

PLANNING & DEVELOPMENT COMMITTEE

Tuesday, November 17, 2015

6:00 pm

Council Board Room

One Batavia City Centre, Batavia NY

AGENDA

- I. Roll Call
- II. Call to Order
- III. Approval of Minutes – 10/20/15
- IV. Proposals

Address: 180 Pearl Street

Applicant: Susan S. Hoy (Executrix for the Estate of Adolph Mruczek)

Proposal 1: Minor subdivision: division of this parcel approximately in half creating two separate parcels, each containing one two-family dwelling

Actions: 1. Review application
2. Discussion and action by the board

Address: 211 West Main Street (Oliver's Candies)

Applicant: Jeremy Liles (business operator)

Proposal 2: Special sign permit: allow the text on the existing digital reader board sign to periodically change. A special sign permit was approved by the PDC during its December 16, 2014 meeting. Approval was granted for a 92 sq.' free standing sign that included a digital reader board with the condition that the sign not be illuminated by or contain flashing, intermittent, rotating or moving lights except to show time and temperature. Minutes from that meeting are attached

Actions: 1. Review application
2. Discussion and action by the board

Address: 401-409 West Main Street

Applicant: Kip Finley (agent for the owner)

Proposal 3: Minor subdivision; site plan review; special use permit for drive-in restaurant, area variances, and special sign permits. The applicant is proposing to subdivide this existing parcel into two separate parcels and construct an approximately 2,170 sq.' Dunkin Donuts restaurant with a drive-through window on the newly created parcel

Actions: 1. Review application
2. Public hearing
3. Discussion and action by the board

V. Other/ New Business/Updates

VI. Setting of Next Meeting: December 15, 2015

VII. Adjournment

PLANNING & DEVELOPMENT COMMITTEE
MINUTES

October 20, 2015 6:00 pm
Council Board Room
One Batavia City Centre, Batavia NY

Members present: *Matthew Gray, Robert Knipe (Alt.), Alfred McGinnis,
Duane Preston*

Others present: *Meg Chilano – Recording Secretary, Doug Randall – Code Enforcement
Officer*

I. Roll Call

Roll call of the members was conducted. Four members were present and Chairman Preston declared a quorum.

II. Call to order

Mr. Preston called the meeting to order at 6:02 pm.

III. Previous Meeting Minutes

Mr. Gray moved to approve the minutes; the motion was seconded by Mr. McGinnis, and on roll call, was approved 3-0-1

Votes in favor: 3 (Matthew Gray, Alfred McGinnis, Duane Preston)

Votes opposed: 0

Votes abstained: 1 (Robert Knipe)

RESULT: Approval of September 15, 2015 meeting minutes.

IV. Proposals

- A. Placement of two 7.29' x 9.87' wall signs on this commercial use building, one on the west side and one on the east side

Address: *218 West Main Street*

Applicant: *Terry Smith (tenant)*

- Actions:
1. Remove application from table
 2. Review application
 3. Discussion and action by the board

1. Remove Application from Table

MOTION: Mr. Preston moved to pick up the application from the table; the motion was seconded by Mr. Gray, and on roll call, was approved 4-0.

2. Review Application

Mr. Preston read the summary of the proposal. Mr. Smith said that the windows in his shop are high and he believes that signs on the sides of the building will be more clearly visible.

3. Discussion and Action by the Board

Mr. McGinnis asked how long the business has been open and Mr. Smith replied two years.

Mr. Knipe pointed out that the Genesee County Planning Board recommended one sign instead of two. He asked Mr. Smith on which side of the building he would place the sign. Mr. Smith said he would put the sign on the same side as Arby's restaurant.

Mr. McGinnis asked where the entrance to his shop is located and Mr. Smith answered that it is on the side opposite from Arby's.

Mr. McGinnis asked about parking and Mr. Smith said that the parking area is also on the opposite side from Arby's.

Mr. Preston noted that the Arby's side of the building appears to be lit but that the opposite side does not appear to have lighting. Mr. Smith agreed. Mr. Preston stated, however, that he believed the bush on the Arby's side would obstruct the view of the sign.

