [Dashed Box] EXISTING PAVEMENT TO BE REMOVED

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New York
800-962-7962
www.digsafelynewyork.org



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- ☐ Wait The Required Time
- ☐ Confirm Utility Response
- ☐ Respect the Marks
- ☐ Dig With Care

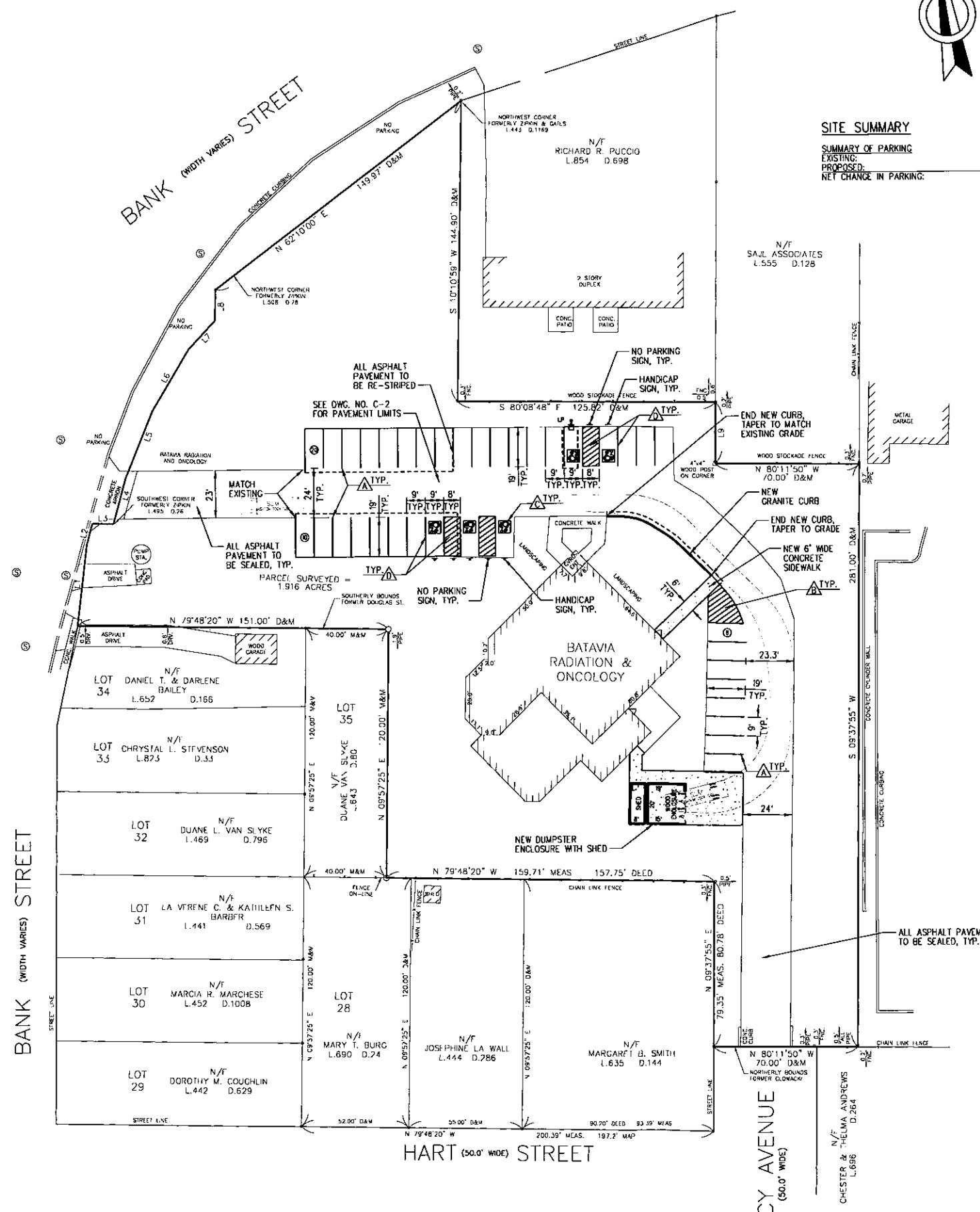
UNAPPROVED REVISION OR ADDITION TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 45.			
NO.	DATE	DESCRIPTION	REVISIONS
1			
2			
3			

