

PLANNING & DEVELOPMENT COMMITTEE

Tuesday, July 20, 2021

6:00 pm

Council Board Room

One Batavia City Centre, Batavia NY

AGENDA

I. Roll Call

II. Call to Order

III. Approval of Minutes – 6/15/21

IV. Proposals

Address: 204 Oak Street

Applicant: Patricia Bittar (agent for Quicklee's)

Proposal #1: Site Plan Review and Special Use Permit to change the use of this 3,771 sq.' restaurant building to a convenience store with retail fuel sales. The proposed project involves construction of a four-pump fuel station island with canopy and underground fuel storage tanks. The convenience store with retail fuel sales will use 2,771 sq.' and the drive-through restaurant will use the remaining 1,000 sq.' of space

Actions: 1. Review application
2. Action by the board – Site Plan and Special Use Permit

Address: 207-209, 211, 213 East Main Street; 211 ½ East Main Street Rear; 1-9, 10, 12-26, 17-23, 28 Wiard Street; 17, 19 Summit Street; 216-220 Washington Avenue

Applicant: Dave Ciurzynski, Consultant; Steve Tanner, PE

Proposal #2: Preliminary Site Plan Review of a proposed project that will result in the removal of three buildings. The proposed new facility will include the construction of a two-story, 69,420 sq.' building which will house a YMCA, medical offices, off-street parking, a new access point from Summit Street, and numerous site work/landscaping updates throughout the complex.

Actions: 1. Review application
2. Recommendations by the board

VI. Setting of Next Meeting: August 17, 2021

VII. Adjournment

PLANNING & DEVELOPMENT COMMITTEE

DRAFT MINUTES

June 15, 2021

6:00 pm

Council Board Room

One Batavia City Centre, Batavia NY

Members present: *David Beatty, John Ognibene, Duane Preston*

Members absent: Ed Flynn, Matt Gray

Others present: Meg Chilano – Recording Secretary, Doug Randall – Code Enforcement Officer

I. Roll Call

Roll call of the members was conducted. Three members were present and Chairman Duane Preston declared a quorum.

II. Call to order

Mr. Preston called the meeting to order at 6:00 p.m.

III. Previous Meeting Minutes

There were no corrections to the minutes. Mr. Preston assumed the motion and the minutes were approved as written by unanimous consent.

RESULT: Approval of May 18, 2021 meeting minutes.

IV. Proposals

- A. Site Plan Review and Special Use permit to change the use of this 3,371 sq.' restaurant building to a convenience store with retail fuel sales. The proposed project involves construction of a four-pump fuel station island with canopy and underground fuel storage tanks. The convenience store with retail fuel sales will use 2,771 sq.' and the drive-through restaurant will use the remaining 1,000 sq.' of space

Address: 204 Oak Street

Applicant: Lou Terragnoli (agent for Quicklee's)

- Actions:**
1. Review application
 2. Public Hearing
 3. SEQR
 4. Action on Site Plan and Special Use Permit

1. Review Application

Mr. Preston read the summary of the proposal.

2. Public Hearing

MOTION: Mr. Beatty moved to open the public hearing; the motion was seconded by Mr. Ognibene, and on roll call, was approved 3-0.

RESULT: Public hearing opened at 6:04 p.m.

Steve and Rose Rumery, 201 Oak Street, submitted a letter expressing their concern that the project would create greater traffic congestion in an already hazardous area. They also pointed out that trash from the gas station around the corner ends up in their front yard. They fear that another gas station in the vicinity will increase this problem.

MOTION: Mr. Ognibene moved to close the public hearing; the motion was seconded by Mr. Beatty, and on roll call, was approved 3-0.

RESULT: Public hearing closed at 6:10 p.m.

3. SEQR

Mr. Preston asked if the board had reviewed part one of the SEQR application and they indicated they had. The board went through the questions for part two.

MOTION: Mr. Ognibene moved to approve a negative declaration of SEQR; the motion was seconded by Mr. Beatty, and on roll call, was approved 3-0.

RESULT: Negative declaration of SEQR

4. Discussion and Action on Site Plan and Special Use Permit

The site plan Quicklee's presented to the board was altered from the previously submitted plan, however, the traffic study was the same one originally submitted.

Mr. Beatty wanted to know how the changed site plan would affect traffic, and questioned the impact the alteration would have on the neighborhood. He pointed out that the public had not had the opportunity to comment on the revised site plan.

Mr. Preston related his concern regarding the back up of traffic from the drive-through stack. He also noted the hazard posed by vehicles attempting to exit by going around the building and the gas station pumps.

Mr. Randall asked if Quicklee's has an easement supporting their plan to have vehicles exit by way of the driveway leading to the neighboring hotel.

The board agreed that before they would be able to make a decision regarding the site plan, they would need to see a traffic study that supported the single entrance / exit on Noonan Drive, as well as the easement agreement with the hotel.

MOTION: Mr. Beatty moved to table the proposal; the motion was seconded by Mr. Ognibene, and on roll call, was approved 3-0.

RESULT: Application tabled.

- B. City Council has been petitioned to amend the current zoning ordinance to include 211 ½ East Main Street Rear in the abutting C-3 Central Commercial District. This parcel is currently designated within the P-2 (medical campus) and abuts the C-3 district along the

south lot line. City Council has requested the PDC review the request and make recommendation for their consideration

Regarding: *211 ½ East Main Street Rear*

Actions: 1. Review petition
 2. Recommendation to City Council

1. Review Application

Mr. Preston read the summary of the petition.

2. Recommendation to City Council

MOTION: Mr. Beatty moved to recommend approval of the zoning change to City Council; the motion was seconded by Mr. Ognibene, and on roll call, was approved 3-0.

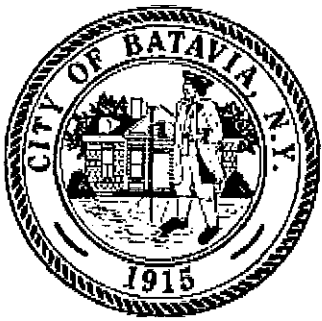
RESULT: Recommendation to the City Council for approval of the zoning change.

V. Setting of Next Meeting: July 20, 2021

VI. Adjournment

Mr. Preston moved to adjourn the meeting at 6:49 p.m., and Mr. Beatty seconded the motion. All voted in favor.

Meg Chilano
Recording Secretary



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 7/6/21

Re: 204 Oak St.
Tax Parcel No. (71.014-2-5.2)

Zoning Use District: C-2

The applicant, Patricia Bittar, Director of Land Development Projects at WM Schutt Associates for Quicklee's, has filed a Special Use Permit application and area variance application for reuse of this existing commercial property. The proposed project involves construction of a four pump fuel station island with canopy and underground fuel storage tanks, and a change of use for the existing 3,771 square foot restaurant building. 2,771 sq.ft. will be used for a convenience store with retail fuel sales. 1,000 sq.ft will be utilized for a drive thru restaurant.

On 6/15/21 PDC reviewed SEQRA and found the proposed action will not result in any significant adverse environmental impacts, but did not approve the site plan or special use permits. The applicants were asked to provide more information regarding on site traffic flow patterns, easement agreement, and an updated traffic study reflecting the loss of the Oak St. driveway.

On 6/24/21 ZBA approved two area variances..

190-37 E (10) Service stations may not be located within 500 feet of a public entrance to a church.

190-37 E (8) 40 parking spaces are required for the drive-in restaurant (4 per 100 sq.' of floor area) and 28 spaces for the service station (1 per 100 sq.' of floor area). A total of 68 spaces are required, 40 spaces are proposed.

Review and Approval Procedures:

County Planning Board- On 6/10/21 Genesee County Planning Board recommended approval of the project. They believe the proposed development would not pose a significant county wide or intercommunity impact.

City Planning and Development Committee- Pursuant to section 190-44 B(1) of the zoning ordinance, the Planning and Development Committee is authorized to conduct site plan reviews.

190-37 PDC may authorize special use permits that comply with the terms and specifications of this chapter.

190-44 C (1)(c) PDC shall review special use permit applications for site plan compliance.

190-13 C (5) Automobile service stations and drive-in restaurants are permitted with issuance of a special use permit when in compliance with 190-37- E (1-14) and 190-37 K (1-14).

EXECUTIVE SUMMARY

OVERVIEW

The purpose of this report is to identify and evaluate the potential traffic impacts with the proposed Quicklee's Development in the City of Batavia, New York. Within this report, the operating characteristics of the proposed access drives and impacts to the adjacent roadway network are identified and evaluated, and mitigating measures, if needed, are provided to minimize capacity or safety concerns.

To define traffic impacts, this analysis establishes existing traffic conditions, projects background traffic flow including area growth, and projects changes in traffic flow due to the Proposed Quicklee's Development.

This updated report considers the recommendations by the New York State Department of Transportation (NYSDOT) related to their review of the April 2021 Traffic Impact Study (TIS) for the proposed project as part of their approval of the project. Within their review letter, dated May 21, 2021, the NYSDOT recommended that the proposed right-out driveway be removed from the site plan and all site access utilize the existing Noonan Drive roadway. This study, therefore, analyzes the projected impacts considering their recommendation.

The proposed Quicklee's Development is located at the northeast corner of Oak Street (NY-98) and Noonan Drive in the City of Batavia, Genesee County, New York. The site is currently occupied by a vacant restaurant building. To ensure a comprehensive analysis of potential traffic impacts, a geographically broad study area was selected consisting of the following two (2) existing intersections:

- Oak Street/Park Road/I-90 Entrance and Exit Ramps
- Oak Street/Noonan Drive

The proposed Quicklee's Development includes a Quicklee's Convenience Store ($\pm 2,772$ SF), a Tim Horton's ($\pm 1,000$, 12 indoor seats, and a drive-thru window), and associated fueling pumps with eight vehicle fueling positions. The site is currently occupied by a vacant Bob Evans restaurant. The existing site is served by one existing driveway on Noonan Drive and one existing driveway that connects to the Super 8 parking lot.

Access to the Quicklee's Development will be provided via the existing full access driveway on Noonan Drive per the NYSDOT recommendations. The internal access driveway that connects to the Super 8 parking lot will remain.

Construction of the proposed project is anticipated to reach full build-out in approximately one year. Widely accepted methodology for preparing traffic impact studies requires that any projects in the study area that are currently approved and/or under construction must be considered in the traffic analysis. Local municipality personnel were contacted to discuss any other specific projects that are currently approved or under construction that would generate additional traffic in the study area. The Town identified a proposed medical office building on NY-98 opposite Federal Drive as well as a proposed hotel along Federal Drive. The site trips generated by these developments added to the study area intersections.

To account for normal increases in background traffic growth, including any unforeseen developments in the project study area aside from the two identified projects, a growth rate of 1.8% has been applied to the 2021 existing base traffic volumes in the study area based upon a review of historical traffic information obtained from the NYSDOT.

CONCLUSIONS & RECOMMENDATIONS

This Traffic Impact Study identified and evaluated the potential traffic impacts that can be expected from the proposed Quicklee's Development in the City of Batavia, New York. Based upon the results of this study, it is our firm's professional opinion that the existing transportation network can adequately accommodate the projected traffic volumes and resulting impacts to study area intersections. The following sets forth our firm's conclusions and recommendations based upon the results of the comprehensive traffic analysis conducted:

1. The proposed development is expected to generate approximately 158 entering/141 exiting vehicle trips during the weekday AM peak hour and 104 entering/110 exiting vehicle trips during the weekday PM peak hour. Not all these driveway volumes are new, but instead a portion of the proposed volume is reduced considering pass-by adjustments. Thus, the proposed site is expected to generate approximately 79 entering/71 exiting primary new vehicle trips during the weekday AM peak hour and 53 entering/55 exiting primary new vehicle trips during the weekday PM peak hour.
2. The existing crash investigation did not reveal inherent safety deficiencies related to the geometric design of the study area intersections.
3. Under background conditions, projected delays at the intersection of Oak Street/Park Road/I-90 are expected to be moderate to long at times during the AM and PM peak hours. The projected minor impacts resulting from the proposed project will contribute to this condition. For example, between background and full build conditions, the northbound left movement during the PM peak hour changes from LOS "E" to "F". However, it should be noted that the proposed project constitutes approximately 4% of total intersection traffic during the AM peak hour and 2% during the PM peak hour. Specifically, the project is projected to add nine vehicles to the northbound left-turn movement during the PM peak hour (approximately 4.5% of total traffic for that movement).
4. The intersection of Oak Street/Park Road/I-90 should be monitored to determine actual operations. Given that adjustments were made to the existing 2021 data to establish baseline conditions, a post-study of operations when pandemic-related restrictions are lifted is important in determining the actual extent of projected impacts.
5. The drive-thru queuing assessment during the AM peak hour showed that there is sufficient storage space to accommodate the projected drive-thru traffic patronizing the proposed coffee shop.
6. Despite the projected moderate to long delays at times during the peak hours and the results of the signal warrant investigation, and the NYSDOT's recommendation related to the April 2021 TIS, a three-color traffic signal is not recommended.

7. The projected new traffic volumes generated by full development of the project can be accommodated by the existing transportation system.