Mr. Knipe said that he thought the sign was rather large and asked for the reason behind the size. Mr. Smith responded that he would be willing to compromise on the size but that he wanted to ensure that the sign could be seen down the street.

Mr. Gray wanted to know what the Genesee County Planning Board had recommended. Mr. Randall read the referral which recommended that one wall sign be eliminated.

Mr. Preston asked if the sign in the front window conforms to Code. Mr. Randall answered that the amount of allowable space is 25% and the size of the sign is below that amount.

Mr. Preston asked if the sign on the side of the building would meet the Code requirements. Mr. Randall calculated that the size of the sign would be less than the 15% of space allowed by Code.

MOTION: Mr. Gray moved to approve the application with the modification that it will be one sign, instead of two, placed on the west elevation. The motion was seconded by Mr. McGinnis, and on roll call, was approved 4-0.

RESULT: Approval of one sign.

- B. Removal of an existing free standing sign and placement of a 4' x 4' interior lit free standing sign in the front yard of this commercial building located within the BID

Address: 335 Ellicott Street

Applicant: Steve Fairbanks (sign contractor)

- Actions: 1. Review application
2. Discussion and action by the board

1. Review Application

Mr. Preston read the summary of the proposal as well as the referral from the Genesee County Planning Board. The Planning Board recommended approval of the sign with the modification that the lighting is external rather than internal.

2. Discussion and Action by the Board

Mr. Fairbanks explained that he basically wants to raise the poles so the sign can be large enough to accommodate the names of both of the business that are in the building.

Mr. Preston noted that they are trying to eliminate internally lit signs according to the guidelines established by the BID. Mr. Fairbanks responded that he could go with a box sign lit from the ground.

Mr. Preston asked about the sign material. Mr. Fairbanks said that the material is translucent plastic that the light will shine through.

MOTION: Mr. Gray moved to approve the application with the modification that the sign is unlit or externally lit; the motion was seconded by Mr. Knipe, and on roll call, was approved 4-0.

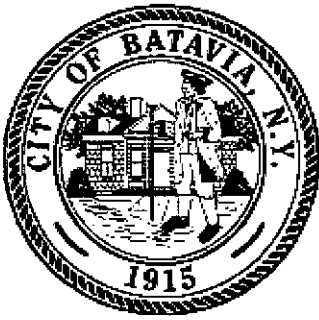
RESULT: Approval of the Special Sign Permit.

3. Setting of Next Meeting: November 17, 2015

4. Adjournment

Mr. Gray moved to adjourn at the meeting at 6:23 pm. Mr. McGinnis seconded. All voted in favor.

Meg Chilano
Bureau of Inspection Clerk



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 10/27/15

Re: 180 Pearl St.
Tax Parcel No. 84.009-1-39

Zoning Use District: R-2

The applicant, Susan S. Hoy (Executrix for the Estate of Adolph A. Mruczek), has filed a minor subdivision application to divide this parcel approximately in half creating two separate parcels, each containing one two family dwelling.

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

City Planning and Development Committee- Pursuant to BMC Sec. 190-2 and 13-3 The Planning and Development Committee is authorized to review and approve or disapprove plats. BMC 162-40 B; The PDC shall act on the pre-application sketch and if approved the Chairman will sign and date the reproducible plat.

BMC 190-29 A. and Schedule I

Minimum requirements of lot area and frontage for residential uses:

	<u>Required</u>	<u>Proposed</u>
Lot area (min.)	10,000 sq.'	N/A (see below)
Frontage (min.)	75'	N/A (see below)
Coverage (max.)	25%	< 25% (11.2% east parcel; 11.6% west parcel)
Height (max.)	35'	< 35'
Front yard (min.)	20'	> 20' (20.24' east parcel; 20.58' west parcel)
Side yard (min.)	8'	> 8' (8.19' east parcel; 10.70' west parcel)
Side yard (total)	20'	> 20' (27.04' east parcel; 29.35' west parcel)
Rear yard (min.)	35'	> 35'

BMC 190-29 B. Lot area and frontage are not applicable to lots located within R-2 use districts where utility services have been previously installed.