DATE: _____

TYLIN INTERNATIONAL
255 EAST AVENUE
ROCHESTER, NY 14604
(585) 512-2000

DEMOLITION PLAN
SITE IMPROVEMENTS
WILMONT CANCER INSTITUTE
262 BANK STREET, BATAVIA, NEW YORK
CLIENT: UNIVERSITY OF ROCHESTER
271 EAST RIVER ROAD, ROCHESTER, NEW YORK 14627-0247

PROJECT NO: 43.6234.00
DATE: 08/26/15
SCALE: 1"=30'
DRAWING NO: C-0
SHEET NO: 3 of 8



SUMMARY OF PARKING	
EXISTING:	21 SPACES
PROPOSED:	38 SPACES
NET CHANGE IN PARKING:	+17 SPACES

- ### SITE NOTES
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER'S PROJECT MANAGER.
 - CONSTRUCTION METHODS AND OWNER'S MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED OWNER'S STANDARD SPECIFICATIONS OR AS SPECIFIED BY THE OWNER'S PROJECT MANAGER.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS, ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA, IN AN ADEQUATE AND SATISFACTORY MANNER.
 - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND R.O.W. MONUMENTS IN THE AREAS OF CONSTRUCTION.
 - THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER'S SITE WORK SPECIFICATIONS. ALL WORK TO BE COMPLETE IN ACCORDANCE WITH THE NYSOT AND CITY OF BATAVIA STANDARD SPECIFICATIONS.
 - REFERENCES TO NYSOT STANDARDS SHALL MEAN THE "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, OFFICE OF ENGINEERING, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, SEPTEMBER 2014," WITH ALL CURRENT ADDENDUMS.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF THE CURB UNLESS OTHERWISE NOTED.
 - THE COMPACTION REQUIREMENTS FOR ANY AND ALL FILL MATERIAL(S) PLACED ANYWHERE ON OWNERS PROPERTY SHALL BE 95% OF THE STANDARD PROCTOR (ASTM D-698).
 - ALL ON-SITE CONCRETE SHALL BE PLACED AS PER CITY OF ROCHESTER STANDARD SPECIFICATIONS. ALL ON-SITE CONCRETE FOR SIDEWALKS, SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS.

CLASS	4000 psi @ 28 days
AIR CONTENT	6% ± - 1.5%
SLUMP	1'-3"

PAVEMENT STRIPING SPECIFICATION

ALL ACCESSIBLE STRIPING SHALL BE "ADA" BLUE, INCLUDING THE OUTER LINE OF THE ACCESSIBLE SPACE. AN INITIAL PRIMER COAT OF WHITE SHALL BE USED PRIOR TO PAINTING OF THE BLUE LINES.

ALL PARKING SPACE STRIPING AND HATCHED AREAS, SHALL BE YELLOW.

REFER TO DWG. NO. CD-1 FOR PAVEMENT STRIPING DETAILS.

PAVING SPECIFICATION

(MINIMUM 4" TOTAL COMPACTED ASPHALT THICKNESS)

1.5" BITUMINOUS TOP COURSE, OVER 2.5" BITUMINOUS BINDER COURSE, OVER 8" MINIMUM CRUSHED AGGREGATE BASE COURSE. COMPACTION TO BE 100% OF MAXIMUM DRY DENSITY (ASTM D-698). THE ASPHALT PAVEMENT MIX DESIGN AND PLACEMENT SPECIFICATIONS SHALL CONFORM TO NEW YORK STATE DEPARTMENT OF TRANSPORTATION CURRENT SPECIFICATIONS.

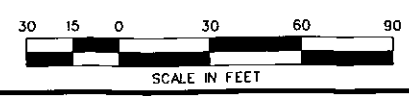
THE OWNERS ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TESTS AND/OR CORE SAMPLES. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF THE OWNER, OTHERWISE, G.C. WILL BE CHARGED.