QUICKLEE'S CONCEPT DESIGN - FORMER BOB EVANS
OAK STREET DEVELOPMENT
BATAVIA, NY

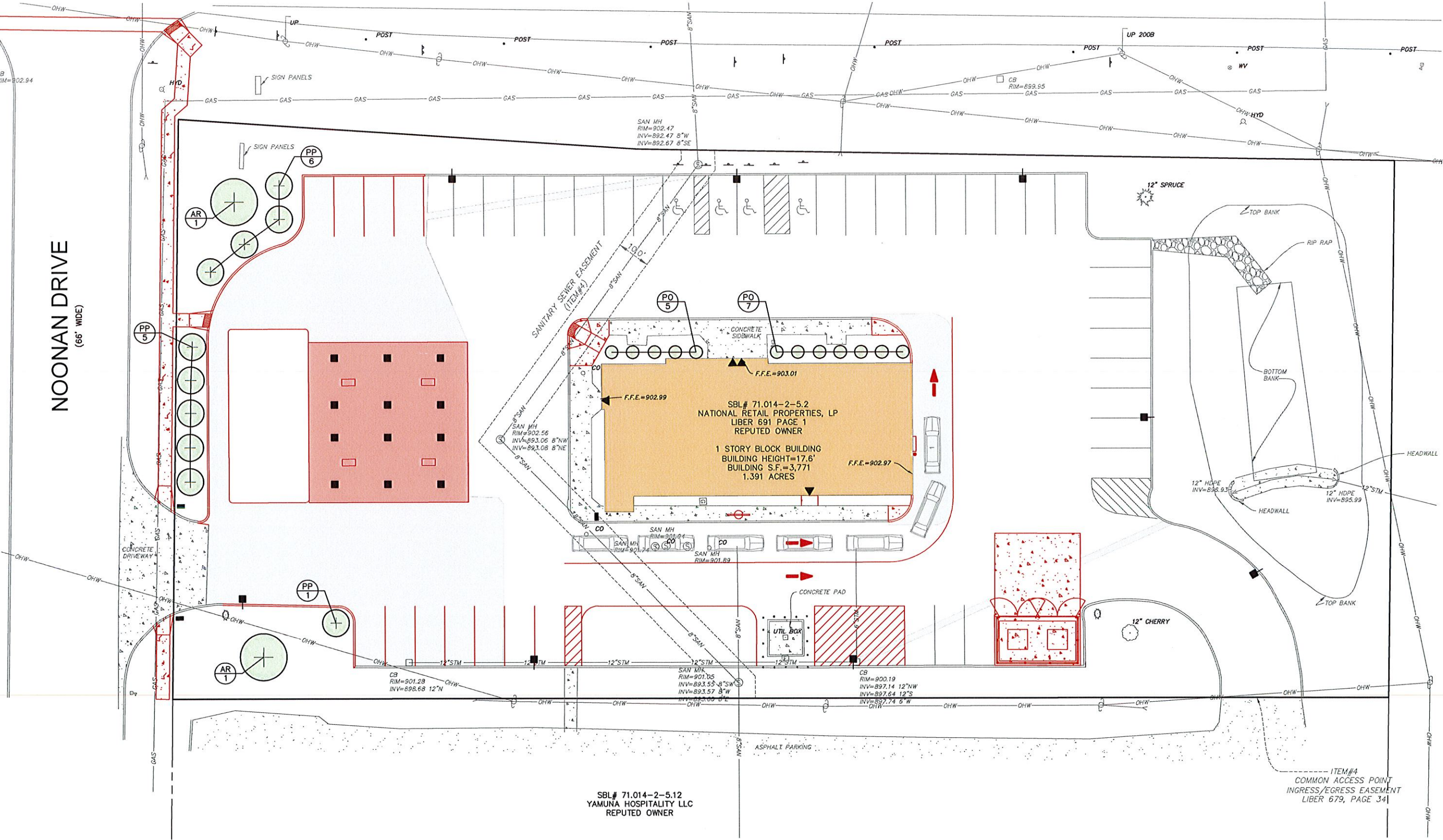
JUNE 21ST, 2021



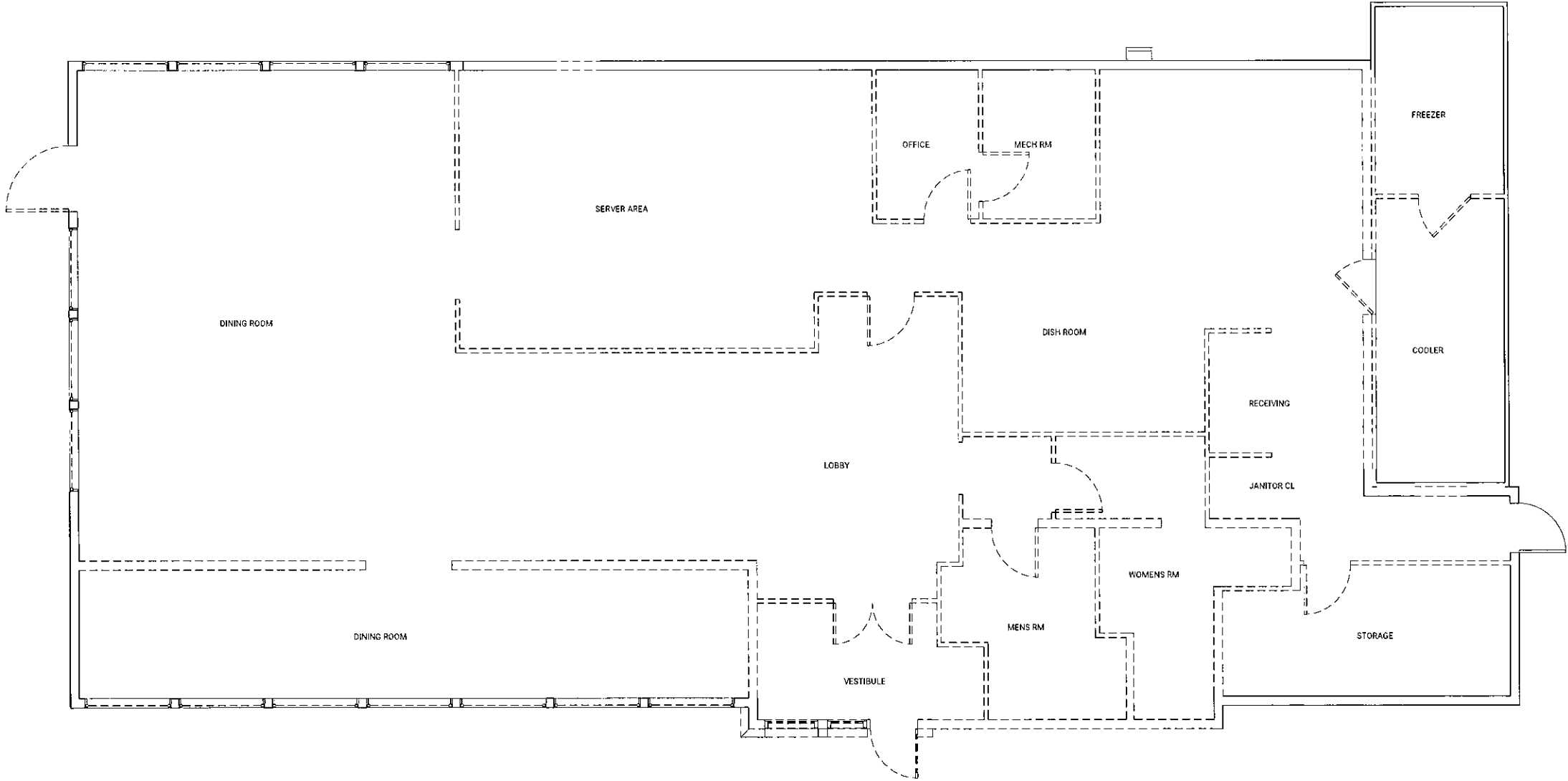
EXISTING PHOTOS



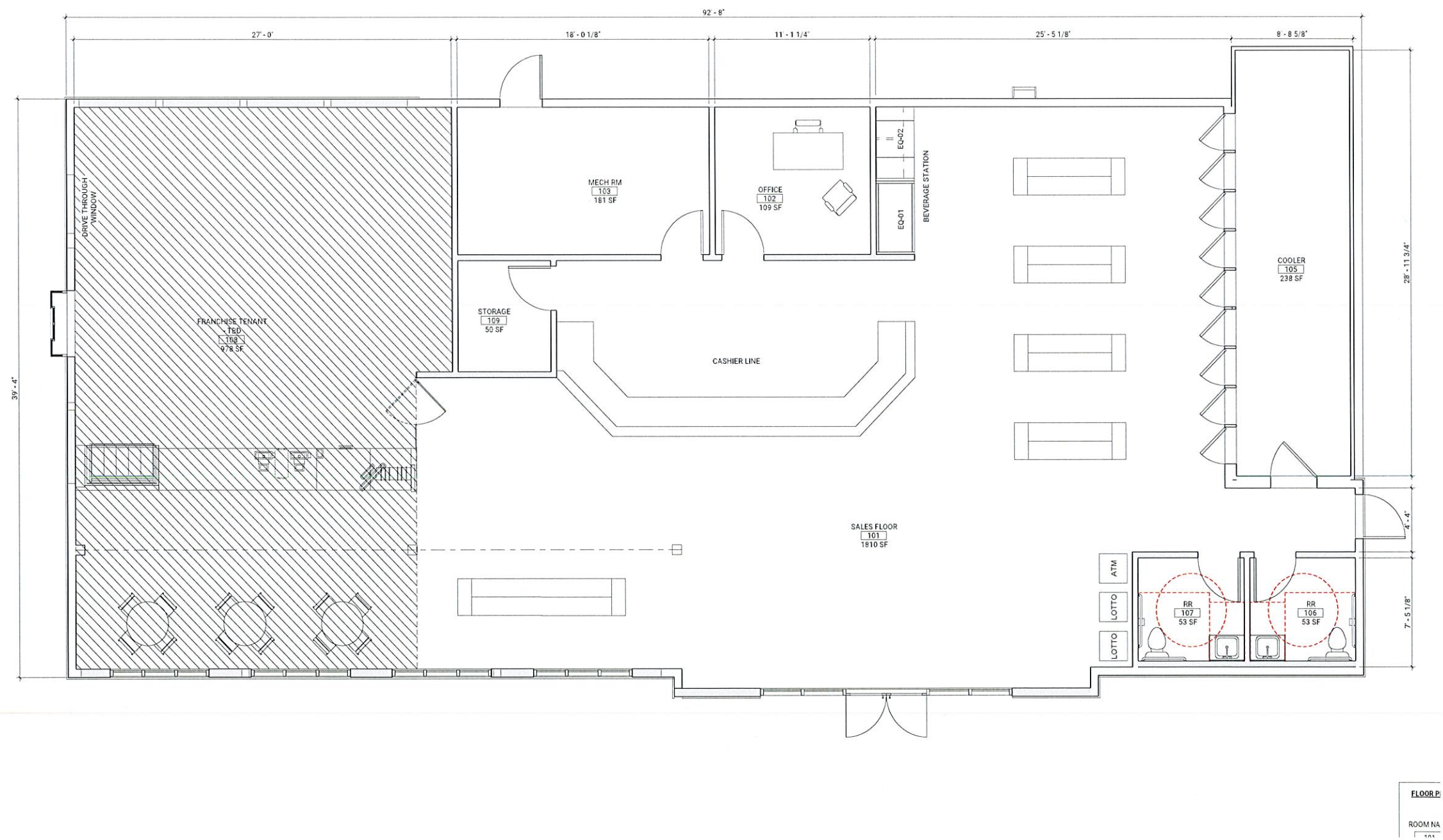
SITE PLAN



EXISTING/DEMOLITION PLAN



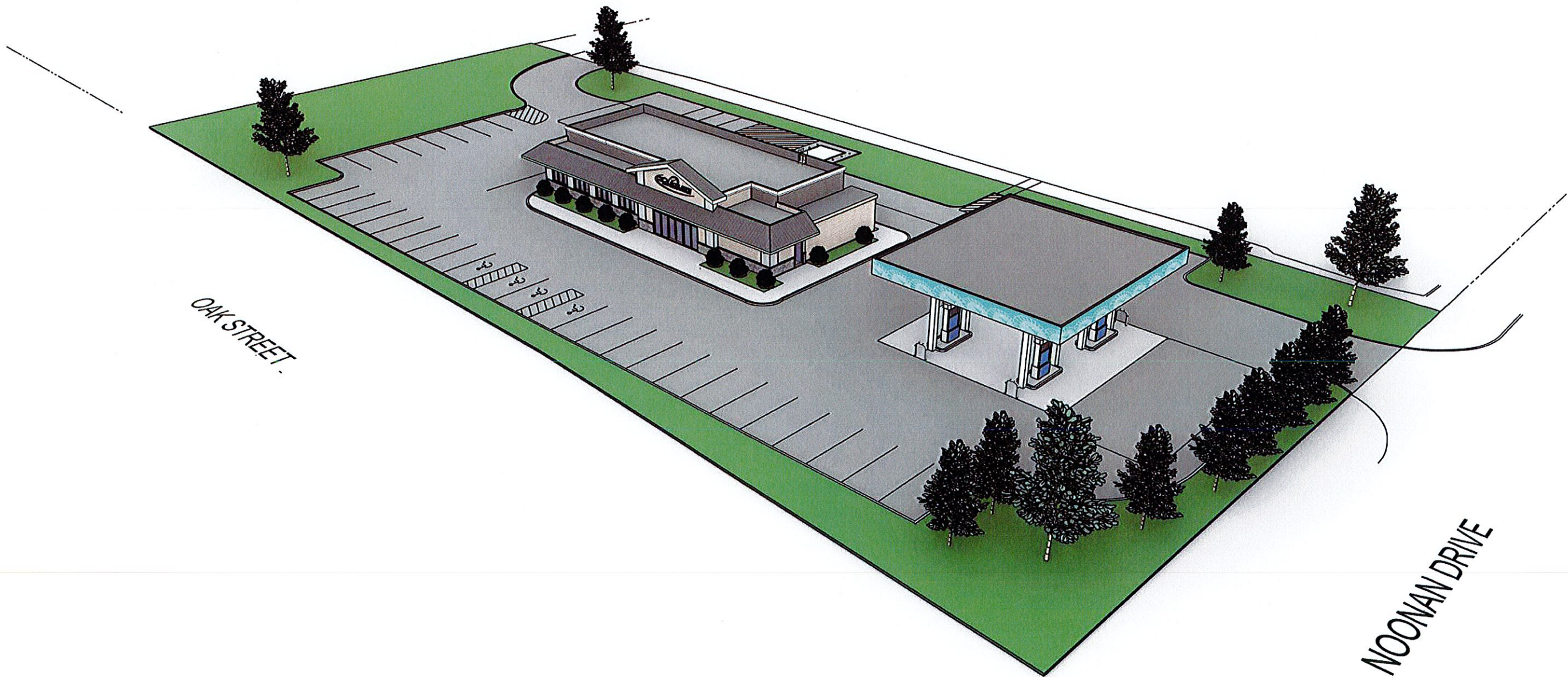
PROPOSED FLOOR PLAN



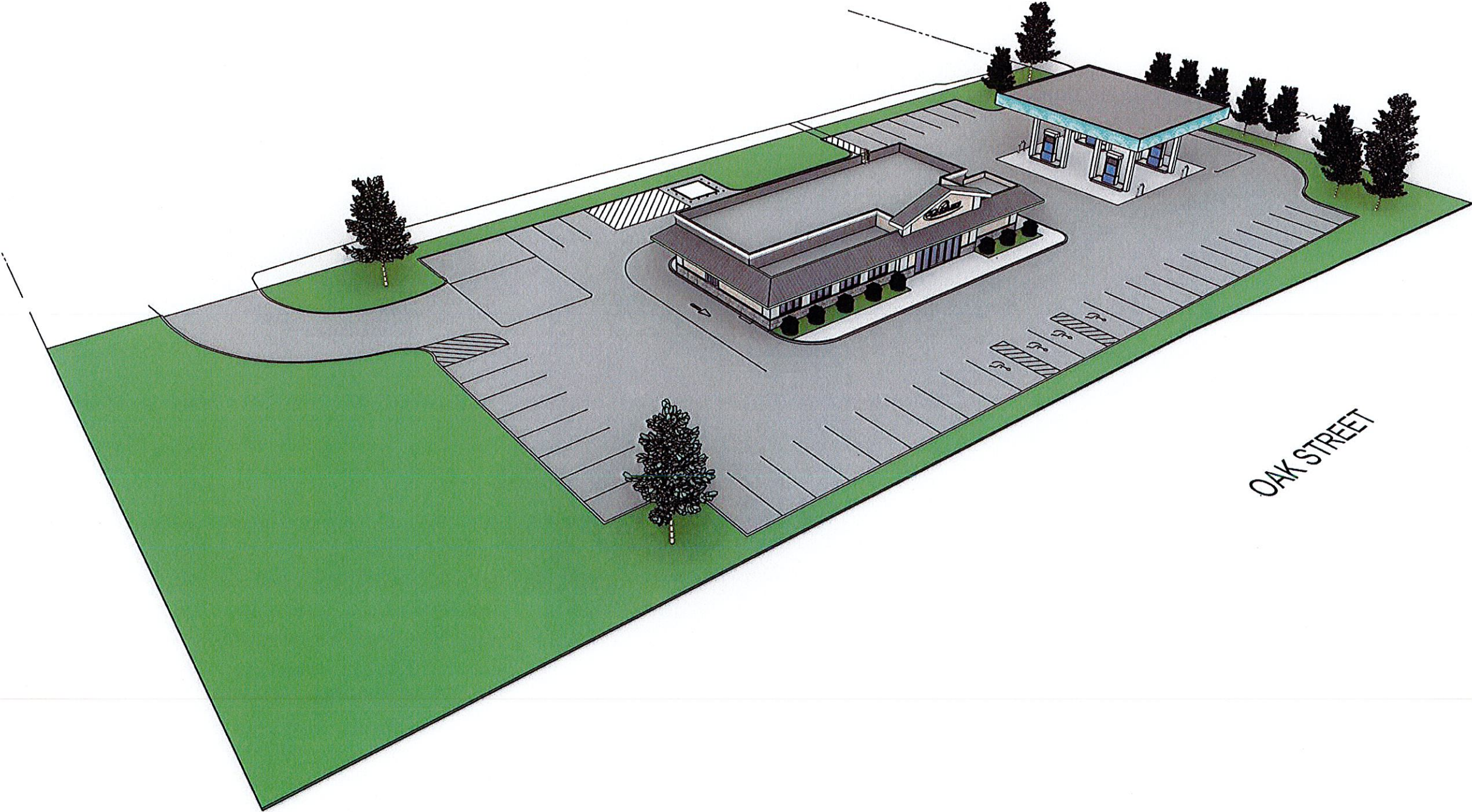
RENDERING VIEW



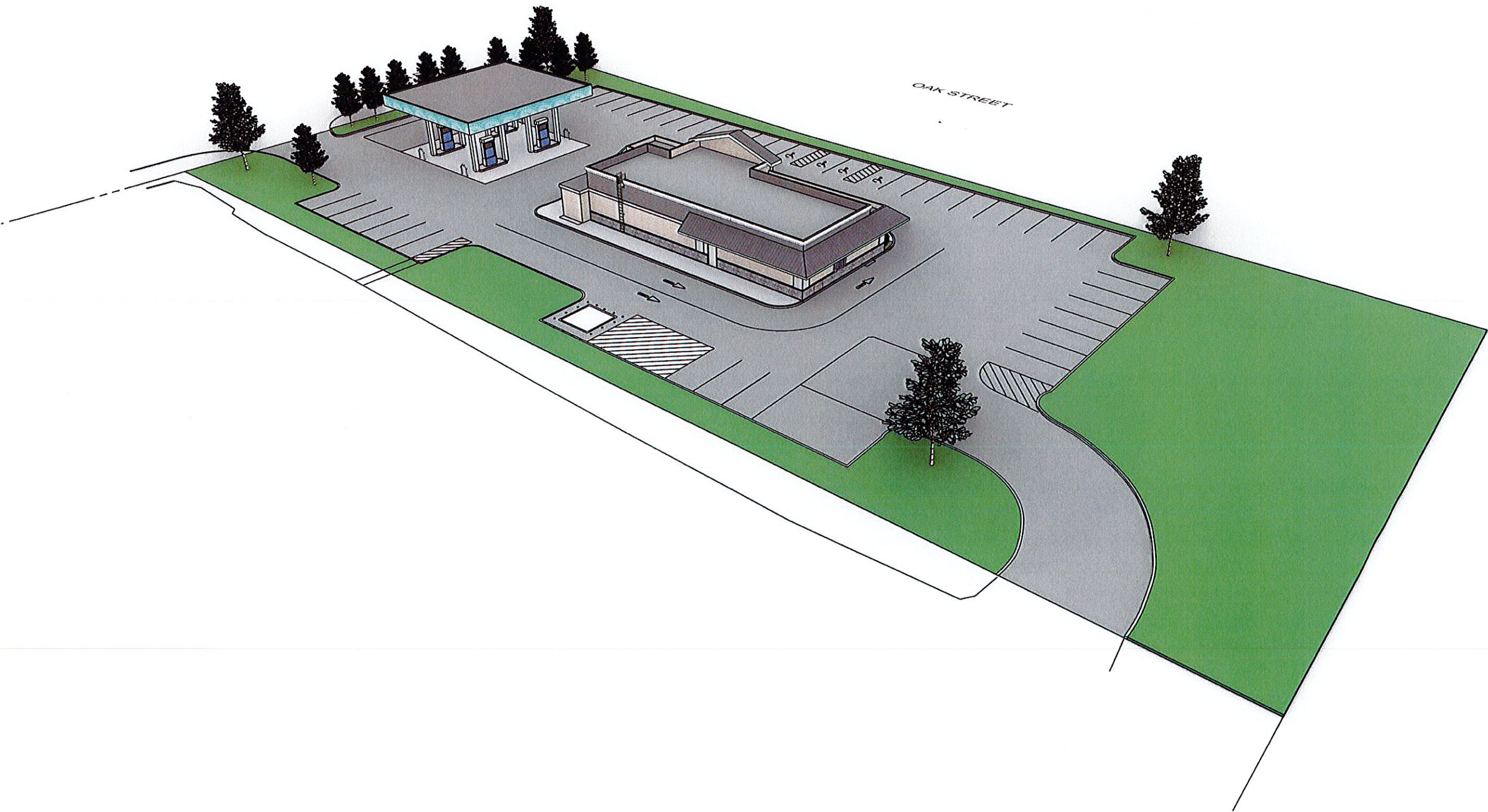
AERIAL VIEW



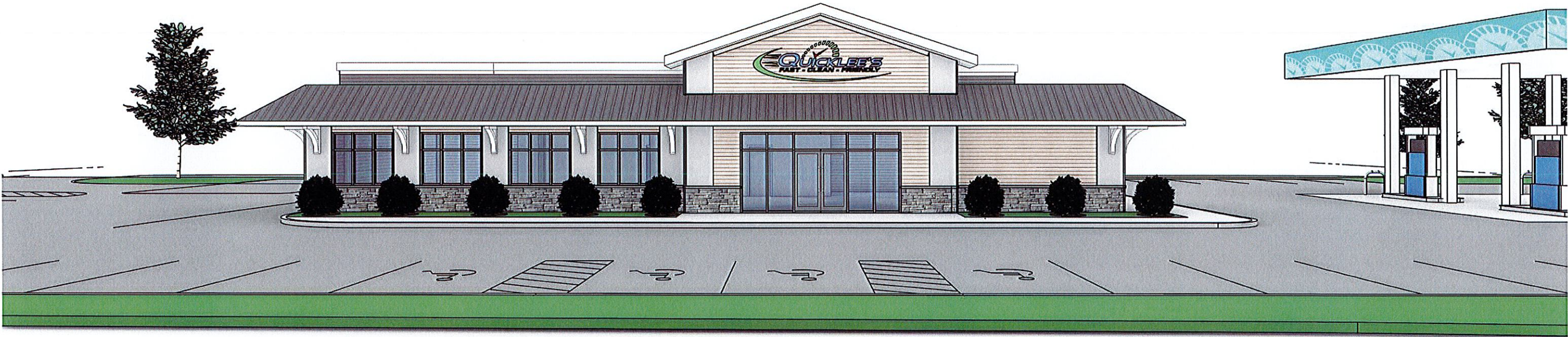
AERIAL VIEW



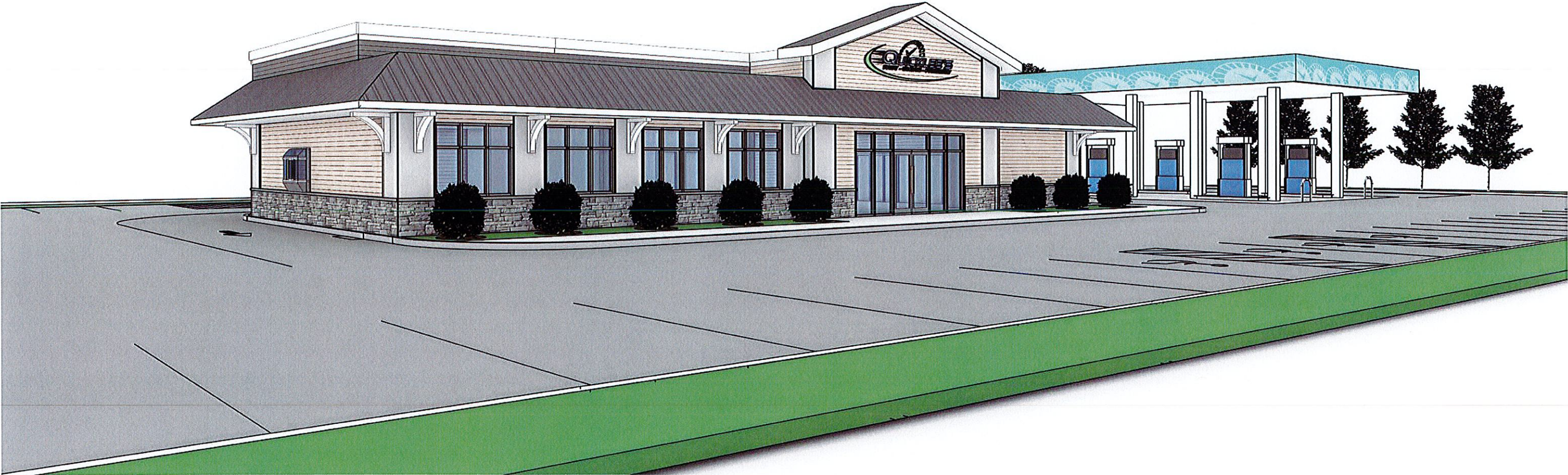
AERIAL VIEW



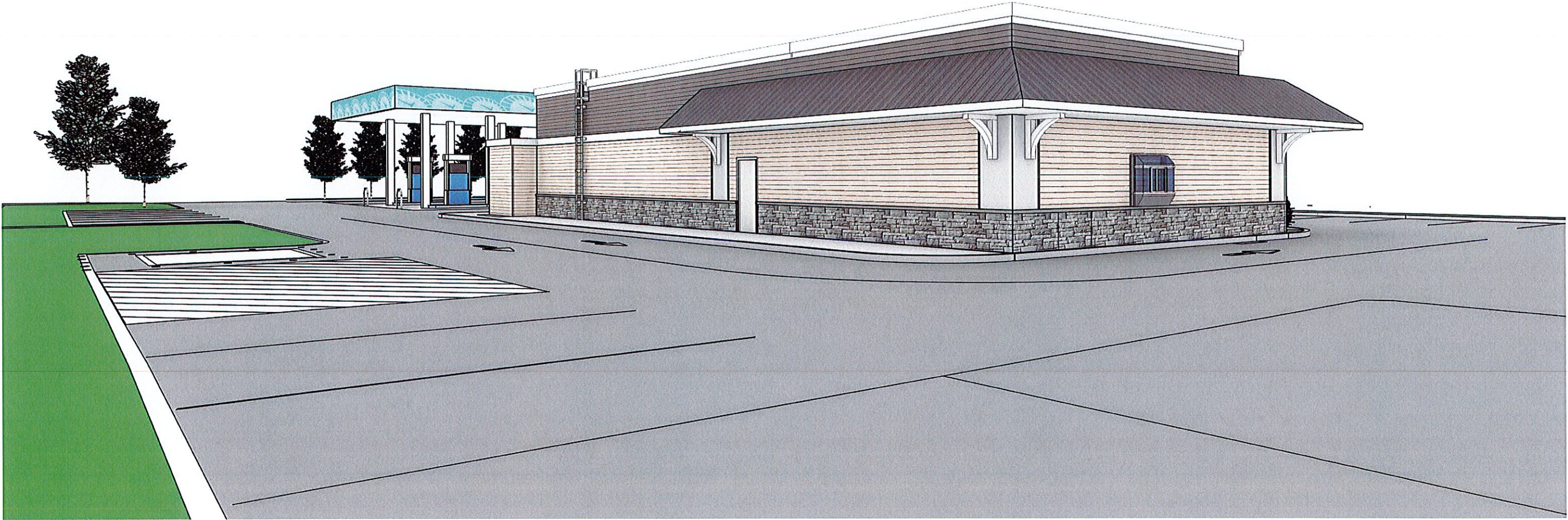
RENDERING VIEW



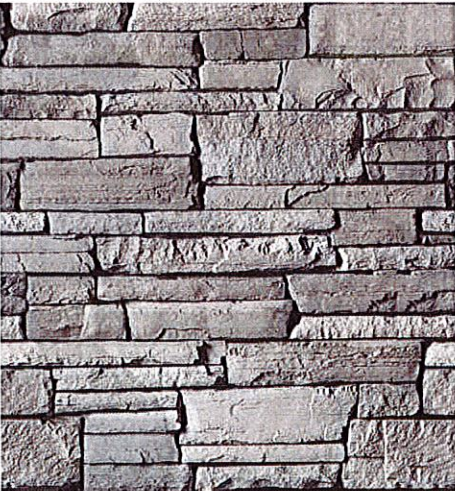
RENDERING VIEW



RENDERING VIEW



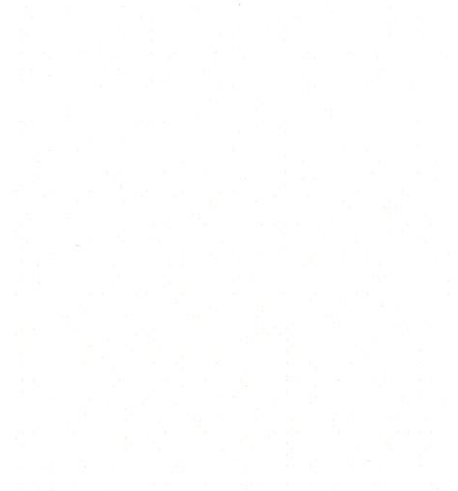
MATERIAL PALETTE



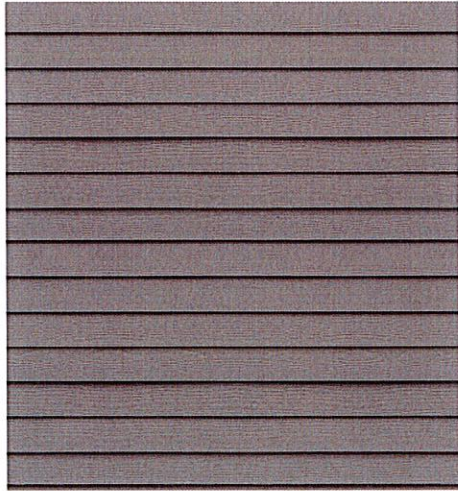
STACKED STONE VENEER



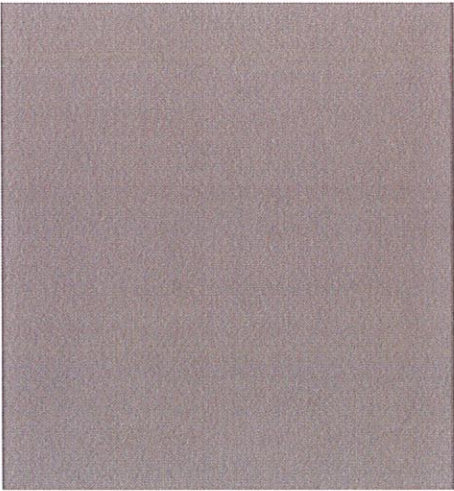
HARDIE BOARD SIDING



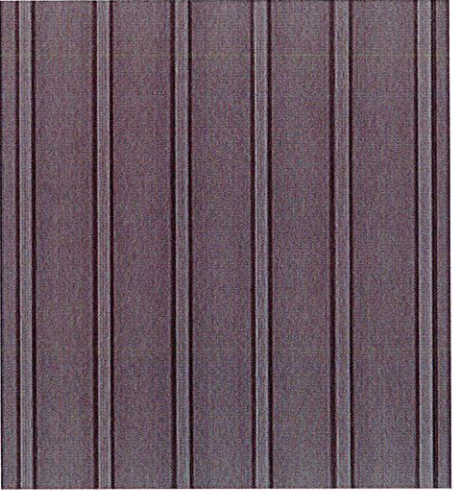
HARDIE BOARD TRIM



HARDIE BOARD SIDING



WINDOW FRAME COLOR



METAL ROOF



FRONT ELEVATION

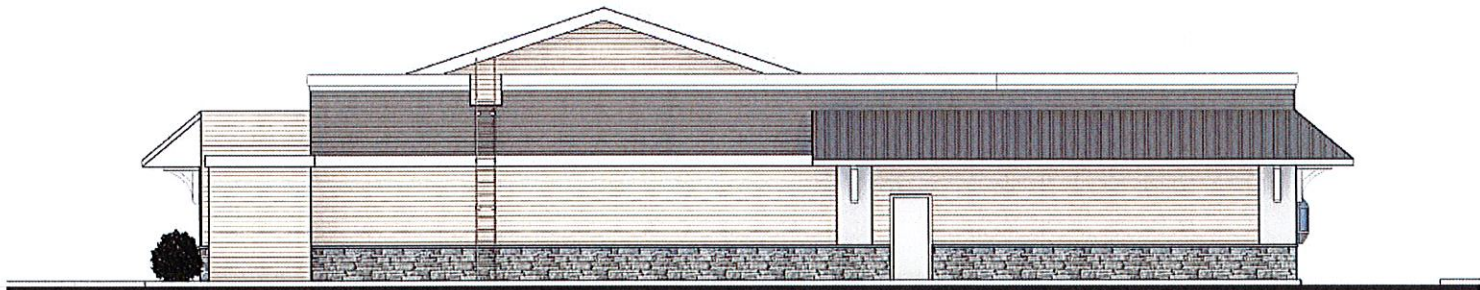
EXTERIOR ELEVATIONS



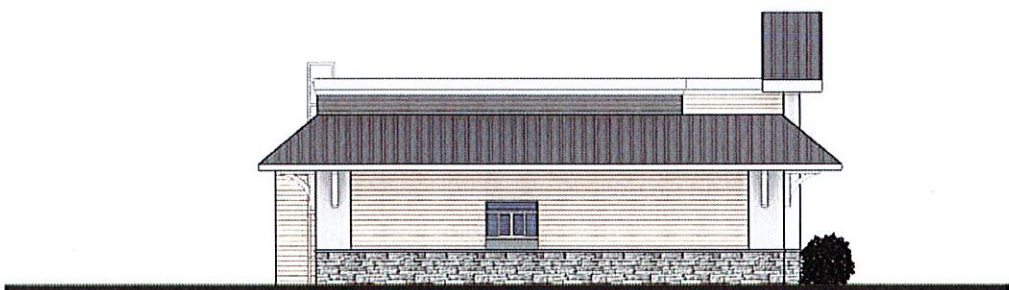
WEST ELEVATION



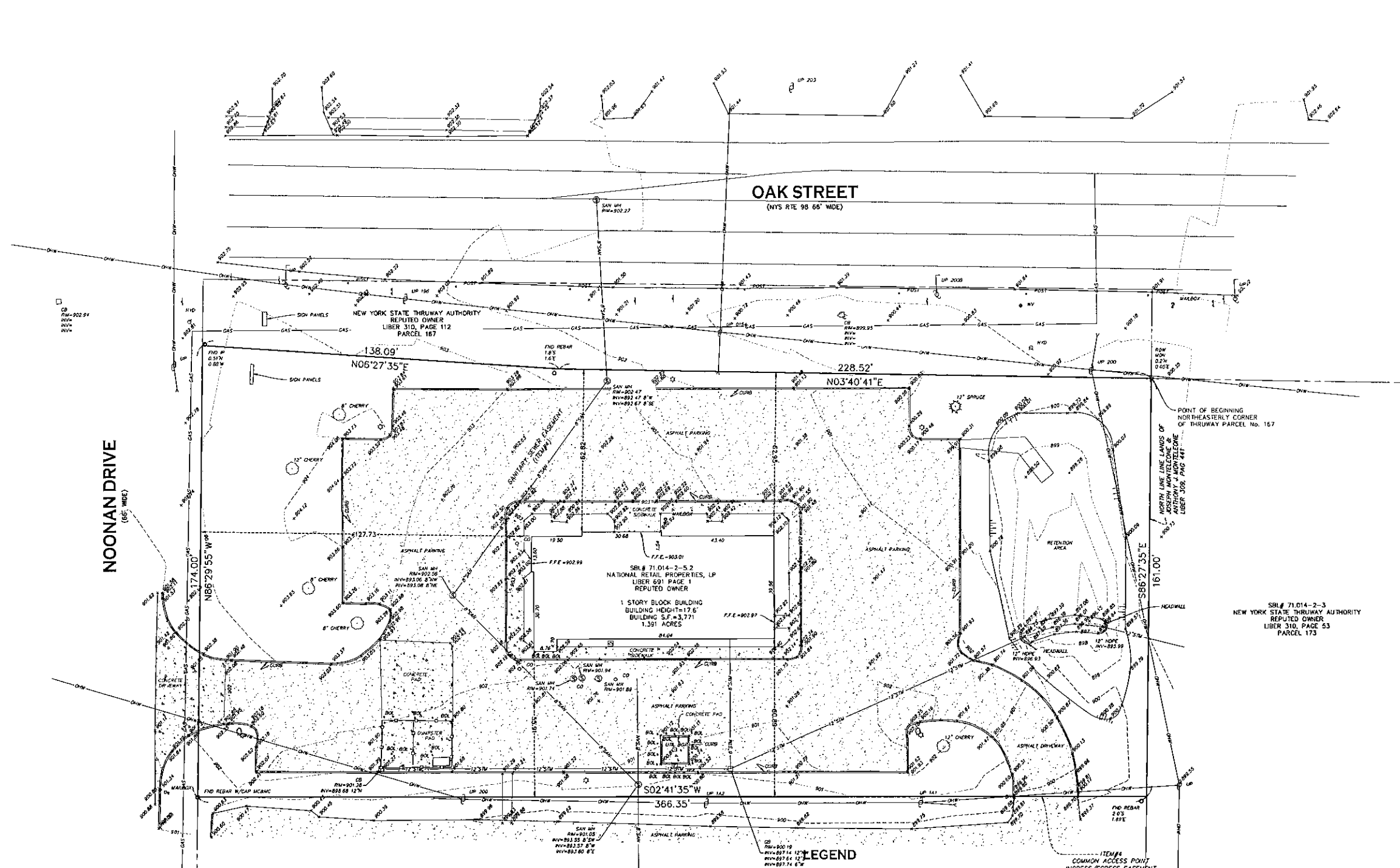
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



NORTH

DRAWING REVISIONS	
ITEM	DESCRIPTION

DESIGNED BY:	ALJK
DRAWN BY:	DJR
CHECKED BY:	DJR
DATE:	FEBRUARY 22, 2021

WARNING:
THIS DOCUMENT IS IN VIOLATION OF
THE LAW EXCEPTING AS PROVIDED IN SECTION
16-150 OF THE REAL PROPERTY LAW AND
SECTION 16-151 OF THE REAL PROPERTY
EDUCATION LAW. © COPYRIGHT 2020
WM SCHUTT & ASSOCIATES P.C.

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ASSOCIATES**

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CITY OF BATAVIA

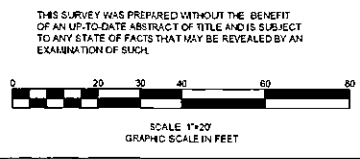
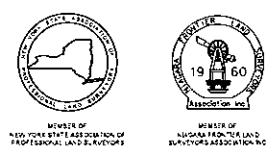
COUNTY OF GENESEE, STATE OF NEW YORK

PART OF LOT(S) 4 & 5

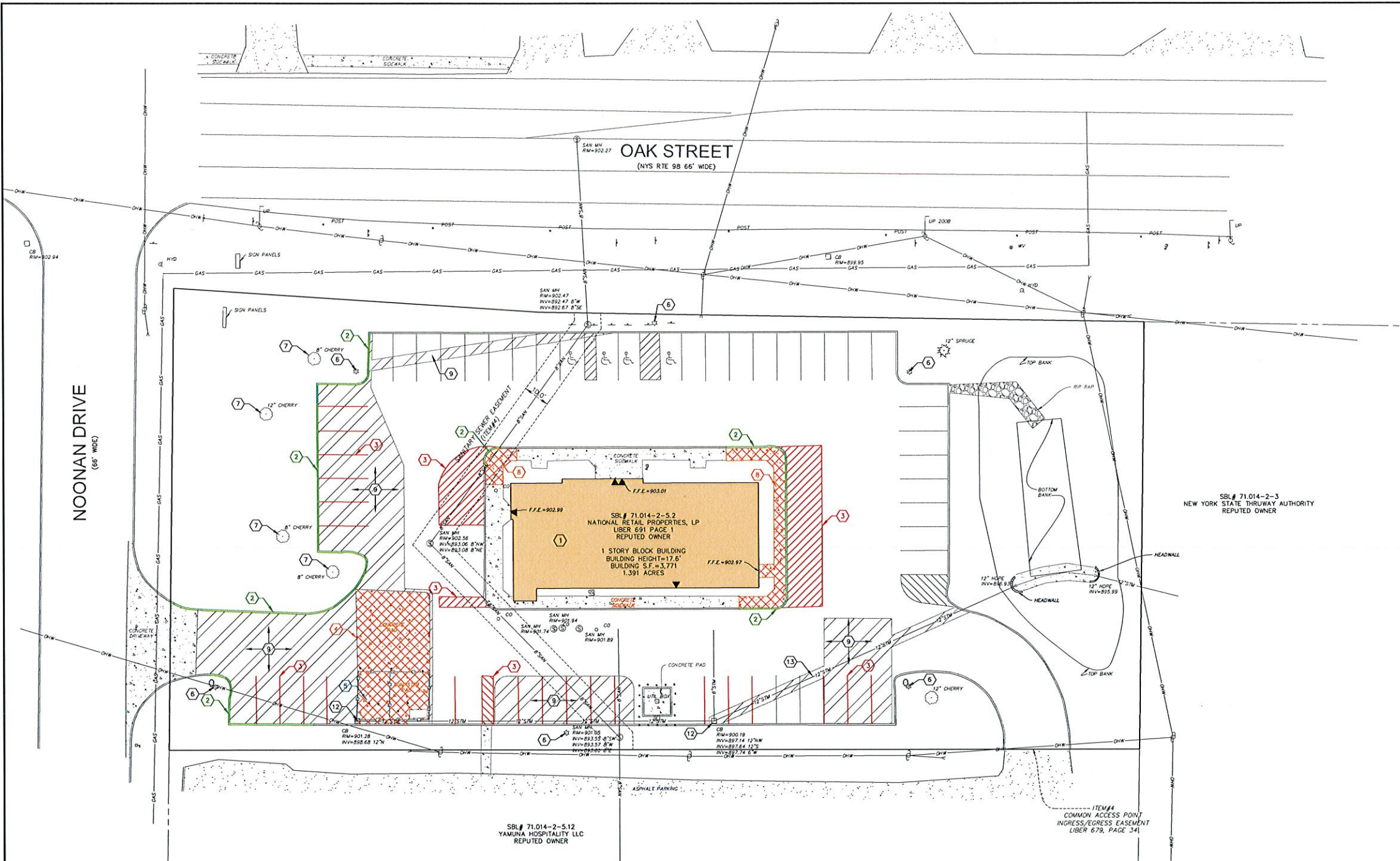