The PDC will be the lead agency to conduct SEQR.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
 3837 West Main Street Road
 Batavia, NY 14020-9404
 Phone: (585) 344-2580 Ext. 5467

DEPARTMENT USE ONLY:

GCDP Referral # _____



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

Required According to:

GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N

(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATIONBoard(s) Planning and Development CommitteeAddress One Batavia City CentreCity, State, Zip Batavia, NY 14020Phone (585) 345 - 6347 Ext. _____**2. APPLICANT INFORMATION**Name Susan Hoy (Executrix for the Estate of Adolph A. Mruczek)Address 8820 Rollin Circle WestCity, State, Zip Batavia, NY 14020Phone (585) 409 - 3628 Ext. _____ Email _____MUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia**3. TYPE OF REFERRAL:** (Check all applicable items)

- ☐ Area Variance
☐ Use Variance
☐ Special Use Permit
☐ Site Plan Review

- ☐ Zoning Map Change
☐ Zoning Text Amendments
☐ Comprehensive Plan/Update
☐ Other: _____

Subdivision Proposal

- ☐ Preliminary
☒ Final

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:A. Full Address 180 Pearl St.B. Nearest intersecting road RiverC. Tax Map Parcel Number 84.009-1-39D. Total area of the property 18,062 sq.' Area of property to be disturbed _____E. Present zoning district(s) R-2**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☒ NO ☐ YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law _____

C. Please describe the nature of this request Approval to subdivide this residential use parcel into two separate parcels containing one two family dwelling each.**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- ☒ Local application
☒ Site plan
☒ Subdivision plot plans
☒ SEQR forms

- ☐ Zoning text/map amendments
☐ Location map or tax maps
☐ Elevation drawings
☐ Agricultural data statement

- ☐ New or updated comprehensive plan
☒ Photos
☒ Other: Cover letter

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.

Email to planning@co.genesee.ny.us**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com



Batavia Office
73 Main Street, Batavia, New York 14020
Phone: (585) 344-1050 | Fax: (585) 344-4165



Oakfield Office
31 Main Street, Oakfield, New York 14125
Phone: (585) 948-5201 | Fax: (585) 948-5202

October 8, 2015

VIA HAND DELIVERY

City of Batavia
Attn: Douglas Randall, Code Enforcement Officer
One Batavia City Center
Batavia, NY 14020

**Re: Minor Subdivision Application
Estate of Adolph A. Mruczek**

Dear Doug:

Pursuant to your email of September 17, 2015, I enclose herewith the following:

1. Minor Subdivision Application by the Estate of Adolph A. Mruczek;
2. Short Environmental Assessment Form;
3. Check of the Estate in the amount of \$50.00 for the filing fees;
4. 8 prints of proposed lot division.

Proposed lot division will roughly intersect the two buildings and make the parcels equal in size.

These buildings were conveyed separately by the Last Will and Testament of Adolph A. Mruczek to his sons. It would make the most sense to divide these at least at this time into two separate parcels. It would not change the nature of the properties or of the neighborhood.

Please advise when this is scheduled for County and City Planning consideration. Also advise if there is anything further you need.

Very Truly Yours,

MICHAEL A. DEL PLATO

MAD:meh
Enclosures

Application No.: _____

Date: _____



MINOR SUBDIVISION APPLICATION

CITY OF BATAVIA

10 West Main Street, Batavia, NY 14020
Phone: (716) 343-8180 • Fax (716) 343-9221

ADDRESS OF SUBDIVISION 180-180 1/2 Pearl St.
Batavia N.Y. 14020

OWNER:

Estate of Adolph A. Mauczek

Name

E-mail Address

Susan S. Hoy Executrix 585-409-3628

Street Address

Phone

Fax

8820 Rollin Circle West

City, State, Zip Code

Batavia N.Y. 14020

SIGNATURE

Susan S. Hoy

FEES: ☒ \$50 Residential Subdivision ☐ \$100 Non-Residential Subdivision

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <u>Estate of Adolph A. Muczek Subdivision</u>			
Project Location (describe, and attach a location map): <u>180 + 180 1/2</u>			
Brief Description of Proposed Action: <u>Will of Adolph A. Muczek leaves 180 Pearl St. to son Fred and 180 1/2 Pearl St. to son Greg. Property contain two identical 2 family dwellings. Each structure has separate utility water and sewer. Subdivision is requested to separate into two separate lots.</u>			
Name of Applicant or Sponsor: <u>Estate of Adolph A. Muczek</u>		Telephone: <u>585-409-3628</u>	
Address: <u>Susan A. Hoy Executive</u> <u>8820 Rollin Circle</u>		E-Mail:	
City/PO: <u>BATAVIA</u>		State: <u>NY</u>	Zip Code: <u>14020</u>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<u>X</u>	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<u>X</u>	
3.a. Total acreage of the site of the proposed action?		<u>18,000 sq. ft.</u>	acres
b. Total acreage to be physically disturbed?		<u>18,000 sq. ft.</u>	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>N/A</u>	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
b. Consistent with the adopted comprehensive plan?		X	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
			X
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?	X		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			X
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	X		
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
			X
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
			X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	X		
	X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	X		
	X		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	X		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	X		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	X		
			X

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	X	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Estate of Adolph A. Marzek</u> Date: _____		
Signature: <u>X Susan S. Hoy</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing:		
a. public / private water supplies?		
b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- ☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- ☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

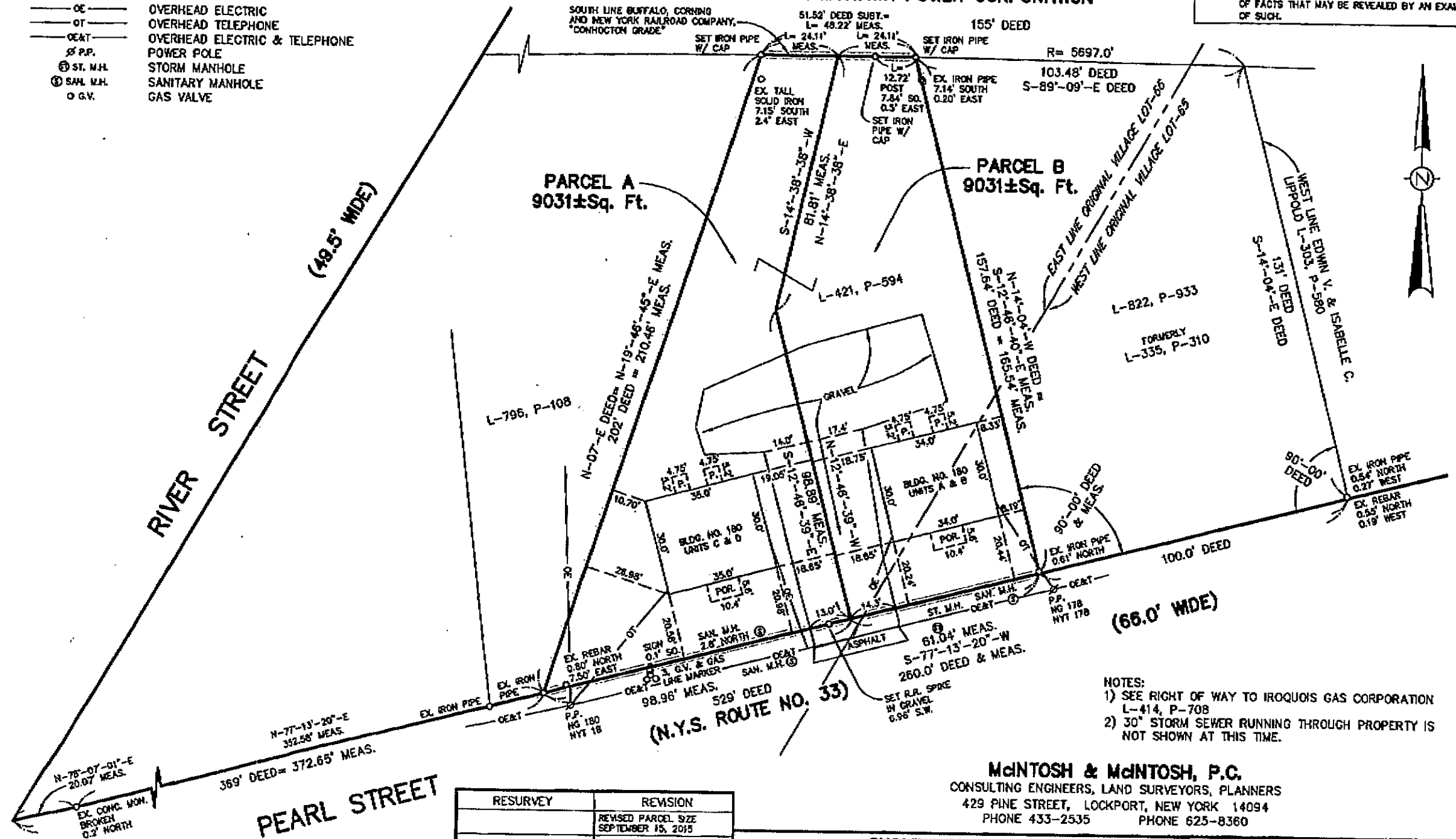
Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