- ### PAINT STRIPING LEGEND
- 4" WIDE YELLOW STRIPE
 - 4" WIDE YELLOW STRIPE AT 45 DEG. AT 2'-0" ON CENTER
 - HANDICAP SYMBOL (BLUE)
 - 4" BLUE PARKING STRIPE OR STRIPED AREA - 4" BLUE STRIPES @ 45°, 2' O.C. (SEE DETAIL ON DWG. NO. C-8)

- ### SITE LEGEND
- U OF R PROPERTY BOUNDARY
 - PAVEMENT STRIPING
 - CONCRETE CURB
 - CONCRETE SIDEWALK

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☐ Confirm Utility Response
☐ Respect the Marks
☐ Dig With Care



REVISIONS	
NO.	DESCRIPTION
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2	
3	

DATE _____

TYLIN INTERNATIONAL

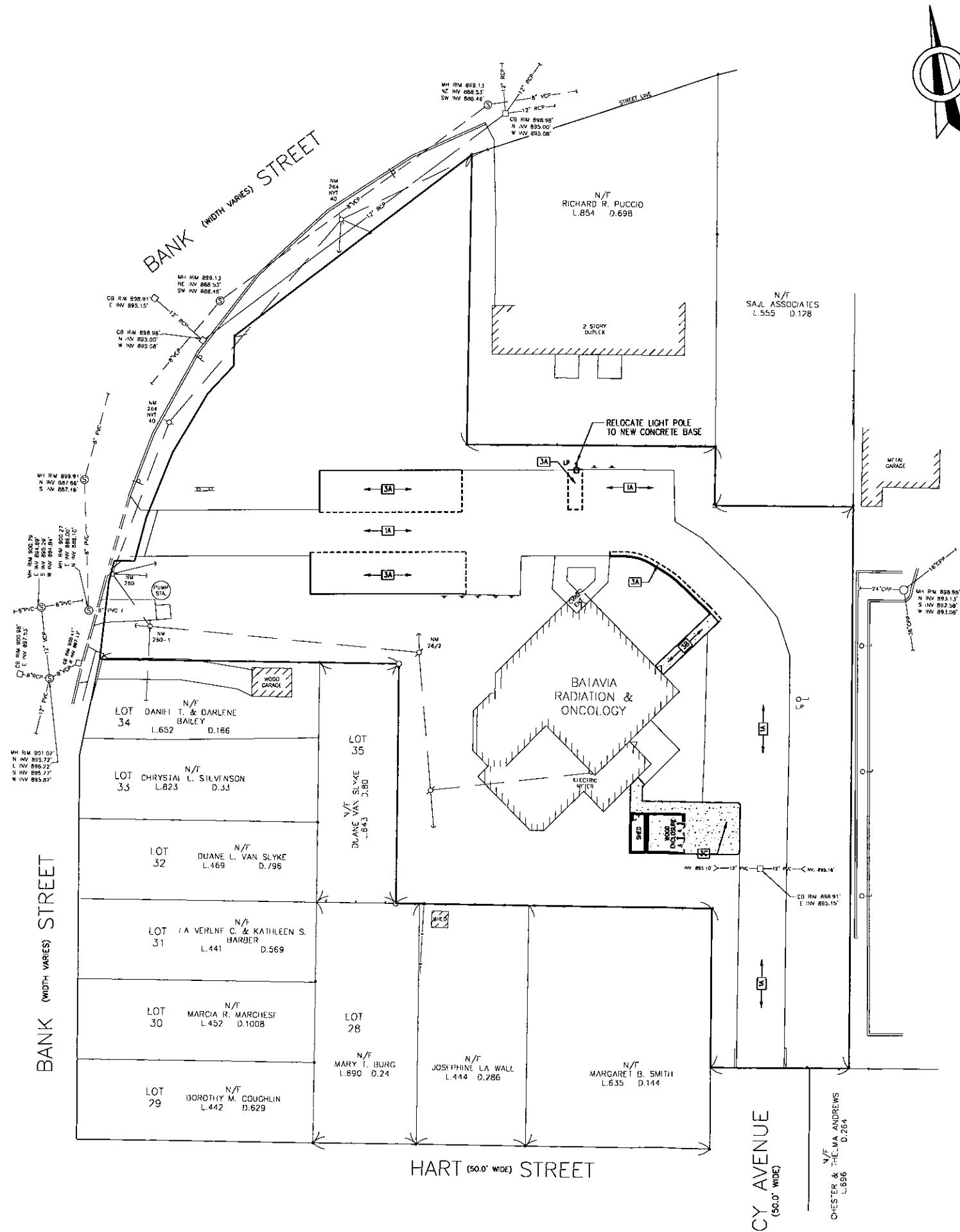
255 EAST AVENUE
ROCHESTER, NY 14604
(585) 512-2000