204 OAK STREET

BOUNDARY AND TOPOGRAPHIC SURVEY

BT-1
DRAWING SCALE: 1" = 20'
SURVEY FILE: D20210301
WSA PROJECT NO. 20213



THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT
OF AN UP-TO-DATE ABSTRACT OF TITLE AND IS SUBJECT
TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN
EXAMINATION OF SUCH.



SITE DEMOLITION NOTES

- CONTRACTOR SHALL COORDINATE START-UP AND DEMOLITION ACTIVITIES WITH OWNER. CONTRACTOR SHALL CONDUCT ALL OPERATIONS IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICAL, THE LEAST OBSTRUCTION TO TRAFFIC.
- ALL EXISTING UTILITIES SERVING THIS SITE SHALL BE PROPERLY TERMINATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF BATAVIA AND ASSOCIATED UTILITIES.
- ALL NATIONAL FUEL SUPPLY CORPORATION CONSTRUCTION GUIDELINES ARE TO FOLLOWED FOR ANY CONSTRUCTION TAKING PLACE IN PROXIMITY TO GAS LINES.
- ALL PROVISIONS OF NEW YORK STATE INDUSTRIAL CODE RULE 53 AND THE NEW YORK STATE HIGH VOLTAGE PROXIMITY ACT MUST BE FOLLOWED.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONDUCT HIS DEMOLITION OPERATIONS AS WELL AS TRANSPORT AND DISPOSE OF DEMOLITION MATERIAL IN A MANNER ACCEPTABLE TO THE NYSDEC AND DEPOSIT SAID C&D MATERIAL IN A PROPERLY PERMITTED FACILITY. NYSDEC ENCOURAGES THE REUSE (RECYCLING) OF EXEMPT C&D MATERIAL ON-SITE WITHIN FILL AREAS, EMBANKMENTS AND UNDER BUILDING SLABS RATHER THAN DISPOSAL OFF-SITE. COORDINATE ANY PROPOSED ON-SITE REUSE OF C&D MATERIAL WITH OWNERS.
- CONTRACTOR TO ADJUST ALL UTILITIES MEANT TO BE FLUSH WITH FINISHED GRADE (CLEANOUTS, MANHOLES, VALVE BOXES, CATCH BASINS, AND ETC.) WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- CAUTION - NOTICE TO CONTRACTORS THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- ALL WORK WITHIN THE ROW OF OAK STREET TO COMPLY WITH NYSDOT REQUIREMENTS.
- THE CONTRACTOR SHALL BE AWARE THAT SOIL CONDITIONS ARE UNKNOWN AND ASSUME TO VARY AT DIFFERENT DEPTHS AND LOCATIONS.