—OC—	OVERHEAD ELECTRIC
—OT—	OVERHEAD TELEPHONE
—OC&T—	OVERHEAD ELECTRIC & TELEPHONE
⊗ P.P.	POWER POLE
⊗ ST. M.H.	STORM MANHOLE
⊗ SAN. M.H.	SANITARY MANHOLE
○ G.V.	GAS VALVE

REPUTED OWNER
NIAGARA MOHAWK POWER CORPORATION



NOTES:
1) SEE RIGHT OF WAY TO IROQUOIS GAS CORPORATION
L-414, P-708
2) 30" STORM SEWER RUNNING THROUGH PROPERTY IS
NOT SHOWN AT THIS TIME.

McINTOSH & McINTOSH, P.C.
CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS
429 PINE STREET, LOCKPORT, NEW YORK 14094
PHONE 433-2535 PHONE 625-8360

SURVEY OF PART OF ORIGINAL VILLAGE LOTS--65 & 66

LOCATION

CITY OF BATAVIA, GENESEE COUNTY, NEW YORK

JOB No. **B-3483-A**

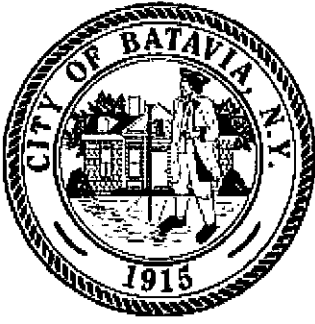
SCALE: 1" = 30'

DATE: JULY 9, 2015

DRAWN	MAS
COMP.	GNZ
DESC.	
CADFILE	B3453AR.DWG

© 2015 McIntosh & McIntosh, P.C.
ALL RIGHTS RESERVED

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 10/27/15

Re: **211 West Main St. (Oliver's)**
Tax Parcel No. 84.039-2-18

Zoning Use District: C-2

The applicant, Jeremy Liles (business operator), is requesting a "Special Sign Permit" to allow the text on the existing digital reader board sign to periodically change. A Special Sign Permit was approved by the PDC during its December 16, 2014, meeting. Approval was granted for a 92 sq.' free standing sign that included a digital reader board with the condition that the sign not be illuminated by or contain flashing, intermittent, rotating or moving lights except to show time and temperature. Minutes from that meeting are attached.

Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (1).

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway

City Planning and Development Committee- Pursuant to section 190-43 R of the Batavia Municipal Code, any person aggrieved by a decision relative to the sign requirements of section 190-43 may appeal such decision by applying to the Planning and Development Committee for a Special Sign Permit.