SITE PLAN

SITE IMPROVEMENTS
WILMONT CANCER INSTITUTE
262 BANK STREET, BATAVIA, NEW YORK

CLIENT:
UNIVERSITY OF ROCHESTER
271 EAST RIVER ROAD, ROCHESTER, NEW YORK 14627-0347

PROJECT NO:	43.6234.00	PROJ. MGR:	NEB
DATE:	08/26/15	DRAWN BY:	XDM
SCALE:	1" = 30'	CHECKED BY:	NEB
DRAWING NO:	C-1		
SHEET NO:	4 of 8		

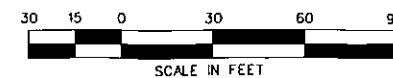


ELECTRICAL LIGHTING NOTES:

1. ELECTRICAL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY OTHER STATE OR LOCAL CODE HAVING JURISDICTION.
2. ALL LIGHTING POLES SHALL BE GROUNDED AS REQUIRED BY THE NATIONAL ELECTRIC CODE.
3. ALL EQUIPMENT AND WIRING SHALL BE WEATHERPROOF.
4. UNDERGROUND CABLE SHALL BE UL LISTED.
5. CONDUIT TRENCH SHALL BE 30\"/>

LEGEND

- [1A] PAVEMENT SEALING
- [3A] FULL DEPTH ASPHALT PAVEMENT
- [3B] CONCRETE SIDEWALK
- [3C] HEAVY DUTY CONCRETE



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☐ Confirm Utility Response
☐ Respect the Marks
☐ Dig With Care