DEMOLITION PROCEDURE NOTES

- EXISTING BUILDING TO REMAIN IN PLACE.
- EXISTING CURB TO BE REMOVED AT FULL DEPTH.
- EXISTING PAVEMENT MARKINGS TO BE REMOVED.
- EXISTING CONCRETE PAD TO BE REMOVED AT FULL DEPTH.
- EXISTING DUMPSTER ENCLOSURE, FENCING AND BOLLARDS TO BE REMOVED.
- EXISTING LIGHT FIXTURE TO BE REMOVED.
- EXISTING TREE TO BE REMOVED.
- EXISTING CONCRETE SIDEWALK TO BE REMOVED AT FULL DEPTH.
- EXISTING ASPHALT TO BE REMOVED AT FULL DEPTH.
- EXISTING HANDICAP SIGN TO BE REMOVED.
- EXISTING NO PARKING SIGN TO BE REMOVED.
- EXISTING CATCH BASIN TO BE PRESERVED AND PROTECTED.
- EXISTING 12" STORM PIPE TO BE REMOVED.

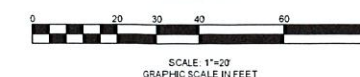
LEGEND

- ASPHALT REMOVAL TO FULL DEPTH
- CONCRETE REMOVAL TO FULL DEPTH
- EXISTING CONCRETE CURB TO BE REMOVED AT FULL DEPTH
- EXISTING PAVEMENT MARKINGS TO BE REMOVED

CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

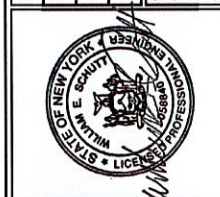
IMPORTANT NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

IMPORTANT NOTE:
CONTRACTOR IS TO CONTACT THE "UNDERGROUND FACILITY PROTECTIVE ORGANIZATION" (1-800-962-7962) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.



DRAWING REVISIONS		
ITEM	DATE	DESCRIPTION
1	6/19/21	REVISED PER CITY COMMENTS

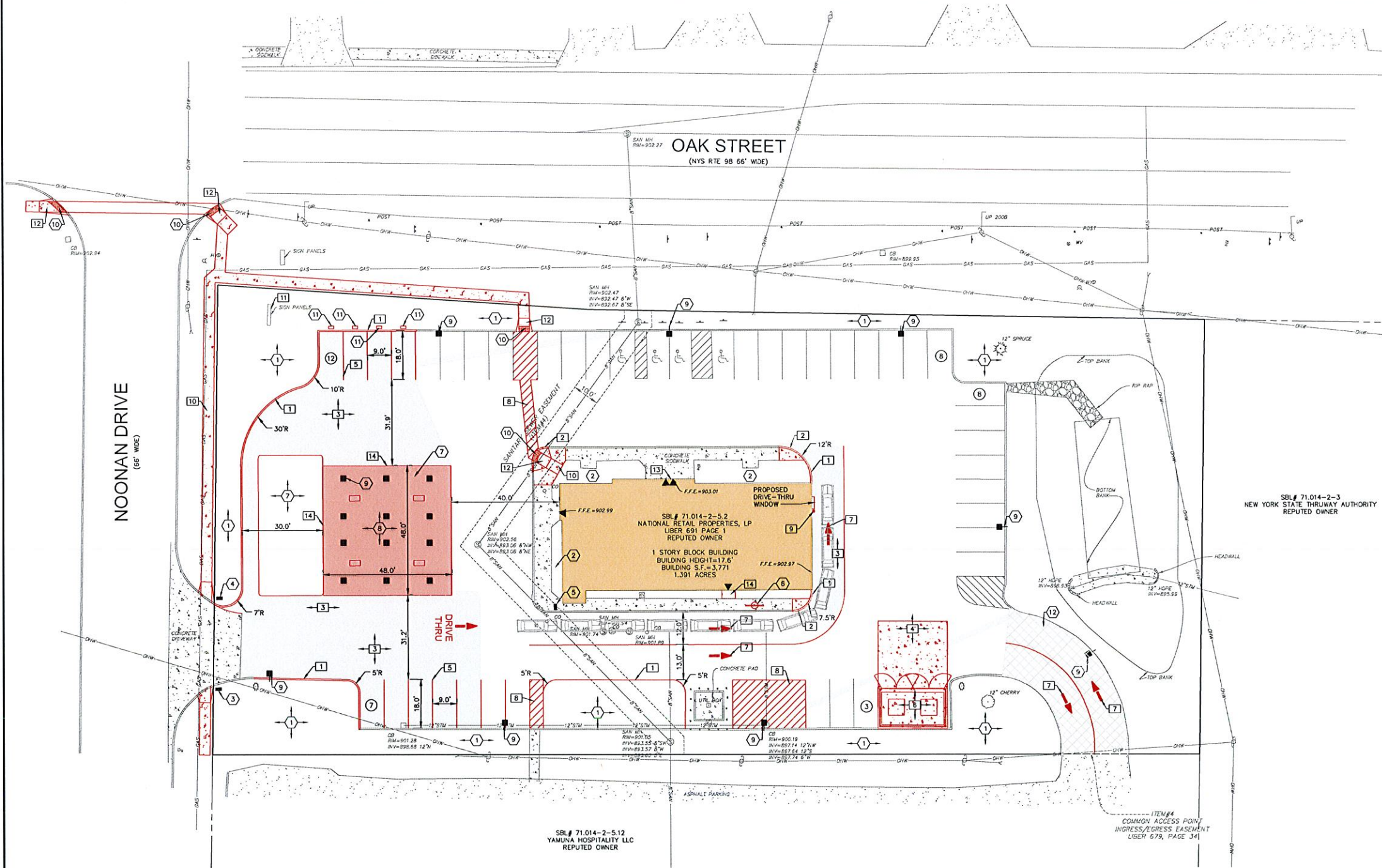
DESIGNED BY: PMB	DRAWN BY: DLS	CHECKED BY: WES
DATE:		



WM SCHUTT ASSOCIATES
37 CENTRAL AVE.
LANCASTER, NY 14086-2143
PH. 716-683-5961
FAX 716-683-0169
WWW.WMSCHUTT.COM

QUICKLEE'S
CITY OF BATAVIA
GENESEE COUNTY - NEW YORK
DEMOLITION PLAN AND NOTES

THIS SHEET ISSUED JUNE 18, 2021
C2
DRAWING SCALE: 1" = 20'
WSA PROJECT NO. 20213



SITE NOTES

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS (BY OTHERS) FOR EXACT NUMBERS, LOCATIONS, AND DIMENSIONS OF VESTIBULE, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT LOCATIONS AND NUMBER OF BUILDING UTILITY ENTRANCES.
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER'S CONSTRUCTION DIVISION.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED OWNER'S STANDARD SPECIFICATIONS OR AS SPECIFIED BY THE OWNER'S CONSTRUCTION DIVISION.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS, ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA, IN AN ADEQUATE AND SATISFACTORY MANNER.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND R.O.W. MONUMENTS IN THE AREAS OF CONSTRUCTION.
- REFERENCES TO NYSDOT STANDARDS SHALL MEAN THE STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, OFFICE OF ENGINEERING, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, MAY 1, 2021, WITH ALL CURRENT ADDENDUMS.
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE SPECIFIED.
- ALL PARKING LOT LIGHTING POLES, FIXTURES WITH LAMPS AND PAINT WILL BE FURNISHED INSTALLED BY THE OWNER'S ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER A ONE-YEAR WARRANTY CERTIFICATE. ALL INCURRED COSTS FOR RECEIVING, STORAGE, LIABILITY, WARRANTY AND LABOR SHALL BE INCLUDED IN THE INSTALLATION CONTRACT PRICE.
- PAVEMENT STRIPPING AND PAINTING TRAFFIC CONTROL MARKINGS SHALL BE PAINTED WITH A WHITE TRAFFIC MARKING PAINT AS INDICATED ON THE DRAWINGS. PAINT SHALL BE SHERWIN WILLIAMS "PRO-MAR" TRAFFIC MARKING PAINT, SERIES 823.Y.2, OR GLODDEN TRAFFIC PAINT # 63228. -ENTRANCE DIRECTIONAL ARROWS SHALL BE MARKED ON PAVEMENT IN WHITE IN LOCATION AND OF SIZE INDICATED ON DRAWINGS. -PAINT CONCRETE BASE AND BASE PLATE AT ALL PARKING LOT LIGHTING STANDARDS AND STEEL PIPE BASE OF HANDICAPPED PARKING IDENTIFICATION SIGN.
- SITE LIGHTING ALL CONDUIT SHALL BE ROUTED A MINIMUM OF 36" BELOW GRADE. VERIFY EXACT LOCATION AND METHOD OF WIRING ALL OUTDOOR LIGHTING STANDARDS WITH OWNERS REPRESENTATIVE. EXACT METHOD OF ROUTING OUTDOOR LIGHTING WIRING SHALL BE CAREFULLY COORDINATED BY SITE CONTRACTOR. UNLESS OTHERWISE NOTED, ALL EXTERIOR LIGHTING WIRING SHALL BE # 10 AWG, COPPER AND SHALL BE ROUTED IN RIGID STEEL HEAVYWALL CONDUIT. MINIMUM CONDUIT SIZE IS 1". ALL POLES TO BE MOUNTED ON CONCRETE PEDESTALS 2' ABOVE GRADE, FOR A TOTAL MOUNTING HEIGHT OF 20' (MAX. HEIGHT ALLOWED IS 25 FEET).
- STUB EMPTY 2" CONDUIT OUT FROM BUILDING WALL. ROUTE TO PROPERTY LINE AND CAP FOR TELEPHONE INCOMING SERVICE. ROUTE CONDUIT MINIMUM OF 2'-6" BELOW FINISHED GRADE. COORDINATE ALL REQUIREMENTS WITH TELEPHONE CO. REPRESENTATIVE INCLUDING ALL TRENCHING, BACKFILL, ETC. AS MAY BE REQUIRED FOR A COMPLETE INCOMING UNDERGROUND TELEPHONE SERVICE.
- GRADING SHALL BE KEPT WITHIN THE LIMIT SHOWN ON THE GRADING PLAN. CONTRACTOR SHALL PROTECT EXISTING TREES AND VEGETATION OUTSIDE THE LIMITS OF GRADING.
- BUILDING DIMENSIONS ARE NOT INTENDED FOR BUILDING LAYOUT. SPECIFIC LAYOUT DIMENSIONS SHOULD UTILIZE THE ACTUAL BUILDING PLANS. ANY DISCREPANCIES BETWEEN BUILDING PLANS AND THOSE INDICATED ON THESE PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHOULD STAKE OUT AND VERIFY EACH OF THE DIMENSIONS INDICATED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHOULD LOCATE ALL PERTINENT PROPERTY, EASEMENT AND/OR RIGHT OF WAY LINES PRIOR TO COMMENCEMENT OF THE WORK. THE CONTRACTOR SHALL NOT TRESPASS OR COMMENCE WORK ON OTHER PROPERTIES, EASEMENTS, OR RIGHT OF WAYS WITHOUT PROPERLY NOTIFYING AND MEETING THE NECESSARY REQUIREMENTS OF THE PROPERTY OWNER OR AUTHORIZED AGENCY.
- ALL TRAFFIC CONTROL SIGNS, PAVEMENT MARKINGS AND TRAFFIC CONTROL SHALL CONFORM TO THE 2009 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, THE CURRENT NYS SUPPLEMENT AND NYSDOT 2020 WORK ZONE TRAFFIC CONTROL TYPICALS REGION 5 MANUALS.
- THE LOCATION OF UTILITIES AND OTHER FEATURES, AS SHOWN ON THE PLANS, ARE FROM THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD INVESTIGATE AND DETERMINE THE EXACT LOCATIONS OF UTILITIES. PRIOR TO CONSTRUCTION IN ORDER TO AVOID CONFLICTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT, SUPPORT AND MAINTAIN ALL EXISTING UTILITIES DURING THE COURSE OF HIS OPERATIONS. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL WORK WITHIN THE ROW OF OAK STREET TO CONFORM TO NYSDOT REQUIREMENTS AND SHALL REQUIRE OBTAINING A NYSDOT HIGHWAY WORK PERMIT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL HIGHWAY WORK PERMITS AND GENERATION OF REQUIRED MAINTENANCE AND PROTECTION OF TRAFFIC PLAN. OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS NOT DESCRIBED HERE IN THIS NOTE (I.E. SWPPP, WATER PERMITS).
- THE PLANS AND SPECIFICATIONS FOR THIS PROJECT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CAN NOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. ALL WORK MUST BE CARRIED OUT TO MEET ACTUAL FIELD CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND DEVELOPER IN ACCORDANCE WITH THEIR INSTRUCTIONS.
- THE CONTRACTOR SHALL BE AWARE THAT SOIL CONDITIONS ARE UNKNOWN AND ASSUME TO VARY AT DIFFERENT DEPTHS AND LOCATIONS.

DETAILS

- TYPE "A" CONCRETE CURB
- INTEGRAL CURB/SIDEWALK
- STANDARD DUTY ASPHALT SECTION
- EXTERIOR CONCRETE SLAB ON GRADE
- 90' PARKING STALL LAYOUT
- DUMPSTER ENCLOSURE
- PAINTED TRAFFIC ARROWS
- 45' PAVEMENT MARKINGS
- PIPE BOLLARD
- CONCRETE SIDEWALK
- MONUMENT SIGN
- HANDICAP RAMP
- CHANNEL LETTERS
- CANOPY SIGN

NOTES

- LANDSCAPED (LAWN) AREA, TOPSOIL AND (GRASS) SEED
- LANDSCAPED (PLANTING BED) AREA, TOPSOIL AND MULCH
- "ENTER" SIGN (SEE DRAWINGS BY OTHERS)
- "EXIT" SIGN (SEE DRAWINGS BY OTHERS)
- "DRIVE THRU" SIGN
- DRIVE THRU MENU BOARD W/SPEAKER
- 24'x52' TANK PAD (SEE DRAWINGS BY OTHERS)
- 48'x48' GAS CANOPY WITH 4 FUEL PUMPS (SEE DRAWINGS BY OTHERS)
- TYPICAL LIGHT (SEE DESIGN BY LSI)
- TACTILE WARNING
- (4) ELECTRIC VEHICLE CHARGING STATIONS (BY OTHERS)
- COMMON ACCESS INGRESS/EGRESS

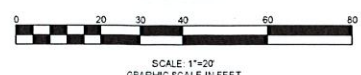
LEGEND

- SIGN
- BUILDING ENTRANCE
- PAINTED PAVEMENT MARKING
- CONCRETE
- ASPHALT
- PROPOSED CONCRETE CURB
- HANDICAPPED PARKING STALL
- NUMBER OF PARKING SPACES
- DRIVE THRU STACKING
- LIGHT POLE

CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

IMPORTANT NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

IMPORTANT NOTE:
CONTRACTOR IS TO CONTACT THE "UNDERGROUND FACILITY PROTECTIVE ORGANIZATION" (1-800-962-7862) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.



QUICKLEE'S
CITY OF BATAVIA
GENESEE COUNTY - NEW YORK

37 CENTRAL AVE.
LANCASTER, NY 14066-2143
PH. 716-683-5561
FAX 716-683-0169
WWW.WMSCHUTT.COM

SITE PLAN AND NOTES

THIS SHEET ISSUED JUNE 18, 2021

C3

DRAWING SCALE: 1" = 20'

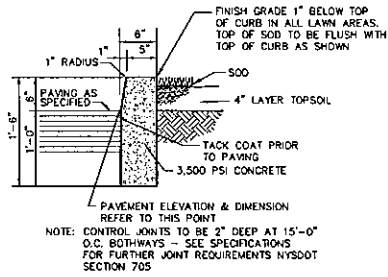
WSA PROJECT NO. 20213

DRAWING REVISIONS		
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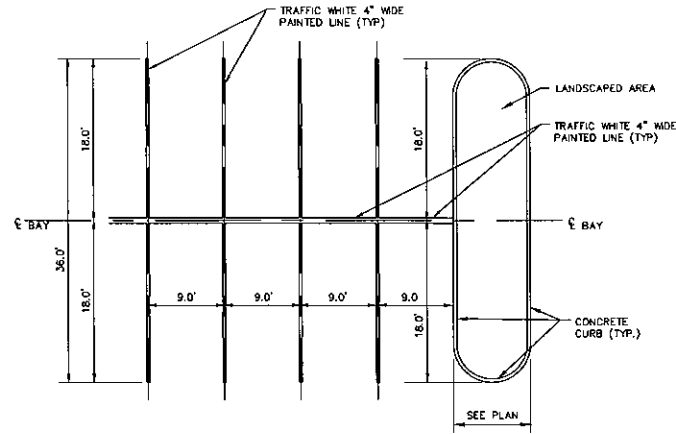
DESIGNED BY:	PMB
DRAWN BY:	DLS
CHECKED BY:	WES
DATE:	



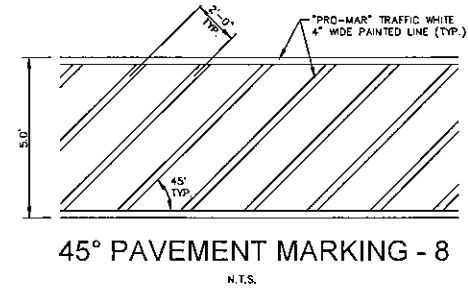
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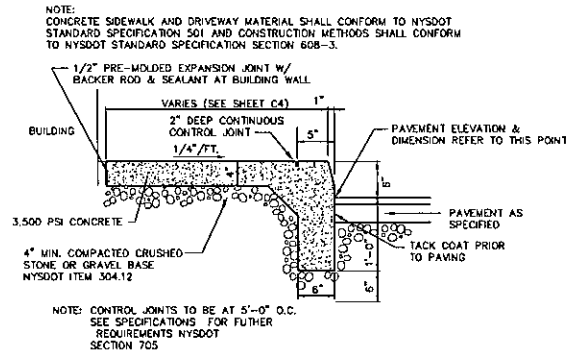
TYPE "A" CONCRETE CURB - 1
N.T.S.



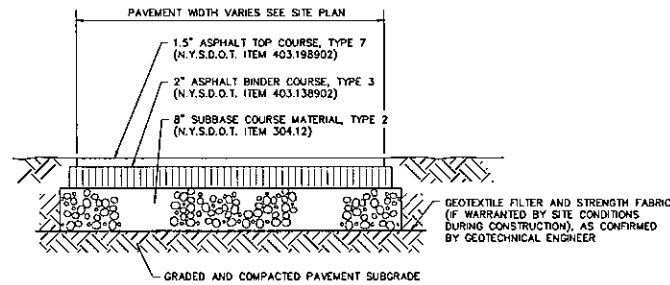
90° PARKING SPACE STRIPING - 5
N.T.S.