BMC 190-43 H. (2) Prohibited signs- No sign shall be illuminated by or contain flashing, intermittent, rotating or moving lights, except to show time and temperature.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 344-2580 Ext. 5467

DEPARTMENT USE ONLY:

GCDP Referral # _____



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

Required According to:

GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N

(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATIONBoard(s) Planning and Development CommitteeAddress One Batavia City CentreCity, State, Zip Batavia, NY 14020Phone (585) 345 - 6347 Ext. _____**2. APPLICANT INFORMATION**Name Jeremy LilesAddress 211 West Main St.City, State, Zip Batavia, NY 14020Phone (585) 343 - 5888 Ext. _____ Email _____MUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia**3. TYPE OF REFERRAL:** (Check all applicable items)

- ☐ Area Variance
☐ Use Variance
☐ Special Use Permit
☐ Site Plan Review

- ☐ Zoning Map Change
☐ Zoning Text Amendments
☐ Comprehensive Plan/Update
☒ Other: Special Sign Permit

- Subdivision Proposal
☐ Preliminary
☐ Final

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:A. Full Address 211 West Main St.B. Nearest intersecting road OakC. Tax Map Parcel Number 84.039-2-18

D. Total area of the property _____ Area of property to be disturbed _____

E. Present zoning district(s) C-2**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☒ NO ☐ YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

BMC 190-43 H. (2)C. Please describe the nature of this request Approval to periodically change digital reader board sign.**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments | <input type="checkbox"/> New or updated comprehensive plan |
| <input type="checkbox"/> Site plan | <input type="checkbox"/> Location map or tax maps | <input type="checkbox"/> Photos |
| <input type="checkbox"/> Subdivision plot plans | <input checked="" type="checkbox"/> Elevation drawings | <input checked="" type="checkbox"/> Other: <u>Cover letter, meeting minutes,</u> |
| <input type="checkbox"/> SEQR forms | <input type="checkbox"/> Agricultural data statement | <u>Genesee County referral notice</u> |

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.

Email to planning@co.genesee.ny.us**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com



GENESEE COUNTY PLANNING BOARD ZONING REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID **C-22-BAT-12-14**
Review Date **12/11/2014**

Municipality **BATAVIA, C.**
Board Name **CITY PLANNING AND DEVELOPMENT COMM.**
Applicant's Name **Jamie Rawleigh (Premier Signs for Oliver's Candies)**
Referral Type **Special Sign Permit**
Variance(s)
Description: **Special Sign Permit to replace a free standing sign for an existing candy shop (Oliver's Candies).**
Location **211 W. Main St. (NYS Rts. 5 & 63), Batavia**
Zoning District **General Commercial (C-2) District**

PLANNING BOARD DECISION

APPROVAL

EXPLANATION:

Given that the proposed sign area will be smaller than the existing sign area, the proposed sign should pose no significant county-wide or inter-community impact.

Director

December 11, 2014

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department at 344-2580 x 5466, or online at <http://www.co.genesee.ny.us/> under Forms and Permits for Towns and Villages.

PLANNING & DEVELOPMENT COMMITTEE

MINUTES

December 16, 2014 6:00 pm

Council Board Room
One Batavia City Centre, Batavia NY

Members present: *Edward Jones, Alfred McGinnis, Duane Preston, Jeffrey Scott*

Members absent: Paul Viele

Others present: *Anupa Hirani, Joe Condidorio, Robert Greathouse, Jeremy Lyles, Julie Pacatte, Dave Tufts, Mr. and Mrs. White, Meg Chilano – Recording Secretary, Doug Randall – Code Enforcement Officer*

I. Roll Call

Roll call of the members was conducted. Four members were present and Chairman Jones declared a quorum.

II. Call to order

Mr. Jones called the meeting to order at 6:02 pm.

III. Approval of minutes

Jeffrey Scott made a motion to approve the October 21, 2014 minutes.