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			

DATE _____

TYLIN INTERNATIONAL

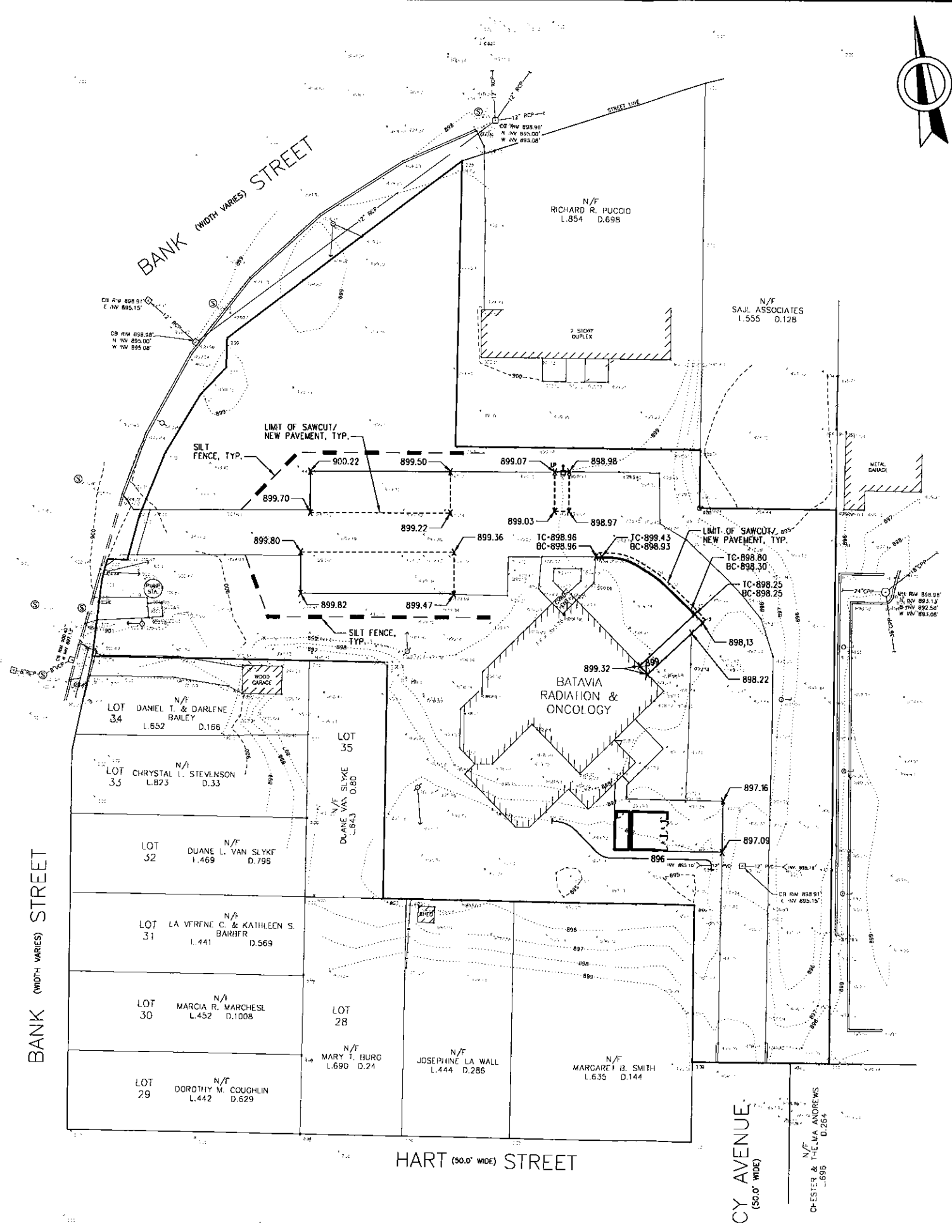
255 EAST AVENUE
ROCHESTER, NY 14604
(585) 512-2000

PAVEMENT RESTORATION
& UTILITY PLAN

PROJECT NAME: SITE IMPROVEMENTS
WILMONT CANCER INSTITUTE
262 BANK STREET, BAIVA, NEW YORK

CLIENT: UNIVERSITY OF ROCHESTER
271 EAST RIVER ROAD, ROCHESTER, NEW YORK 14627-0347

PROJECT NO:	43.6234.00	PILOT MGR:	NEB
DATE:	08/26/15	EXAM. BY:	XDM
SCALE:	1"=30'	CHKD. BY:	NEB
DRAWING NO:	C-2		
SHEET NO:	5 of 8		



EARTHWORK, COMPACTION AND GRADING NOTES

- 1. CONTRACTOR SHALL PROTECT EXISTING TREES AND VEGETATION OUTSIDE THE LIMITS OF GRADING.
- 2. CONTRACTOR SHALL PROVIDE ROUNDING AT TOP OF CUTS AND TOE OF FILLS WHEREVER POSSIBLE TO BLEND NEW CONTOURS TO EXISTING.
- 3. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- 4. GRADING SHALL BE KEPT WITHIN THE LIMITS SHOWN ON THE GRADING PLAN. ALL PROPOSED FILL AREAS SHALL BE STRIPPED OF THE EXISTING ASPHALT PRIOR TO BRING UP THE GRADE.
- 5. FILL SHALL BE DEPOSITED IN EIGHT (8) INCHES LOOSE LAYERS MAXIMUM, EXCEPT FILL WITHIN LANDSCAPED AREAS WHICH MAY BE DEPOSITED IN TWELVE (12) INCH LOOSE LAYERS MAXIMUM. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY ASTM D-1557 (90Z IN LANDSCAPED AREAS) AT ITS OPTIMUM MOISTURE CONTENT +/- 2%. REFER TO GEOTECHNICAL REPORT FOR EXISTING SOIL CONDITIONS/COMPACTION, ETC.
- 6. THE PLACEMENT AND COMPACTION OF BOTH FILL AND SUBBASE MATERIAL SHALL BE APPROVED BY THE CONSTRUCTION INSPECTOR OR OWNERS REPRESENTATIVE.