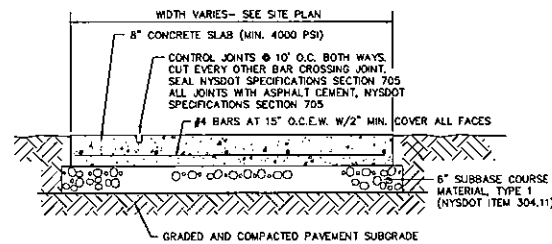
45° PAVEMENT MARKING - 8
N.T.S.



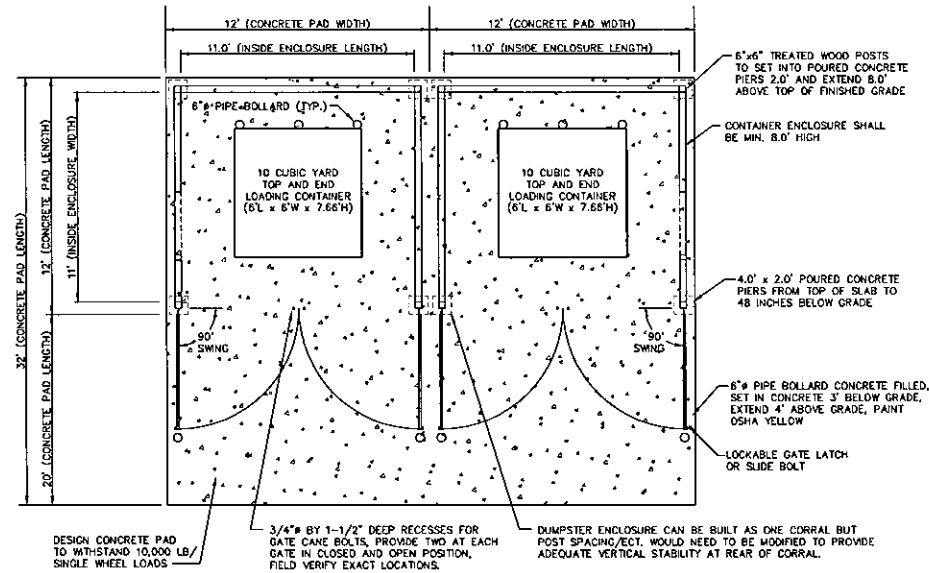
INTEGRAL CURB/SIDEWALK DETAIL - 2
N.T.S.



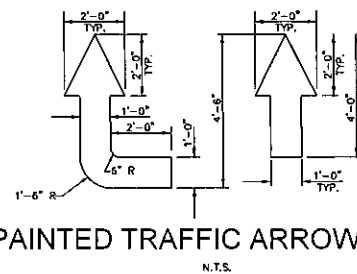
STANDARD DUTY ASPHALT SECTION - 3
N.T.S.



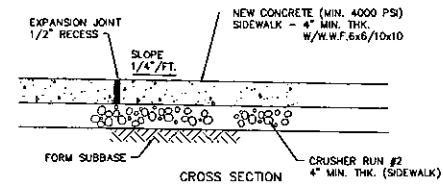
EXTERIOR CONCRETE SLAB ON GRADE- 4
N.T.S.



DUMPSTER ENCLOSURE - 6
N.T.S.



PAINTED TRAFFIC ARROWS - 7
N.T.S.



CONCRETE SIDEWALK - 10
N.T.S.

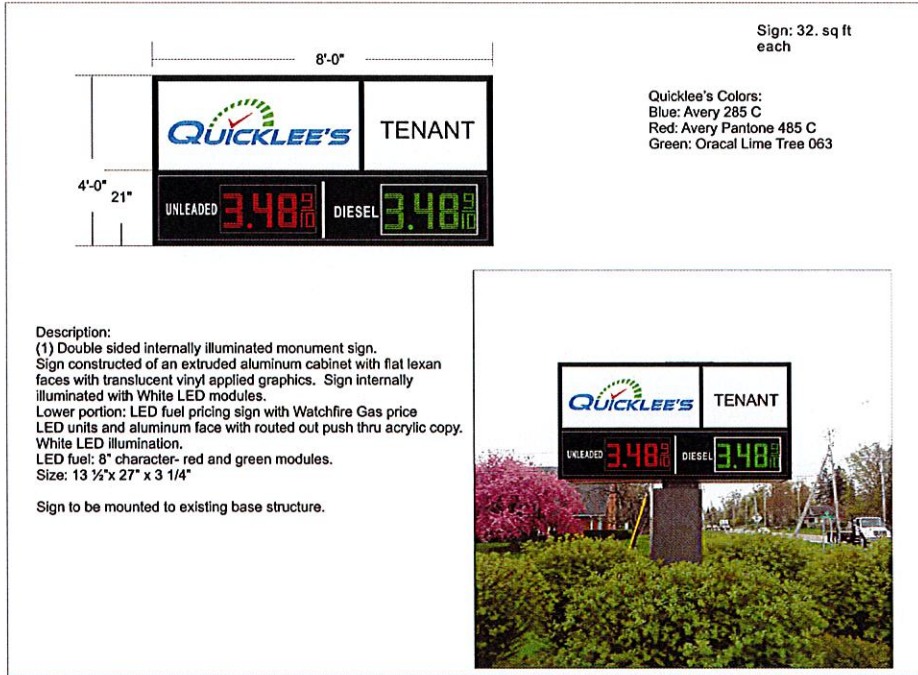
DRAWING REVISIONS		DATE	DESCRIPTION
1	1	6/29/21	REVISED PER CITY COMMENTS

DESIGNED BY	PMB
DRAWN BY	DLS
CHECKED BY	WES
DATE	



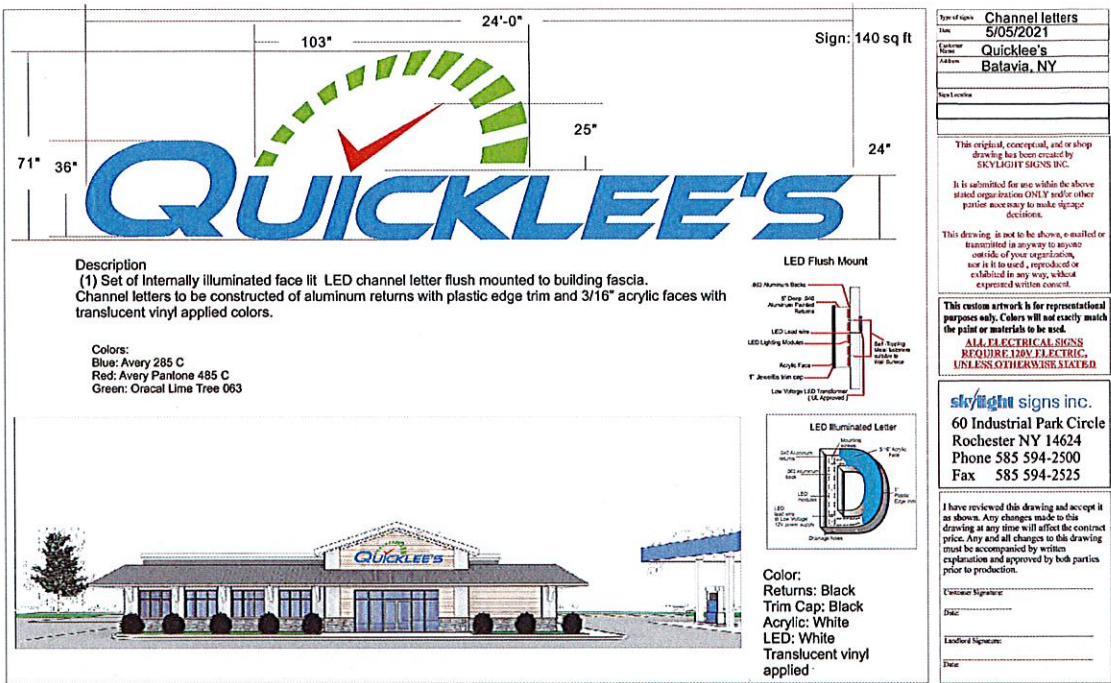
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FAX 716-883-0169
WWW.WMSCHUTT.COM

QUICKLEE'S
CITY OF BATAVIA
GENESEE COUNTY - NEW YORK
SITE DETAILS



MONUMENT SIGN - 11
N.T.S.

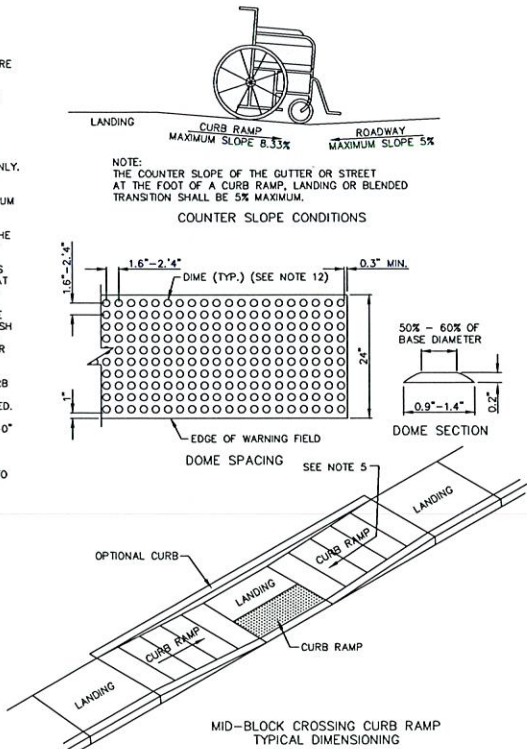
Monument Sign
Date: 5/05/2021
Customer: Quicklee's
Address: 196 Oak St.
Batavia, NY
Site Location:
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skylight signs inc.
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Rochester NY 14624
Phone 585 594-2500
Fax 585 594-2525
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Date: _____
Landlord Signature: _____
Date: _____



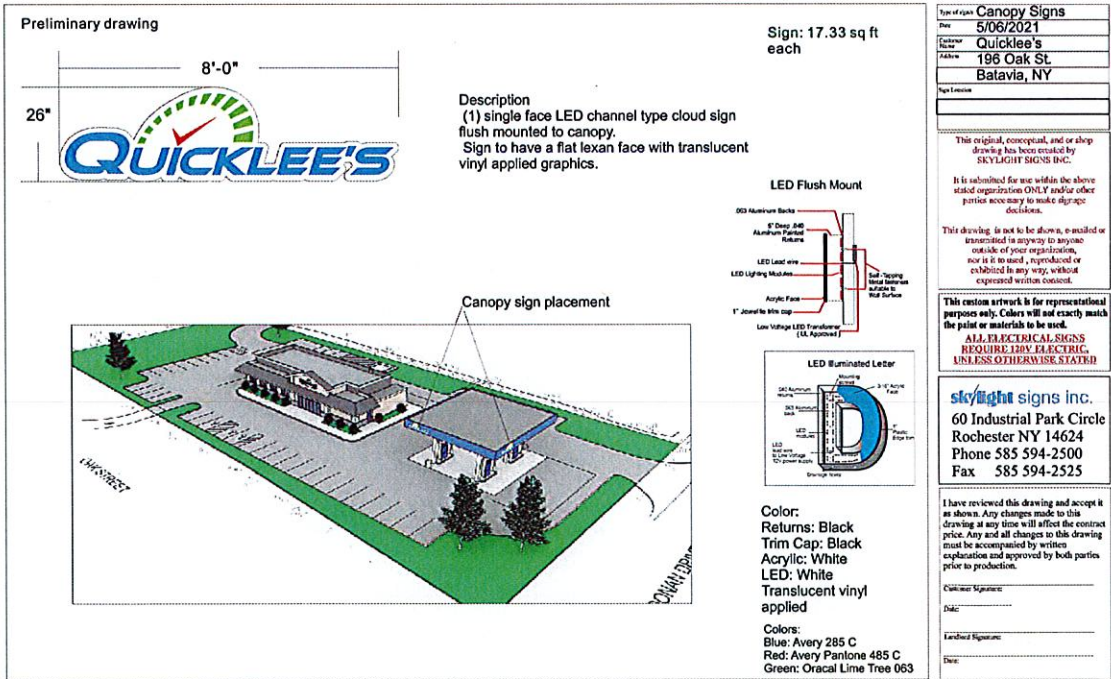
CHANNEL LETTERS - 13
N.T.S.

GENERAL NOTES:

- THE DIMENSIONS AND SLOPES PRESENTED IN THE DETAILS ARE THE MINIMUM NECESSARY TO COMPLY WITH THE ADA AND DOT STANDARDS. ANY DEVIATION LESS THAN THE MINIMUM WIDTH OR GREATER THAN THE MAXIMUM SLOPE FROM THESE STANDARDS MUST BE DOCUMENTED WITH THE STANDARDS BEING MET TO THE GREATEST EXTENT PRACTICABLE AND CONSISTENT WITH THE MOST CURRENT ADAAG.
- CURB RAMPS, LANDINGS AND BLENDED TRANSITIONS MAY REQUIRE THE USE OF DETECTABLE WARNINGS. DETECTABLE WARNINGS ON THIS SHEET ARE SHOWN FOR ILLUSTRATION ONLY.
- CURB RAMP NOTES:**
 - THE MINIMUM WIDTH FOR SIDEWALK CURB RAMPS IS 5'-0".
 - THE RUNNING SLOPE OF A CURB SHALL BE 1:20 (5%) MINIMUM (PREFERRED) AND 1:12 (8.33%) MAXIMUM.
 - WHERE THE SLOPE OF THE ROADWAY EXCEEDS 8.33% THE CURB RAMP LENGTH IS THE LENGTH NECESSARY TO MEET THE EXISTING SIDEWALK. IT IS NOT NECESSARY THAT THE RAMP LENGTH EXCEEDS 15'-0".
 - THE CROSS SLOPE OF CURB RAMPS SHOULD BE AS FLAT AS POSSIBLE. NOT TO EXCEED 1:50 (2%). THE CROSS SLOPE AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
 - THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING THE FLARES, SHALL BE PLANAR. GRADE BREAKS SHALL BE FLUSH AND PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. RAMP TRANSITIONS BETWEEN WALKS, LANDINGS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX).
 - WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED PARALLEL TO THE CURB LINE, SHALL BE PROVIDED.
- LANDING NOTES:**
 - LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF 5'-0" BY 5'-0".
 - THE RUNNING AND CROSS SLOPES ON LANDINGS AT INTERSECTIONS IS 1:50 (2%) MAXIMUM. THE RUNNING AND CROSS SLOPES AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
- DETECTABLE WARNING UNIT:**
 - THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING UNIT (THE DOMES AND THE ENTIRE 24" LEVEL SURFACE) IS FOR ILLUSTRATION ONLY.
- DETECTABLE WARNING UNIT DIMENSIONS:**
 - THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH IF THE CURB RAMP OR FLUSH SURFACE, EXCLUSIVE OF SIDE FLARES.
- DOME ALIGNMENT:**
 - THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP LANDING OR CURB RAMP AND THE STREET.
- WHERE DOMES ARE ARRANGED RADIALLY THEY MAY DIFFER IN DOME DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON THIS SHEET.
- COLOR REQUIREMENTS:**
 - THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.
- DETECTABLE WARNING LOCATIONS:**
 - DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE OR CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5" TO 9" FROM THE FRONT OF THE CURB OR THE ROADWAY EDGE (12" WHERE TRAVERSABLE CURB IS USED.)



HANDICAP RAMP - 12
N.T.S.



CANOPY SIGNS - 14
N.T.S.

DRAWING REVISIONS	
ITEM	DATE
1	5/7/21
REVISION PER CITY COMMENTS	

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:
PMB	DLS	WES	

TYPE OF SIGN	DATE	CUSTOMER	ADDRESS	SITE LOCATION
Channel letters	5/05/2021	Quicklee's	196 Oak St.	Batavia, NY

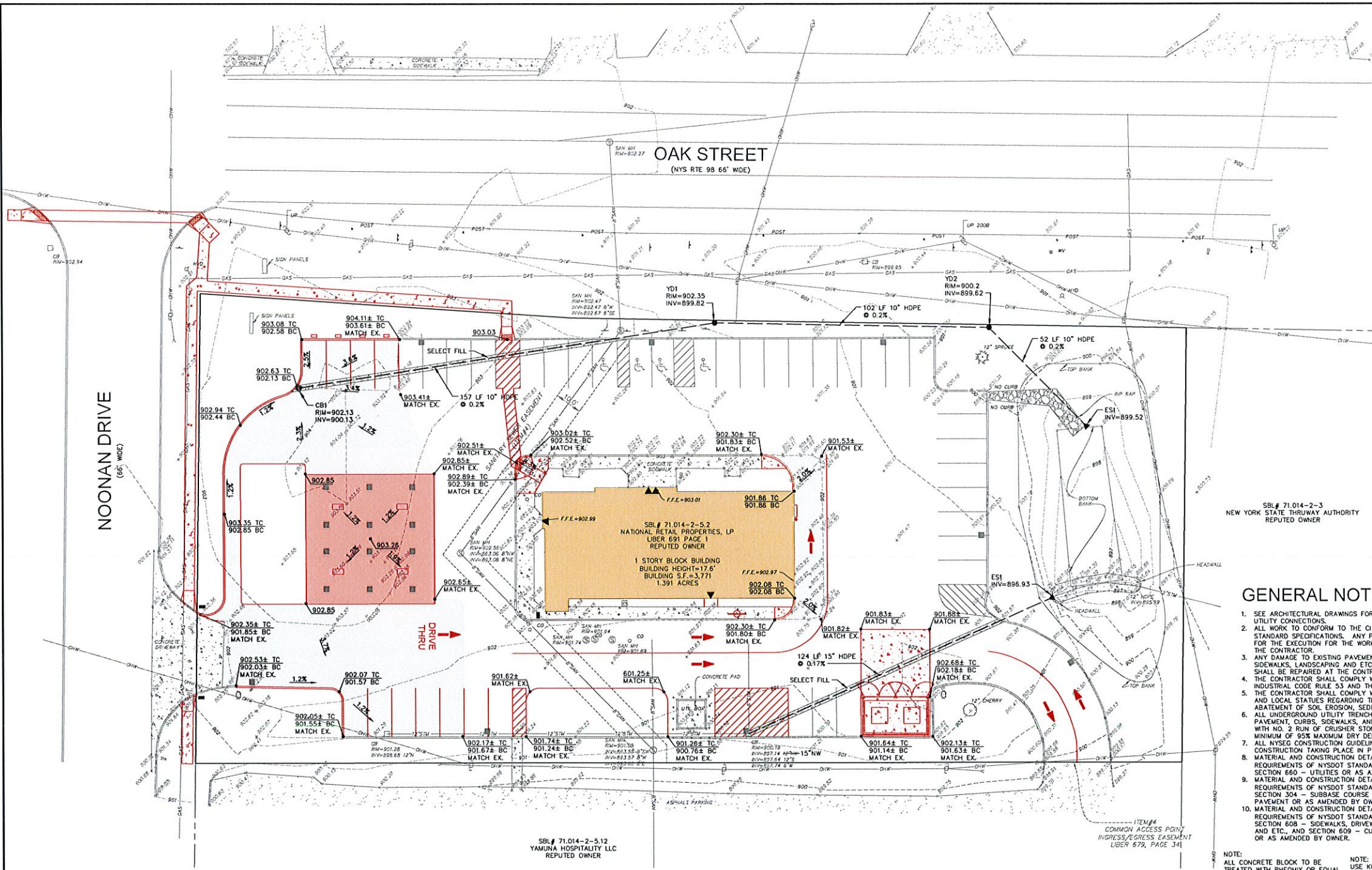
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Date: _____
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QUICKLEE'S
CITY OF BATAVIA
GENESEE COUNTY - NEW YORK
SITE DETAILS