Seconded by: *Duane Preston*

Votes in favor: 4 (Edward Jones, Alfred McGinnis, Duane Preston, Jeffrey Scott)

Votes opposed: 0

Votes abstained: 0

Result: Approval of October 21, 2014 minutes.

IV. Proposals

- A. Add a second driveway along the north property line. The proposed loose stone driveway with Portland cement apron and sidewalk will be 9' wide and 35' long

Address: *6 Goade Park*

Applicant: Kelly Herold (owner)

- Actions:
1. Review application
 2. Public hearing
 3. Discussion and recommendation to the Zoning Board of Appeals (ZBA)

1. Review of Application

Mr. Jones read the summary of the proposal. The applicant was not present. Mr. Jones said that apparently the applicant owns the property on both sides and wishes to put the driveway down the middle.

2. Public Hearing

Mr. Jones opened the public hearing at 6:05 pm. There were no calls or correspondence and no one came to speak. Mr. Jones moved to close the public hearing at 6:06 pm. Mr. Scott seconded. All voted in favor.

3. Discussion and Recommendation to the ZBA

Mr. Jones stated that his only comment is that he likes to see driveways paved eventually.

Motion by: *Edward Jones*

"I make a motion that approval be recommended to the ZBA with the stipulation that the driveway is paved within a year."

Seconded by: *Jeffrey Scott*

Votes in favor: 4 (Edward Jones, Alfred McGinnis, Duane Preston, Jeffrey Scott)

Votes opposed: 0

Votes abstained: 0

Result: Recommendation for approval made to the ZBA.

B. Placement of a 2' x 20' exterior lit wall sign on the north elevation of this commercial building located within the BID

Address: *240 Ellicott Street*

Applicant: Kathleen Gonzalez (tenant/business owner)

- Actions:
1. Review of application
 2. Public hearing
 3. Discussion and action by the board

1. Review of Application

Mr. Jones read the summary of the proposal. He reported that the Genesee County Planning Board recommended approval. Mr. McGinnis asked if the application is still active because he said that he heard that Clor's Meat Market went out of business. Mr. Randall told the board that they could table the proposal if they wished in order to have time to determine if the application is still active.

Motion by: *Edward Jones*

"I make a motion to table the application until next month to get clarification on whether or not it's an active application."

Seconded by: *Jeffrey Scott*

Votes in favor: 4 (Edward Jones, Alfred McGinnis, Duane Preston, Jeffrey Scott)

Votes opposed: 0

Votes abstained: 0

Result: Application tabled.

- C. Placement of a 4.16' x 2.33' exterior lit Special Wall Sign on the west elevation of this commercial building located in the BID

Address: *13 Jackson Street*

Applicant: Byron Ariyaratnam

Actions: 1. Review of application
2. Public hearing
3. Discussion and action by the board

1. Review of Application

Mr. Jones read the summary of the proposal. He reported that the Genesee County Planning Board recommended approval. Anupa Hirani was present to speak on behalf of the applicant. She explained that the sign is the same one that is already there, but that it will be divided in half and refaced with the Bistro on one side and Yo Twisters on the other side.

2. Public Hearing

Mr. Jones opened the public hearing at 6:15 pm. There were no calls or correspondence and no one came to speak. Mr. Jones moved to close the public hearing at 6:16 pm. Mr. Preston seconded. All voted in favor.

3. Discussion and Action by the Board

Mr. Jones said the sign is not a special sign and only requires approval because the business is located in the BID. Mr. Randall pointed out that the dimensions of the new sign are different from ones indicated on the application and Ms. Hirani explained a mistake was made in recording the size of the sign, but she assured the board that the sign is the same one already in existence.

Motion by: *Alfred McGinnis*

"I make a motion to approve the application for the sign permit with the revised dimensions of 16' x 44'."

Seconded by: *Jeffrey Scott*

Votes in favor: 4 (Edward Jones, Alfred McGinnis, Duane Preston, Jeffrey Scott)

Votes opposed: 0

Votes abstained: 0

Result: Application approved.