RESTORATION NOTES

- 1. THE ADJACENT AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION MUST BE RESTORED IN KIND TO THE SATISFACTION OF THE OWNER.
- 2. WHEN ADJACENT ASPHALT, CONCRETE OR PAVING STONE AREAS ARE DISTURBED AS PART OF THE CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO REPLACE THE DAMAGED OR EXCAVATED AREA. THE PERIMETER OF THE DISTURBED AREA SHALL BE SAW CUT FULL DEPTH, SO THAT ALL LINES ARE STRAIGHT AND TRUE. PAVING STONES SHALL BE REPLACED IN WHOLE UNITS ONLY, AND ALL REPLACEMENT PAVING STONES ARE TO MATCH THE EXISTING ONES IN SIZE, SHAPE AND COLOR. ASPHALT SHALL BE COMPACTED TO A SMOOTH FINISH AND SHALL BE FLUSH WITH THE EXISTING ADJACENT AREA THAT IS TO REMAIN.

EROSION CONTROL NOTES

- 1. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT CONTAMINATION OF THE STREAMS AND PONDS BY SILT, SEDIMENT, FUELS, SOLVENTS, LUBRICANTS, EPOXY COATINGS, CONCRETE LEACHATE, OR ANY OTHER POLLUTANT ASSOCIATED WITH CONSTRUCTION AND CONSTRUCTION PROCEDURES.
- 2. DURING CONSTRUCTION, NO WET OR FRESH CONCRETE OR LEACHATE SHALL BE ALLOWED TO ESCAPE INTO THE WATERS OF NEW YORK STATE, NOR SHALL WASHINGS FROM CONCRETE TRUCKS, MIXERS, OR OTHER DEVICES BE ALLOWED TO ENTER ANY WETLANDS OR WATERS.
- 3. ANY DEBRIS OR EXCESS MATERIALS FROM CONSTRUCTION OF THIS PROJECT SHALL BE IMMEDIATELY AND COMPLETELY REMOVED FROM THE BED AND BANKS OF ALL WATER AREAS TO AN APPROPRIATE UPLAND AREA FOR DISPOSAL.
- 4. ALL AREAS OF SOIL DISTURBANCE RESULTING FROM THIS PROJECT SHALL BE SEEDED WITH AN APPROPRIATE PERENNIAL GRASS SEED AND MULCHED WITH HAY AND STRAW WITHIN ONE WEEK OF FINAL GRADING. MULCH SHALL BE MAINTAINED UNTIL A SUITABLE VEGETATIVE COVER IS ESTABLISHED.
- 5. PERIODIC CLEANING AND INSPECTION OF THE TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), IF REQUIRED.
- 6. ALL CONTROLS SHALL BE PLACED PRIOR TO STARTING EARTHWORK OPERATIONS AND SHALL REMAIN IN PLACE UNTIL THE NEW SLOPES ARE STABILIZED WITH SEEDING AND/OR SLOPE PROTECTION.
- 7. FILTER FABRIC SHALL SATISFY THE REQUIREMENTS OF SECTION 207-2 OF THE NYS DOT STANDARD SPECIFICATIONS.
- 8. WHERE SILT FENCE IS USED IN AREAS OF CONCENTRATED FLOW THE ENGINEER IN CHARGE MAY CALL FOR BACKING THE FENCE WITH HAY BALES.
- 9. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED DUE TO VARIATIONS IN SITE CONDITIONS, A.O.B.E.