THIS SHEET ISSUED JUNE 18, 2021
C3.2
DRAWING SCALE: NONE
WSA PROJECT NO. 20213



GRADING/PAVING/STORM NOTES

1. ALL WORK TO CONFORM TO THE CITY OF BATAVIA, GENESEE COUNTY AND NYSDOT REQUIREMENTS.
2. CONTRACTOR REQUIRED TO OBTAIN PERMITS FROM THE GENESEE COUNTY DEPARTMENT OF PUBLIC WORKS FOR ANY AND ALL WORK WITHIN THE NOONAN DRIVE ROW AND NYSDOT FOR ANY AND ALL WORK WITHIN OAK STREET ROW.
3. ANY DAMAGE CAUSED BY CONTRACTOR'S OPERATIONS TO EXISTING PAVEMENT, SHOULDERS, DRIVES AND/OR STORM DRAINAGE FACILITIES SHALL BE REPAIRED OR REPLACED IN KIND BY THE CONTRACTOR AND SHALL BE ACCEPTABLE TO THE OWNER OR AGENCY HAVING JURISDICTION.
4. THE CONTRACTOR SHALL TAKE ANY AND ALL PRECAUTIONS NECESSARY TO PROTECT TREES AND SHRUBBERY FROM DAMAGE, UNLESS SPECIFICALLY ORDERED FOR CLEARING. THE CONTRACTOR SHALL PROVIDE AND PLANT REPLACEMENT TREES OR SHRUBBERY AT HIS EXPENSE.
5. THE CONTRACTOR SHALL BE AWARE THAT SOIL CONDITIONS ARE UNKNOWN AND ASSUMED TO VARY AT DIFFERENT DEPTHS AND LOCATIONS.
6. ALL ROAD AND DRIVE CROSSINGS SHALL BE BACKFILLED WITH NO. 2 RUN OF CRUSHER STONE PLACED IN 6-INCH LIFTS AND PROPERLY COMPACTED. SELECT BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF 4-FEET BEYOND EDGE OF PAVEMENT.
7. MANHOLE RIMS AND WATERLINE VALVE BOXES SHALL BE SET AT FINISHED GRADE.
8. DURING GRADING OPERATIONS, EXCAVATION AREAS, EMBANKMENTS AND/OR SUBGRADES SHALL BE SHAPED, SLOPED, PROTECTED AND MAINTAINED TO FACILITATE THE DRAINAGE OF SURFACE WATER. EXISTING DRAINAGE ROUTES AND FACILITIES SHALL BE PROTECTED AND MAINTAINED.
9. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES REGARDING THE PREVENTION AND ABATEMENT OF SOIL EROSION, SEDIMENTATION AND WATER POLLUTION.
10. STORM SEWERS CONSTRUCTED ON SITE SHALL BE CONSTRUCTED USING HEAVY DUTY CORRUGATED POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AS SUPPLIED BY HANCOCK, INC. OR EQUAL. PIPE BEDDING MATERIAL SHALL BE NO. 1 WASHED STONE WITH A GRAINATION CONFORMING WITH NYSDOT SECTION 703-02. THE CRUSHED STONE SHALL BE WELL GRADED WITH NO PARTICLE LARGER THAN 1" AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
11. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER AND THE CITY OF BATAVIA, BUILDING DEPT. OF ANY HAZARDOUS SUBSTANCE ENCOUNTERED DURING THE CONSTRUCTION OF THE WORK. HE SHALL AT HIS EXPENSE, CONFORM TO ALL LAWS, RULES, REGULATIONS AND DIRECTIONS AS PROMULGATED BY THE UNITED STATES DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION, THE NEW YORK STATE DEPARTMENT OF HEALTH AND ANY SUCH LOCAL ORDINANCES AND LAWS WHEN ENCOUNTERING OR WORKING WITH ANY SUCH HAZARDOUS SUBSTANCE.
12. THE CONTRACTOR SHALL COMPLY IN ALL RESPECTS TO THE INDUSTRIAL CODE PART (RULE NO.) 53 RELATING TO CONSTRUCTION, EXCAVATION AND DEMOLITION OPERATIONS AT OR NEAR UNDERGROUND FACILITIES, AS ISSUED BY THE STATE OF NEW YORK DEPARTMENT OF LABOR, BOARD OF STANDARD AND APPEALS.
13. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AHEAD OF THE PIPE LAYING OPERATION, SO THAT, IF MINOR ADJUSTMENTS MUST BE MADE IN ELEVATION AND/OR ALIGNMENT DUE TO INTERFERENCE FROM THESE UTILITIES, SAID CHANGES CAN BE MADE IN ADVANCE OF THE WORK.

GENERAL NOTES:

1. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND UTILITY CONNECTIONS.
2. ALL WORK TO CONFORM TO THE CITY OF BATAVIA REQUIREMENTS AND STANDARD SPECIFICATIONS. ANY PERMITS AND/OR LICENSES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.
3. ANY DAMAGE TO EXISTING PAVEMENT, SHOULDER, DRIVES, CURBS, SIDEWALKS, LANDSCAPING AND ETC. WHICH ARE SCHEDULED TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF THE NYS INDUSTRIAL CODE RULE 53 AND THE NYS HIGH VOLTAGE PROXIMITY ACT.
5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES REGARDING THE PREVENTION, CONTROL AND ABATEMENT OF SOIL EROSION, SEDIMENTATION AND WATER POLLUTION.
6. ALL UNDERGROUND UTILITY TRENCHES UNDER BUILDING FOUNDATION, PAVEMENT, CURBS, SIDEWALKS, AND DRIVES SHALL BE BACKFILLED WITH NO. 2 RUN OF CRUSHER STONE AND SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
7. ALL NYSDOT CONSTRUCTION GUIDELINES ARE TO BE FOLLOWED FOR ANY CONSTRUCTION TAKING PLACE IN PROXIMITY TO EXISTING GAS LINES.
8. MATERIAL AND CONSTRUCTION DETAILS SHALL CONFORM TO APPLICABLE REQUIREMENTS OF NYSDOT STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 650 - UTILITIES OR AS AMENDED BY OWNER.
9. MATERIAL AND CONSTRUCTION DETAILS SHALL CONFORM TO APPLICABLE REQUIREMENTS OF NYSDOT STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 304 - SUBBASE COURSE AND SECTION 403 - HOT MIX ASPHALT PAVEMENT OR AS AMENDED BY OWNER.
10. MATERIAL AND CONSTRUCTION DETAILS SHALL CONFORM TO APPLICABLE REQUIREMENTS OF NYSDOT STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 608 - SIDEWALKS, DRIVEWAYS, BICYCLE PATHS, BRICK PAVING, AND ETC., AND SECTION 609 - CURBING, GUTTERS AND CONCRETE MALL OR AS AMENDED BY OWNER.

NOTE: ALL CONCRETE BLOCK TO BE TREATED WITH RHODIOL OR EQUAL 24" SQ. DROP INLET WITH FRAME AND GRATE (MODEL 316B) OR EQUAL.

NOTE: USE KISTNER CONCRETE PRODUCTS 24" SQ. DROP INLET WITH FRAME AND GRATE (MODEL 316B) OR EQUAL.

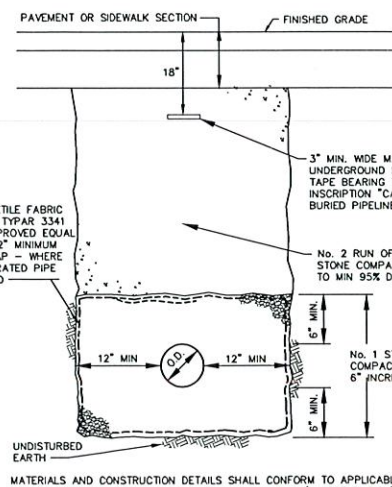
LEGEND

- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER PIPE
- SELECT FILL
- GB GRADE BREAK
- TC TOP OF CURB
- BC BOTTOM OF CURB
- 98.0 PROPOSED CONTOUR
- 555.0 EXISTING CONTOUR
- 554.0 PROPOSED SPOT ELEVATION
- 0.70% SLOPE AND DIRECTION OF FLOW ALONG MAIN SURFACE FLOW LINE

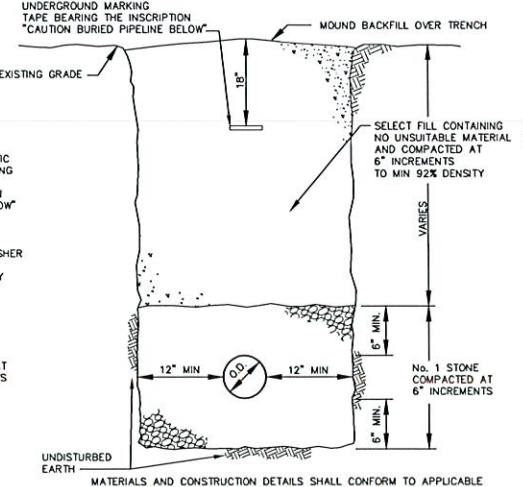
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IMPORTANT NOTE:
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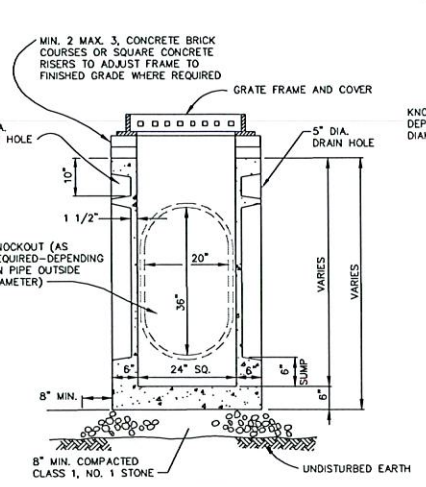
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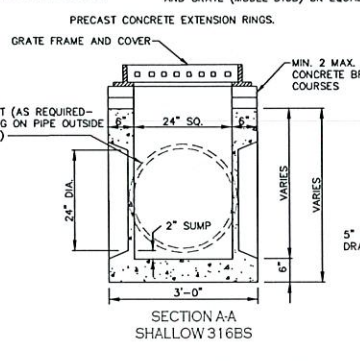
TYPICAL TRENCH
DETAIL - PAVEMENT



TYPICAL TRENCH
DETAIL - EARTH

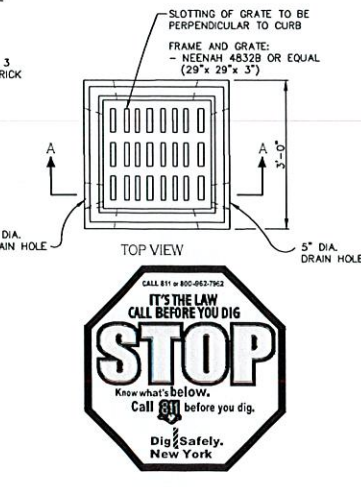


STANDARD PRECAST CONCRETE CATCH BASIN



STORM SEWER PIPE SIZE	MINIMUM SQUARE CATCH BASIN SIZE
UP TO 18" DIAMETER	24" SQUARE
24" DIAMETER	30" SQUARE
30" DIAMETER	42" SQUARE

UNLESS SPECIFIED OTHERWISE ON PLANS



CATCH BASIN SIZING CRITERIA

QUICKLEE'S
CITY OF BATAVIA
GENESEE COUNTY - NEW YORK
STORM DRAINAGE, GRADING
PLAN, NOTES & DETAILS

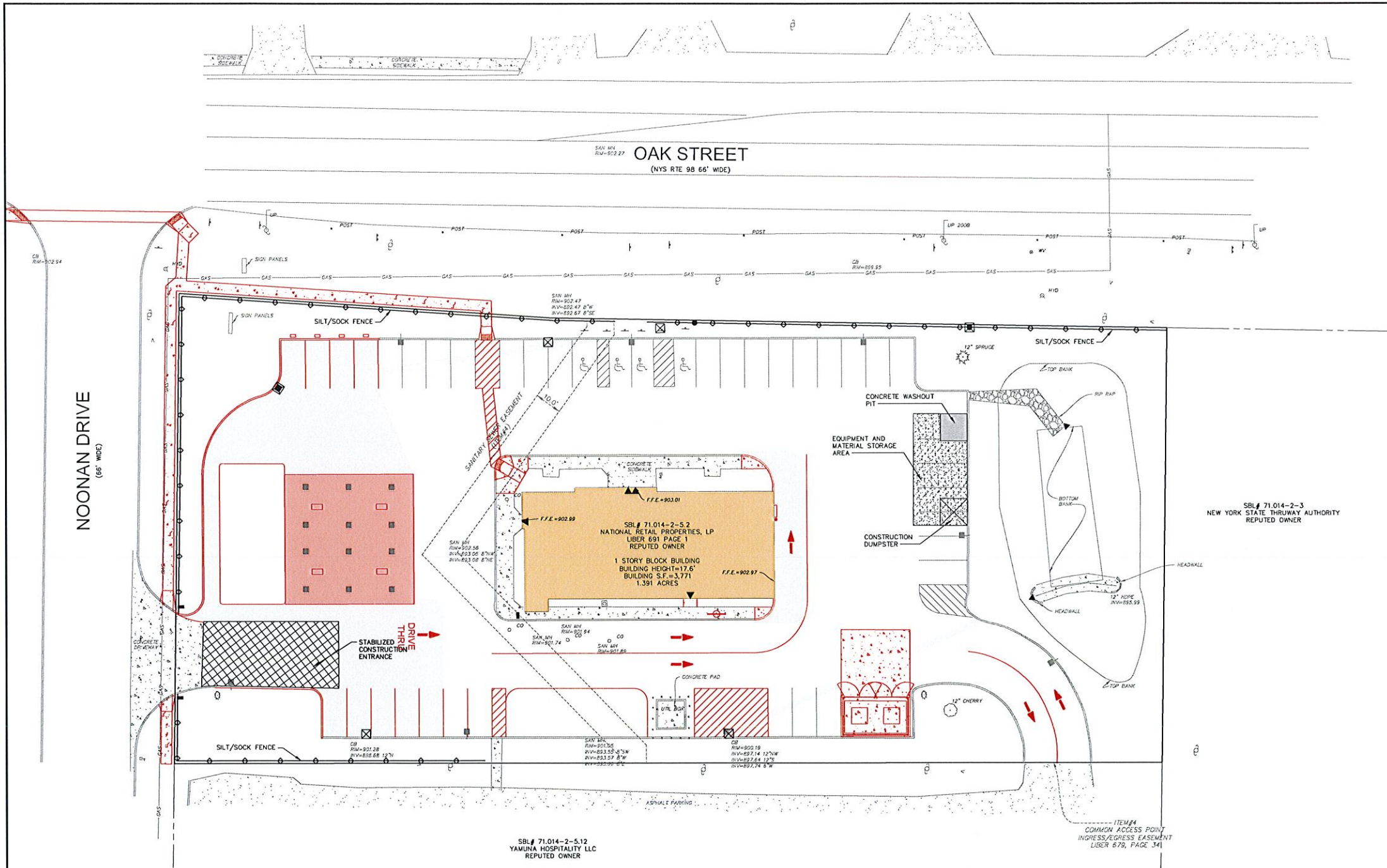
THIS SHEET ISSUED JUNE 18, 2021
C4
DRAWING SCALE: 1" = 20'
WSA PROJECT NO. 20213

DRAWING REVISIONS

ITEM	DATE	DESCRIPTION	REVISED PER CITY COMMENTS
1	6/19/21		

DESIGNED BY: PWB
DRAWN BY: DLS
CHECKED BY: NES
DATE:

WM SCHUTT
ASSOCIATES
37 CENTRAL AVE.
LANCASTER, NY 14086-2143
PH. 716-883-5951
FAX 716-883-0169
WWW.WMSCHUTT.COM



NOONAN DRIVE
(66' WIDE)

OAK STREET
(NYS RTE 98 66' WIDE)

EARTHWORK, COMPACTION AND GRADING NOTES

1. AFTER STRIPPING AND STOCKPILING OF TOPSOIL, REMOVE FROM SITE ALL UNSUITABLE MATERIAL AS ENCOUNTERED IN THE FIELD (AS DIRECTED BY THE ENGINEER OR HIS REPRESENTATIVE).
2. PRIOR TO FILL OPERATIONS, ALL AREAS WITHIN BUILDING AND PAVEMENT INFLUENCE THAT ARE TO RECEIVE FILL SHALL BE PROFFERED, AND ALL UNSTABLE MATERIAL SHALL BE REMOVED OR STABILIZED IN PLACE, AND THEN COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY TO A MINIMUM DEPTH OF TWELVE (12) INCHES, AS DETERMINED BY ASTM D-1557.
3. IMPORTED FILL FROM OFF-SITE BORROW PITS MUST BE MATERIAL SIMILAR IN CONTENT TO NATIVE MATERIAL. ALL IMPORTED FILL MATERIAL MUST BE TESTED AND HAVE THE APPROVALS OF THE
4. FILL SHALL BE DEPOSITED IN EIGHT (8) INCH LOOSE LAYERS MAXIMUM, EXCEPT FILL WITHIN LANDSCAPED AREAS WHICH MAY BE DEPOSITED IN TWELVE (12) INCH LOOSE LAYERS MAXIMUM. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY ASTM D-1557 (90% IN LANDSCAPED AREAS) AT ITS OPTIMUM MOISTURE CONTENT $\pm 2\%$.
5. THE PLACEMENT AND COMPACTION OF BOTH FILL AND SUBBASE MATERIAL SHALL BE SUPERVISED, INSPECTED AND TESTED BY THE VILLAGE'S ON-SITE GEOTECHNICAL REPRESENTATIVE TO THE SATISFACTION OF THE ENGINEER.

TOPSOIL SHALL BE REPLACED NO LESS THAN 4" THICK AND TURF SHALL BE ESTABLISHED IN THE RIGHT-OF-WAY.

DUST CONTROL - ROAD AREAS

1. AREAS REQUIRING DUST CONTROL SHALL BE DETERMINED IN THE FIELD AND PLACED UNDER CONTROL WITHIN A 24 HOUR PERIOD.
2. SPRINKLING WILL BE CONDUCTED ON A REGULAR BASIS AND AT AN APPLICATION RATE THAT MAINTAINS A WET SURFACE AND PREVENTS SEDIMENT TRANSPORT.
3. SPRAYS, OTHER THAN WATER, AND AS APPROVED BY THE CITY OF BATAVIA WILL BE MIXED AND APPLIED PER THE MANUFACTURER'S RECOMMENDATIONS.
4. ANY EXCESS MATERIAL BUILD UP TO BE REMOVED BY LABOR OR MECHANICAL BRUSHES.
5. ANY MATERIALS USED FOR DUST CONTROL SHALL BE STORED ON SITE IN AN APPROPRIATE MANNER AND LOCATION, TO AVOID PRODUCT DETERIORATION.

SEDIMENT/EROSION CONTROL

1. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH ALL REQUIREMENTS OF NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION AND CITY OF BATAVIA.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AT THE INITIATION OF STRIPPING AND GRUBBING.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL DISTURBED AREAS ARE STABILIZED.
4. NO SLOPE SHALL BE GREATER THAN 2:1.
5. FOLLOWING INITIAL SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THIS DOES NOT APPLY TO THOSE AREAS CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF GOVERNING AUTHORITIES.

LEGEND

- STORM INLET WITH SEDIMENT TRAP
- SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- EQUIPMENT AND MATERIAL STORAGE AREA



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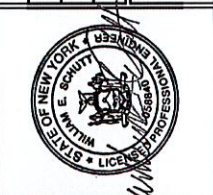
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DRAWING REVISIONS		
ITEM	DATE	DESCRIPTION
1	6/19/21	REVISED PER CITY COMMENTS

DESIGNED BY:	PMB
DRAWN BY:	DLS
CHECKED BY:	MES
DATE:	

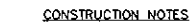
WARNING:
ALTERING THIS DOCUMENT IS IN VIOLATION OF
THE LAW EXCEPTING AS PROVIDED IN SECTION
16-0503 OF THE VEHICLE AND TRAFFIC
SAFETY AND EDUCATION LAW. © COPYRIGHT 2020
WM SCHUTT & ASSOCIATES P.C.