ACCESSIBLE PARKING/ROUTES SPECIFICATION

THE SLOPE OF THE PAVEMENT WITHIN THE ACCESSIBLE PARKING SPACE AND ACCESSIBLE AISLE SHALL BE 2% MAXIMUM IN ALL DIRECTIONS. THE CROSS SLOPE OF THE ACCESSIBLE PATH SHALL BE 2% MAXIMUM WHILE THE RUNNING SLOPE SHALL BE 5% MAXIMUM. MAXIMUM SLOPE OF ANY ACCESSIBLE SIDEWALK SHALL BE 1 ON 12.5.

TOPOGRAPHIC SURVEY

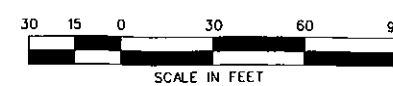
1. THE EXISTING BASEMAP INFORMATION WAS PROVIDED BY WELCH & O'DONOGHUE LAND SURVEYORS, P.C. DATED JULY 24, 2007. CONTRACTOR SHALL COMPLETE SURVEY WITHIN WORK AREA TO DETERMINE THE EXACT EXISTING ELEVATIONS AROUND THE BUILDING WITHIN THE PROPOSED WORK AREAS. CONTRACTOR TO COORDINATE ALL EXISTING ELEVATIONS WITH ENGINEER PRIOR TO STARTING CONSTRUCTION.

GRADING LEGEND

- 570 — EXISTING CONTOUR
- 570 — PROPOSED CONTOUR
- () — STORM SEWER AND CATCH BASIN
- — SILT FENCE
- LIMIT OF SAWCUT/NEW PAVEMENT

Dig Safely.
New York
800-962-7962
www.digsafelynewyork.org

- ☐ Call Before You Dig
- ☐ Wait The Required Time
- ☐ Confirm Utility Response
- ☐ Respect The Marks
- ☐ Dig With Care



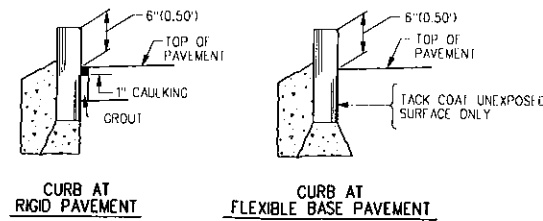
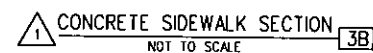
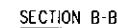
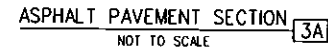
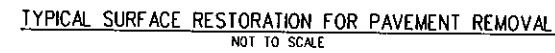
UNAUTHORIZED ALTERATION OF ADDITION TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 140, SECTION 2801			
NO.	DATE	DESCRIPTION	REVISIONS
1			
2			
3			

DATE _____

TY-LIN INTERNATIONAL
255 EAST AVENUE
ROCHESTER, NY 14604
(585) 512-2000

GRADING AND EROSION CONTROL PLAN
PROJECT NAME: SITE IMPROVEMENTS
WILMONT CANCER INSTITUTE
262 BANK STREET, BATAVIA, NEW YORK
CLIENT: UNIVERSITY OF ROCHESTER
27 EAST RIVER ROAD, ROCHESTER, NEW YORK 14627-0347

PROJECT NO.	PROJ. WORK
43.6234.00	NEB
DATE:	DRWN. BY:
08/26/15	XDM
SCALE:	CHKD. BY:
1"=30'	NEB
DRAWING NO.	
C-3	
SHEET NO.	
6 of 8	



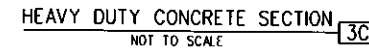
- STONE CURB
(5" STONE CURB)
NOT TO SCALE



- ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



- STONE CURB
15" STONE CURB)
NOT TO SCALE



TYPICAL ACCESSIBLE STALL STRIPING DETAIL
NOT TO SCALE

PROJECT NO:	PROJ. MGR:
43.6234.00	NEB
DATE:	DOWN BY:
08/26/15	XDM
SCALE:	CHRD. BY:
AS SHOWN	NEB
DRAWING NO:	
CD-1	
SHEET NO.	
7 of 8	



NO.	DATE	DESCRIPTION
3		
2		
1		

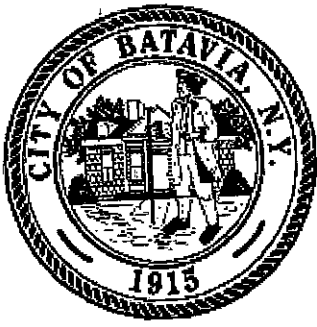
DATE _____

TY·LIN INTERNATIONAL

255 EAST AVENUE
ROCHESTER, NY 14604
(585) 512-2000

DRAWING TITLE CONSTRUCTION DETAILS - 2	PROJECT NAME: SITE IMPROVEMENTS WILMONT CANCER INSTITUTE 262 BANK STREET, BA AVA, NEW YORK	CLIENT: UNIVERSITY OF ROCHESTER 271 EAST RIVER ROAD, ROCHESTER, NEW YORK 14627-0347
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PROJECT NO:	43.6234.00	PROJ. MGR:	NEB
DATE:	08/26/15	DRAWN BY:	XDM
SCALE:	AS SHOWN	CHECKED BY:	NEB
DRAWING NO:		CD-2	
SHEET NO.			



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 9/2/15

Re: **401-409 West Main St. (sketch plan review)**
Tax Parcel No. 84.005-2-7.1

Zoning Use District: C-2

The applicant, Robert Fitzgerald, PE (project engineer), has requested a sketch plan review meeting with the PDC to present a site plan and receive comments pertaining to a redesigned Dunkin Donuts submittal. The purpose of this meeting will be to familiarize the city with the proposed project and provide the applicant an opportunity to obtain direction and guidance from the Planning and Development Committee prior to final submission of the site plan.

City Planning and Development Committee- Pursuant to section 162-40 A. and 162-9 of the Batavia Municipal Code, the Planning and Development Committee and the subdivider are to meet to discuss ordinances, planned projects and general subdivision requirements prior to submittal of the final plat. BMC 190-44 D Provides an opportunity for the designer to submit a site plan sketch to obtain direction and guidance before submission of the final plan.



Fitzgerald Engineering

NEW YORK STATE
LICENSED PROFESSIONAL

Fitzgerald Engineering, PLLC
255 University Avenue
Suite 240
Rochester, NY 14607
Phone: 585.281.9897
Web Site: fitzgeraldengineering.net

FIVE STAR — WEST MAIN SUBDIVISION
BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376,
AND PART OF LOTS 377, 378, AND 379 OF REDFERN
TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 108
IN THE CITY OF BATAVIA, COUNTY OF GENESSEE
STATE OF NEW YORK

Phone: 888.281.7897
Web Site: fitzgeraldengineering.net

LOCATION	401-409 WEST MAIN STREET BATAVIA, NY
CLIENT	INDUS GROUP; 1080 PITTSFORD VICTOR ROAD PITTSFORD, NY 14534

GRAPHIC SCALE: 1" = 20'

DRAWING ALTERATION NOTICE

GRADING ALLEGATION NOTICE

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW ARTICLE 140, SECTIONS 7220 AND 7220.1 WHICH APPLIES TO THIS DRAWING.

THIS IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER AN ORDER OF THE COURT, TO ALTER, ADD, REMOVE, OR OTHERWISE MODIFY ANY EXISTING OR PROPOSED GRADING OR LAND SURVEYING TO BE USED IN ANY WAY, IF AN ITEM RELATING TO THE SIZE OF AN ENGINEER OR LAND SURVEYOR'S SEAL OR SIGNATURE IS ALTERED, THE ALLEGED ENGINEER OR LAND SURVEYOR SHALL ATTEST TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SCALE 1" = 20'

DATE	1 = 20
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SHEET
June 25, 2015

PROJECT NO.	C-4
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14-0130

FILE NAME	14-0130 DRAWING.dwg	
DRAWN BY		CHECKED BY

815

REVISIONS

DATE _____

LICENSED PROFESSIONAL

Sample building styles for Batavia Dunkin' Donuts



PYLON
SIGN



#5



#1



#3



#6



#2



#4



#7