**WM SCHUTT
ASSOCIATES**
37 CENTRAL AVE.
LANCASTER, NY 14086-2143
PH. 716-883-0501
FAX 716-883-0189
WWW.WMSCHUTT.COM

QUICKLEE'S
CITY OF BATAVIA
GENESEE COUNTY - NEW YORK
**EROSION AND SEDIMENT CONTROL
PLAN, NOTES & DETAILS**

THIS SHEET ISSUED JUNE 18, 2021
C5
DRAWING SCALE: 1" = 20'
WSA PROJECT NO. 20213



1. SILT FENCE GEOTEXTILE FABRIC TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. WHEN TWO SECTIONS OF GEOTEXTILE FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
4. POSTS MAY BE SPACED 10 FEET APART IF FENCE IS SUPPORTED BY WIRE; POST SEPARATION SHALL BE A MAXIMUM OF 6 FEET IF EXTRA STRENGTH FABRIC IS USED WITHOUT SUPPORT WIRE.

The technical drawing consists of two parts: a plan view and a cross-section.

STORM INLET PLAN: This view shows a diamond-shaped structure with a central square sediment trap. The trap is filled with a stippled pattern representing gravel. Four arrows labeled "FLOW" indicate water entering from the top, bottom, left, and right. The entire structure is enclosed within a double-lined diamond border.

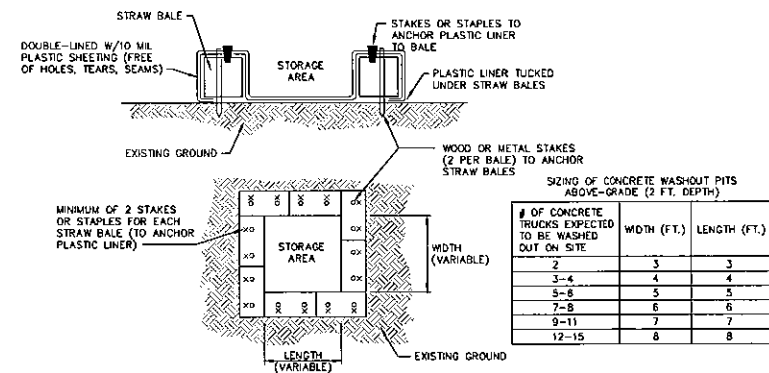
SECTION: This cross-sectional view shows the structure's profile. It features a central vertical pipe labeled "STORM INLET". On either side of the pipe is a sloped area of gravel, labeled "GRAVEL-SUPPORTED BY HARDWARE CLOTH TO ALLOW DRAINAGE AND RESTRICT SEDIMENT MOVEMENT (TYP.)". The top of the gravel is labeled "3' TYP." and the bottom slope is labeled "1:2 OR FLATTER". Arrows labeled "FLOW" indicate water entering from the left and right.

CONSTRUCTION NOTES:

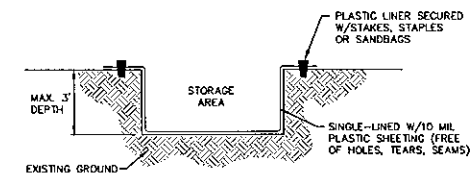
1. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO A 6" DEPTH. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
2. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND CLEANED.
3. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
4. ALL OUT SLOPES SHALL BE 2:1 OR FLATTER.

STORM INLET WITH SEDIMENT TRAP

1. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO A 6" DEPTH. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
2. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND CLEARED.
3. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
4. ALL CUT SLOPES SHALL BE 2:1 OR FLATTER.



CONCRETE WASHOUT ABOVE GRADE



CONCRETE WASHOUT BELOW GRADE

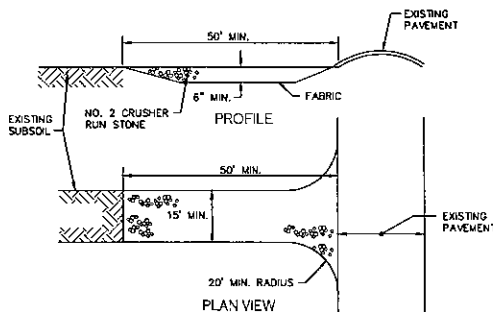
CONCRETE WASHOUT

INSTALLATION:

1. CONCRETE WASH WATER SHALL NOT BE ALLOWED TO FLOW TO STREAMS, STORM DRAINS, OR ANY OTHER WATER CONVEYANCE AND WASHOUT PITS SHALL BE SITUATED A MINIMUM OF FIFTY (5) FEET FROM THE
2. FIELD TIE OR OTHER SUBSURFACE DRAINAGE STRUCTURES WITHIN 10 FEET OF THE SUMP SHALL BE CUT AND PLUGGED.
3. ENSURE A STABLE PATH IS PROVIDED FOR CONCRETE TRUCKS TO REACH WASHOUT AREA.
4. A HIGHLY VISIBLE SIGN THE READS "CONCRETE WASHOUT AREA" SHALL BE ERECTED ADJACENT TO THE WASHOUT PIT.
5. SURFACE RUNOFF GENERATED FROM UPSLOPE AREAS SHALL BE DIVERTED AWAY FROM BELOW-GRADE WASHOUT PITS SO AS NOT TO FLOW INTO THE
6. A SINGLE CANTERED WASHOUT AREA MAY BE UTILIZED FOR MULTIPLE SUBLOTS.

MAINTENANCE

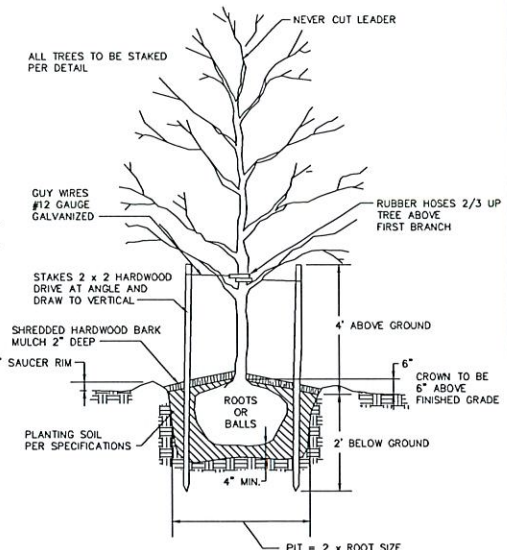
7. THE WASHOUT PIT MUST BE INSPECTED FREQUENTLY TO ENSURE THE LINER IS INTACT.
8. ONCE 75% OF THE ORIGINAL VOLUME OF THE WASHOUT PIT IS FILLED OR IF THE LINER IS TORN, THE MATERIAL MUST BE REMOVED AND PROPERLY DISPOSED OF ONCE IT IS COMPLETELY HAZARDOUS. ONCE THE HAZARDOUS CONCRETE IS REMOVED, THE LINER MUST BE REPAIRED OR A NEW PIT MUST BE CONSTRUCTED IF THE ORIGINAL STRUCTURE IS NO LONGER SUITABLE. REMOVAL:
9. ONCE THE WASHOUT PIT IS NO LONGER NEEDED, ENSURE ALL WASHOUT MATERIAL HAS COMPLETELY HAZARDOUS. THE LINER AND PROPERLY DISPOSE OF ALL MATERIALS. IF STRAW BALS WERE USED, THEY CAN BE SPREAD AS MULCH.
10. PREFABRICATED CONTAINERS SPECIFICALLY DESIGNED FOR CONCRETE WASHOUT COLLECTION MAY BE USED SUBJECT TO THE FOLLOWING: FOLLOW THE MANUFACTURER'S SUGGESTIONS FOR INSTALLATION, MAINTENANCE AND REMOVAL PROCEDURES.



CONSTRUCTION NOTES

1. STONE SIZE - NO LESS THAN 2 CRUSHER RUN
2. LENGTH - APPROX. 200 TO 300 FEET
3. THICKNESS - NOT LESS THAN SIX (6) INCHES AFTER STRIPPING TOPSOIL
4. WIDTH - TWENTY (20) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT THE DOWNSTREAM END OF THE EROSION CONTROL
5. GEOTEXTILE FABRIC - WILL BE PLACED OVER THE ENTIRE AREA AFTER TOPSOIL IS STRIPPED AND PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIRED UNDER ENTRANCE IF POSSIBLE.
7. SIZE PILES AS DETERMINED BY AGENCY HAVING JURISDICTION.
8. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT DUST PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, OR TRACKING OR TRACKED ON PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
9. WHEN EQUIPMENT WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
10. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE



NOTE: SHRUB SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUSLY EXISTING GRADE.

SHREDDED HARDWOOD BARK MULCH 2" DEEP

3" SAUCER RIM

ROOTS OR BALL

8" MIN.

PLANTING SOIL PER SPECIFICATIONS

PIT = 3 x ROOT SIZE OR AS SHOWN

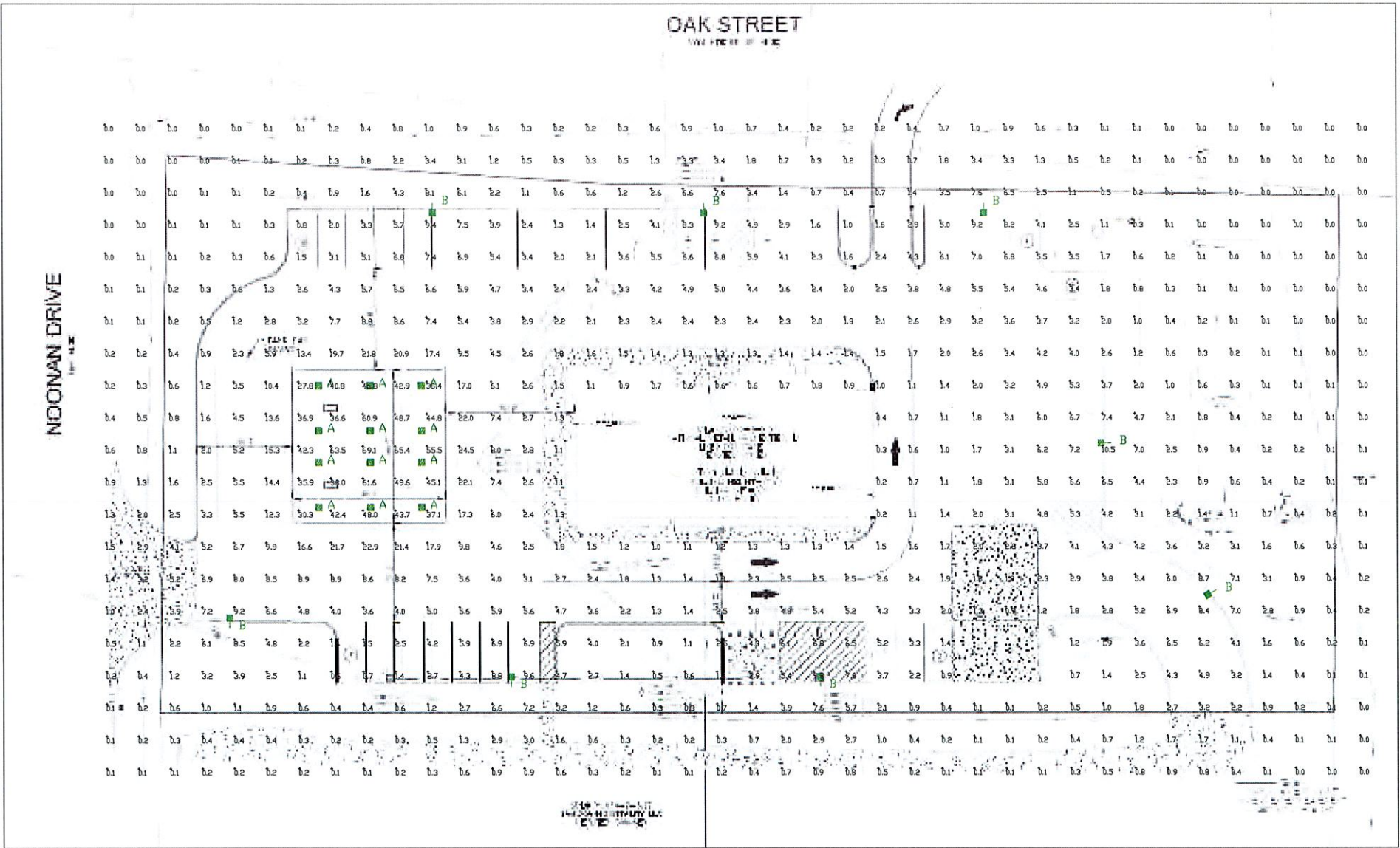
SEED NOTE (FOR ALL DISTURBED, NON-PAVED/NON-PLANTED AREAS)

- UNLESS RECOMMENDED OTHERWISE BY THE SEED VENDOR OR THE LANDSCAPE CONTRACTOR, PERMANENT GRASS SEEDING SHALL CONSIST OF A MIXTURE OF THE FOLLOWING:
 - KENTUCKY BLUEGRASS = 25% BY WEIGHT (98% MIN. PURITY; 85% MIN. GERMINATION)
 - PENN LAWN RED FESCUE = 25% BY WEIGHT (95% MIN. PURITY; 80% MIN. GERMINATION)
 - TRIPLE CROWN PERENNIAL RYE = 50% BY WEIGHT (95% MIN. PURITY; 90% MIN. GERMINATION)

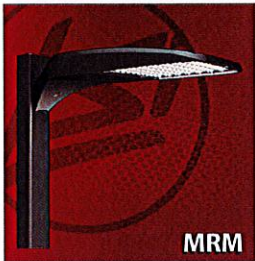
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PO	9	'DONNA MAY'	DONNA MAY NINEBARK	NO. 3 CONT.		
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SCV



MRM

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts
	12	A	SINGLE	SCV-LED-15L-SC-50 MTD @ 15'	1.000	1.000	1.000	14963	102
	8	B	SINGLE	MRM-LED-18L-SIL-FT-50-70CRI-SINGLE-14'POLE+2'BASE	1.000	1.000	1.000	19324	135

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	3.98	69.1	0.0	N.A.	N.A.
CANDPY	Illuminance	Fc	46.00	69.1	27.8	1.65	2.49
INSIDE CURB	Illuminance	Fc	4.97	24.5	0.2	24.65	122.50

Drawing scaled or converted from PDF file or scanned / submitted image. Dimensions are approximate.

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

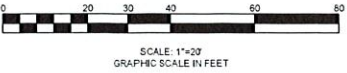
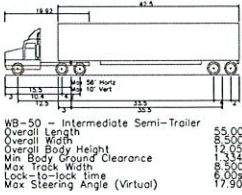
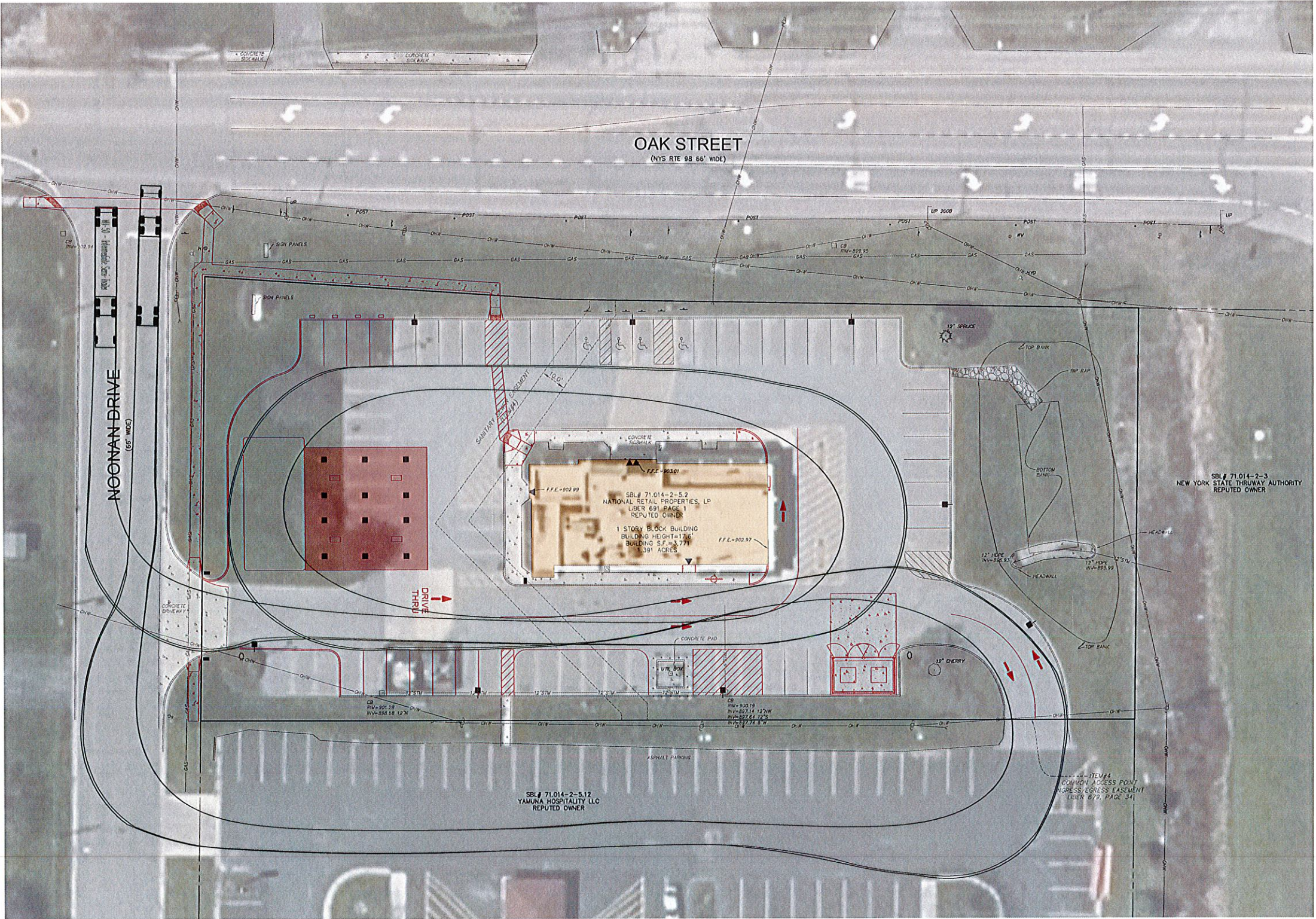
Total Project Watts
Total Watts = 2334



LIGHTING PROPOSAL LO-153703

QUICKLESS
OAK ST & NOONAN DRIVE
BATAVIA NY

DATE	DATE: 4-20-21	REV	SHEET 1 OF 1
SCALE	1"=20'		20



QUICKLEE'S CITY OF BATAVIA GENESEE COUNTY - NEW YORK		
TRUCK CIRCULATION PLAN		
THIS SHEET ISSUED JUNE 18, 2021		
C8		
DRAWING SCALE: 1" = 20'		
WSA PROJECT NO. 20213		
DESIGNED BY: PMB		
DRAWN BY: DLS		
CHECKED BY: WES		
DATE:		
DRAWING REVISIONS		
ITEM	DATE	DESCRIPTION
1	6/18/21	REVISED PER CITY COMMENTS
WARNING: THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPTING AS PROVIDED IN SECTION 700A, PART 2 OF THE NEW YORK STATE EMBROIDERED SEAL ACT (NY EMBROIDERED SEAL ACT) 700A. WSA SCHUTT & ASSOCIATES P.C.		



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 6/21/21

Re: **207-209, 211, 213 East Main; 211 ½ East Main Rear; 1-9, 10, 12-26, 17-23, 28 Wiard St; 17, 19 Summit St.; 216-220 Washington.**
Tax Parcel No. 84.011-1-30.1, 84.011-1-29, 84.011-1-28, 84.011-1-26.11, 84.011-1-28, 84.011-1-24, 84.011-1-13, 84.011-1-12, 84.011-1-28, 84.011-1-15, 84.011-1-16, 84.042-1-29, 84.042-1-27 (no address parcel).

Zoning Use District: P-2 and C-3 (**207-209 and 213 East Main St.; 1-9 Wiard St.**)

The applicants, Dave Ciurzynski, Consultant and Steve Tanner, PE, have submitted renderings for preliminary site plan review of a proposed project that will result in the removal of three buildings. The existing YMCA building located at 207-209 East Main St., a medical office building at 211 East Main St. and a maintenance building at 211 ½ East Main Rear.

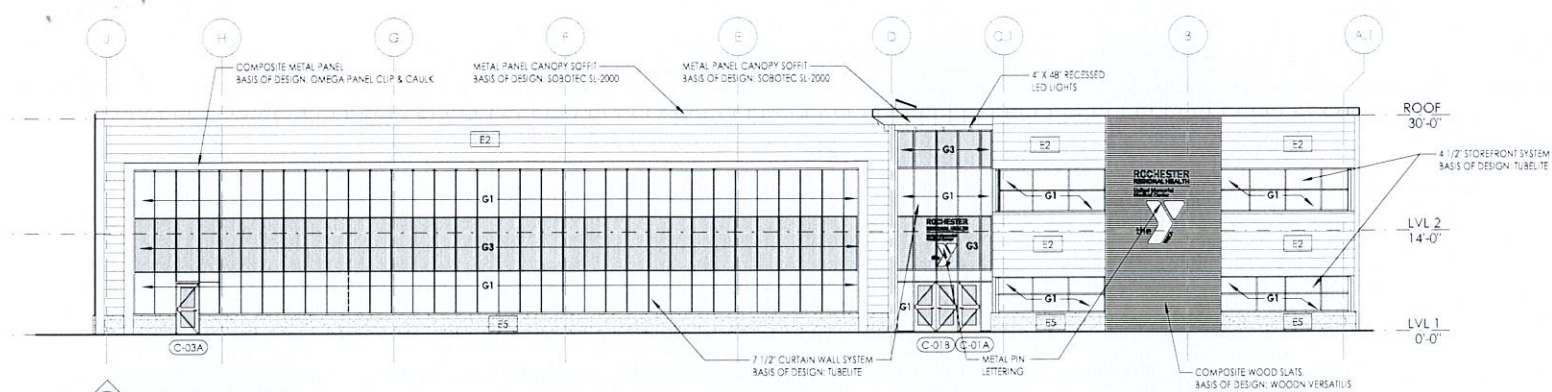
The proposed new facility will include a two story, 69,420 sq. ft. building to house a YMCA with medical offices, off street parking, new access point from Summit St., and numerous site work/landscaping updates throughout the complex. The structure is to be located on parcels 211 and 213 East Main St., 1-9 Wiard St. and a small portion of 211 ½ East Main Rear. Parcels will be merged to accommodate the new structure.

Zoning changes for parcels 211 East Main and 211 ½ East Main Rear are being considered. The changes will need to be effected prior to formal approval of this development, because a portion of the proposed building is located within the P-2 use district, which does not permit the use for YMCA.

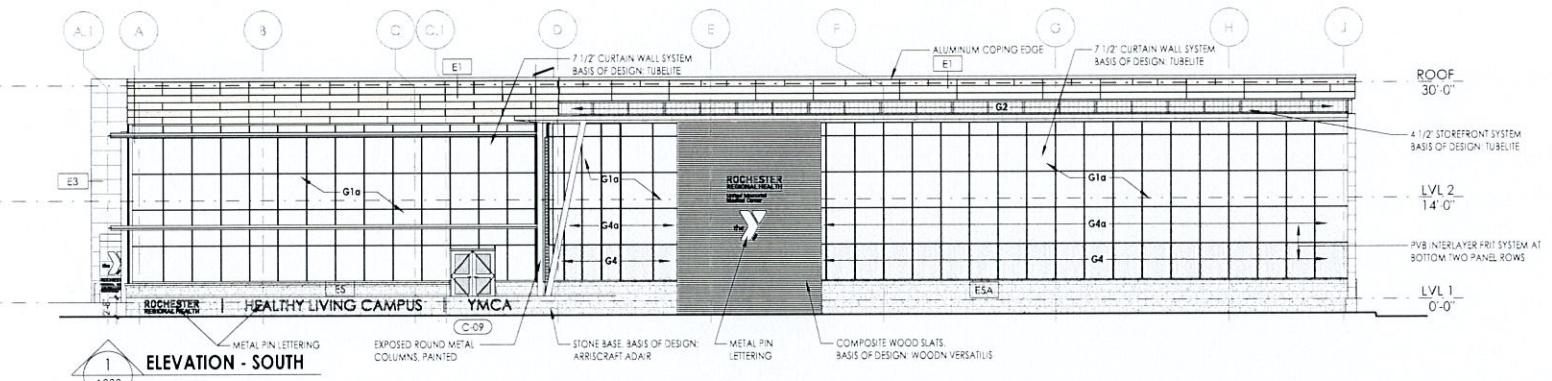
Review and Approval Procedures:

City Planning and Development Committee- Pursuant to section 190-44 B(1) of the zoning ordinance, the Planning and Development Committee is authorized to conduct site plan reviews.

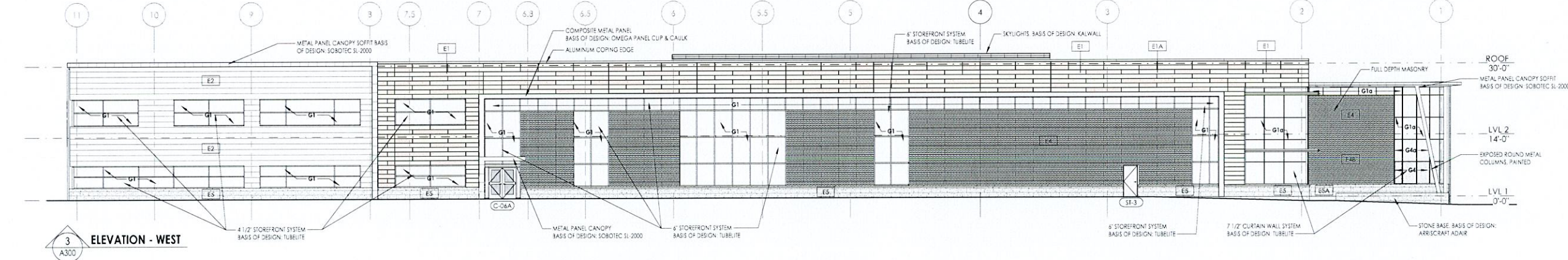
Preliminary Site Plan Review.



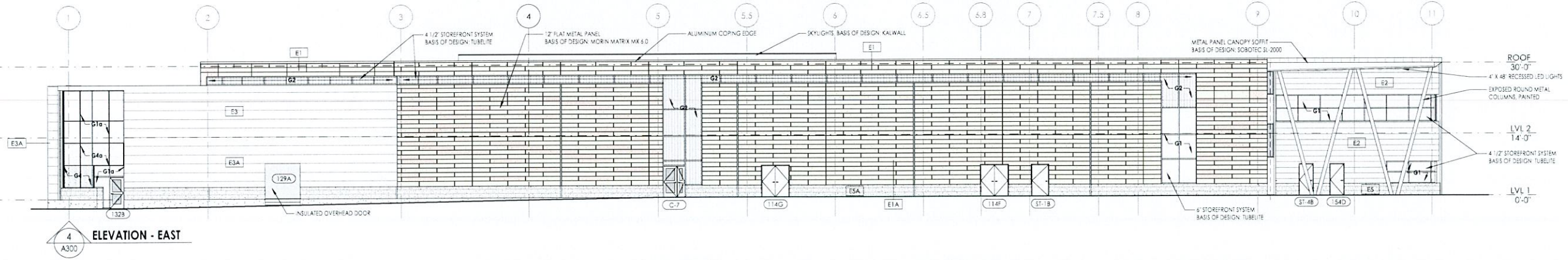
2 ELEVATION - NORTH
A300



1 ELEVATION - SOUTH
A300



3 ELEVATION - WEST
A300



4 ELEVATION - EAST
A300

GLAZING TYPES	
TYPE MARK	GLAZING DESCRIPTION
G1	1" INSULATED LOW-E LAMINATED VISION GLASS BLUE
G1b	1" INSULATED LOW-E LAMINATED VISION GLASS DARK BLUE
G2	1" INSULATED LOW-E LAMINATED VISION GLASS FROSTED
G3	1" INSULATED LOW-E SPANDREL GLASS GREY
G4	1" INSULATED LOW-E SPANDREL GLASS BLUE FRIT ROW
G4b	1" INSULATED LOW-E SPANDREL GLASS BLUE FRIT ROW
G5	1/4" CLEAR LAMINATED GLASS

EXTERIOR WALL ASSEMBLY LEGEND	
E1 INTERIOR	E4 INTERIOR
<ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 6" CMF METAL STUDS @ 16" O.C. 5/8" GYPSUM BOARD SHEATHING VAPOR BARRIER 2 1/2" RIGID INSULATION 7/8" METAL FURRING 1/2" FLAT METAL PANEL BASIS OF DESIGN: WORN MATRIX MK 5.0 	<ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 6" CMF METAL STUDS @ 16" O.C. 5/8" GYPSUM BOARD SHEATHING VAPOR BARRIER 2 1/2" RIGID INSULATION 7/8" METAL FURRING 1/2" FLAT METAL PANEL BASIS OF DESIGN: WORN MATRIX MK 5.0
E1A INTERIOR	E4A INTERIOR
<ul style="list-style-type: none"> 7 5/8" CONCRETE MASONRY UNIT VAPOR BARRIER 2 1/2" RIGID INSULATION 7/8" METAL FURRING 1/2" FLAT METAL PANEL BASIS OF DESIGN: WORN MATRIX MK 5.0 	<ul style="list-style-type: none"> 7 5/8" CONCRETE MASONRY UNIT VAPOR BARRIER 2 1/2" RIGID INSULATION 7/8" METAL FURRING 1/2" FLAT METAL PANEL BASIS OF DESIGN: WORN MATRIX MK 5.0
E2 INTERIOR	E5 INTERIOR
<ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 6" CMF METAL STUDS @ 16" O.C. 5/8" GYPSUM BOARD SHEATHING VAPOR BARRIER 2 1/2" RIGID INSULATION 7/8" METAL FURRING 5/8" FIBER CEMENT PANEL SIDING BASIS OF DESIGN: HARDIE PANEL SHEETS 	<ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 6" CMF METAL STUDS @ 16" O.C. 5/8" GYPSUM BOARD SHEATHING VAPOR BARRIER 2 1/2" RIGID INSULATION 7/8" METAL FURRING 5/8" FIBER CEMENT PANEL SIDING BASIS OF DESIGN: HARDIE PANEL SHEETS
E3 INTERIOR	E5A INTERIOR
<ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 6" CMF METAL STUDS @ 16" O.C. 5/8" GYPSUM BOARD SHEATHING VAPOR BARRIER 2 1/2" RIGID INSULATION 7/8" METAL FURRING 1/4" FLAT METAL PANEL BASIS OF DESIGN: SOBOTEC SL 2000 	<ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 6" CMF METAL STUDS @ 16" O.C. 5/8" GYPSUM BOARD SHEATHING VAPOR BARRIER 2 1/2" RIGID INSULATION 7/8" METAL FURRING 1/4" FLAT METAL PANEL BASIS OF DESIGN: SOBOTEC SL 2000
E3A INTERIOR	
<ul style="list-style-type: none"> 6" CONCRETE MASONRY UNIT VAPOR BARRIER 2 1/2" RIGID INSULATION 7/8" METAL FURRING 1/4" FLAT METAL PANEL BASIS OF DESIGN: SOBOTEC SL 2000 	
EXTERIOR	EXTERIOR
	<ul style="list-style-type: none"> 3/8" BRICK MASONRY



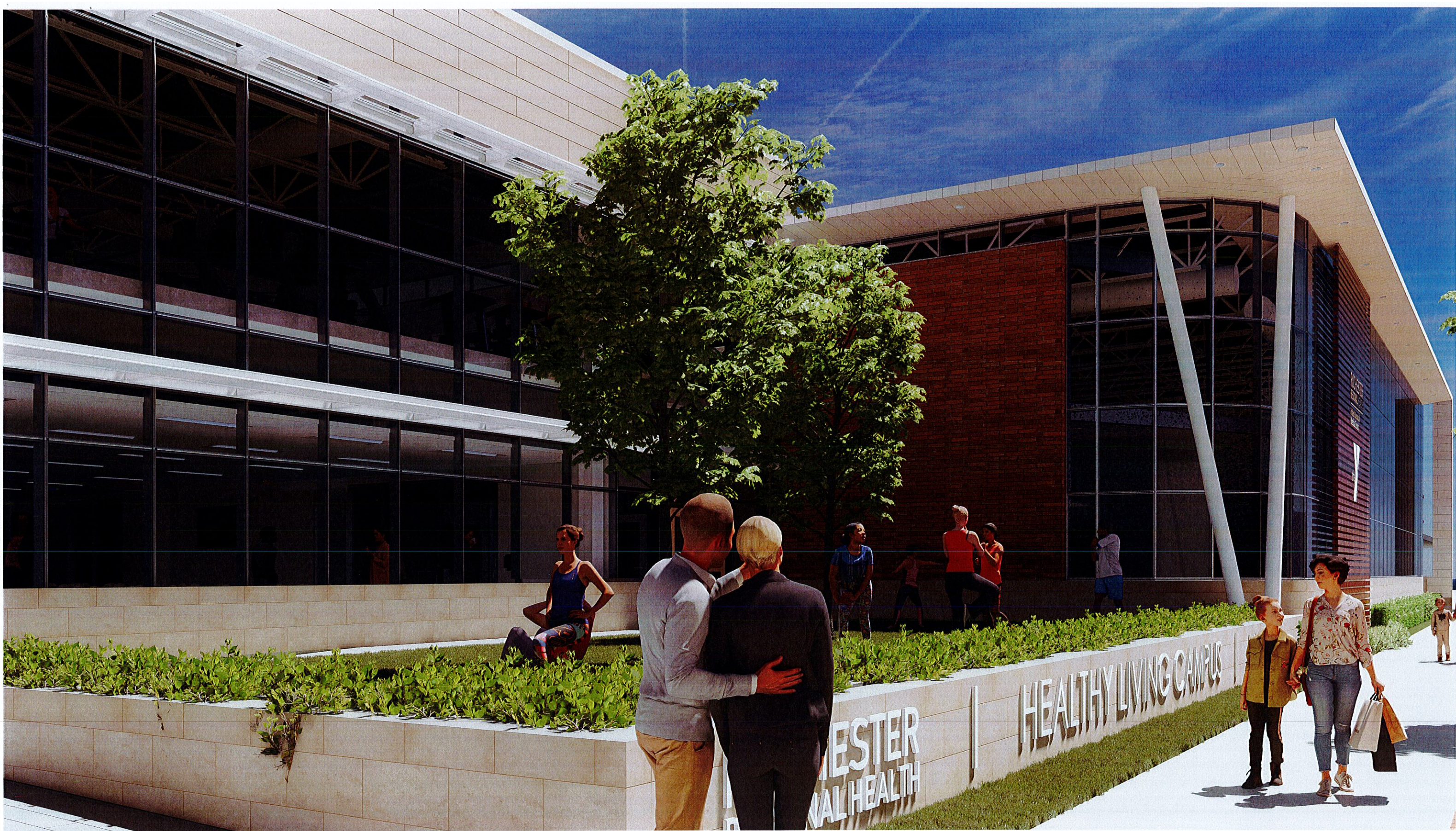
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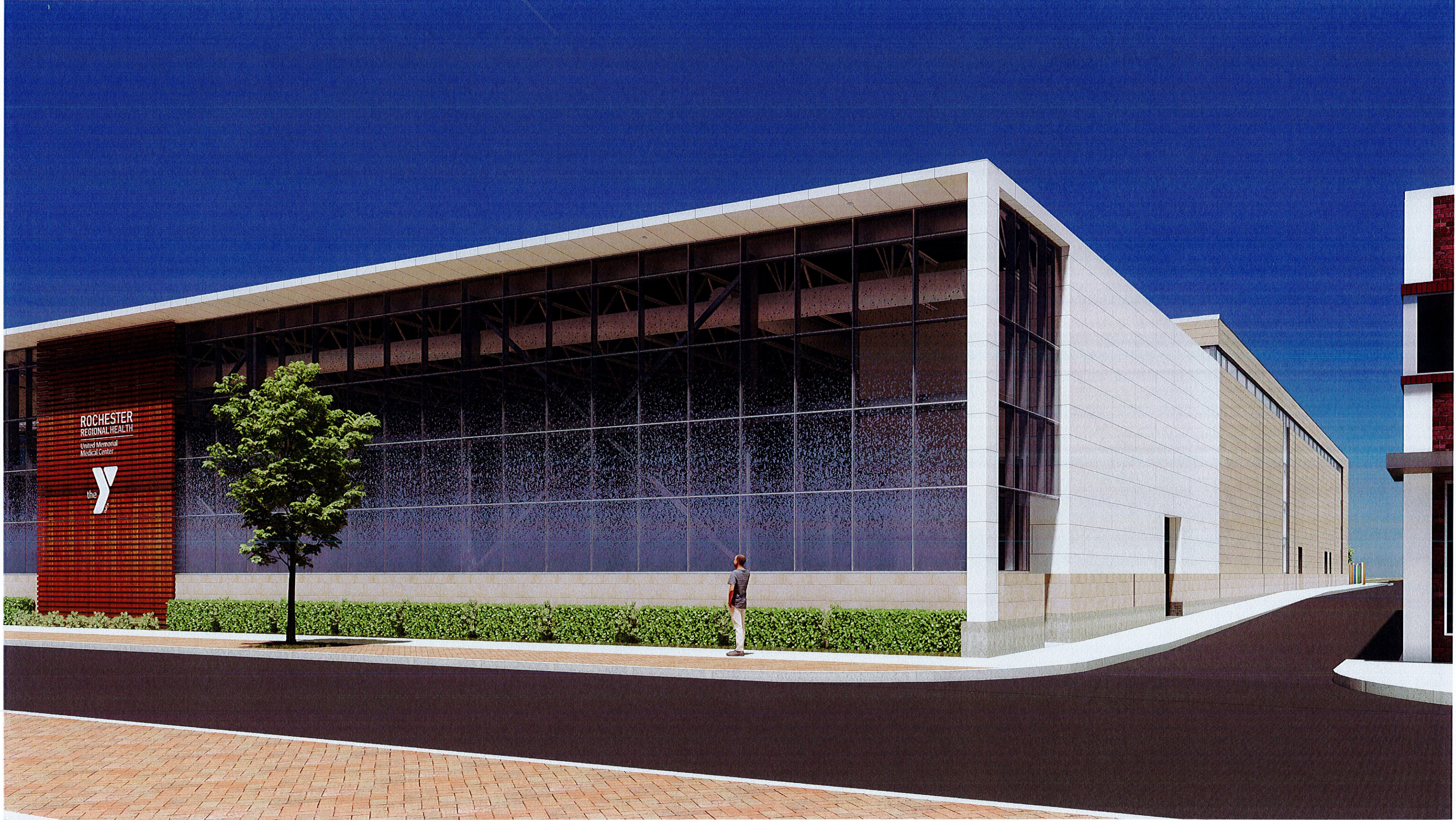




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