- D. Placement of two wall signs (oak leaf logo) on the north elevation, and one wall sign (Tompkins Insurance) on the east elevation of this commercial building located within the BID. One of the oak leaf logos will require the issuance of a Special Sign Permit

Address: 113-119 Main Street

Applicant: Joe Condidorio (contractor)

Actions: 1. Review of application
2. Public hearing
3. Discussion and action by the board

1. Review of Application

Mr. Jones read the summary of the proposal. He reported that the Genesee County Planning Board recommended approval. Joe Condidorio, contractor for the project, described the material for the signs as anodized aluminum. He said that the signs are gold in color and the lettering is in the green color that defines the Tompkin's logo. The signs are unlit.

2. Public Hearing

Mr. Jones opened the public hearing at 6:19 pm. Julie Pacatte, from the Batavia Development Corporation (BDC), spoke in support of the project. She said that the BDC is excited about what Tomkin's is doing in the community and the signs are a finishing touch. Mr. Jones moved to close the public hearing at 6:21 pm. Mr. Scott seconded. All voted in favor.

3. Discussion and Action by the Board

Mr. Jones commented that the proposal is straightforward. He pointed out that the signs are unlit, made of a weather resistant material, and will match the usage of the property. Mr. Scott added that the signage looks sharp and makes the building look less institutional.

Motion by: *Edward Jones*

"I move that the Special Sign Permit and Sign Permits for the property located in the BID, specific to the proposed signage for "Tompkins" and the "oak leaf logo" at 113-119 East Main Street, as presented to the City of Batavia Planning & Development Committee on December 16, 2014 be approved with no conditions."

Seconded by: *Duane Preston*

Votes in favor: 4 (Edward Jones, Alfred McGinnis, Duane Preston, Jeffrey Scott)

Votes opposed: 0

Votes abstained: 0

Result: Application approved.

- E. Installation of a parking lot in the front yard of this church property

Address: 438 Vine Street
Applicant: Robert Greathouse (Trustee for Grace Baptist Church)
Actions: 1. Review of application
2. Public hearing
3. Discussion and recommendation to the ZBA

1. Review of Application

Mr. Jones read the summary of the proposal. He explained that it is the PDC's role to review the application and make recommendations to the ZBA. Robert Greathouse, Trustee for Grace Baptist Church, said that because of growing attendance, two years ago the church began holding a double service. They completed a \$1.8 million expansion to their facility which included an expansion to the east side parking lot. However, Mr. Greathouse said that the attendance has increased to the point where the street parking extends all the way down Vine Street to Evergreen Drive. He said that though they have received no complaints, they are sensitive to the issue of parking in front of their neighbors' homes, as well as, members walking a distance to the facility. According to Mr. Greathouse, they started to use the piece of property they had purchased for overflow parking, but were told that they could be in violation of city code because it is not a suitable parking surface. He said that they applied for, and added, an extension to the east (rear of property); however, they are still in need of more parking for the overflow. He said that they do not require an entrance or an exit, just more space for parking. Mr. McGinnis asked how the neighbor feels about having a parking lot in his backyard and Mr. Greathouse replied that he has not heard any negative comments. Mr. Jones asked about paving. Mr. Greathouse responded that the intent at the moment is to make the space surface suitable for overflow parking only. He said that if the board required paving, the church would need to raise additional funds to complete the project. Mr. McGinnis asked if the rest of their parking is paved and Mr. Greathouse answered that it is. Mr. Preston asked about lighting and Mr. Greathouse said that there will be no additional lights.

Mr. Preston asked about drainage being gravity fed. Mr. Randall explained that the engineer designed the lot to sheet flow towards Vine Street. He said that at the bottom of the parking area there is what appears to be a small berm with plants and stone. According to Mr. Randall, the drainage will be caught in the area and then held for a moment until it absorbs into the soil. He said that the water will be directed toward Vine Street and drained away from the neighboring parcels. Mr. Greathouse pointed out that currently there are trees and shrubs along the north edge. Mr. Greathouse indicated on the drawings where trees and shrubs are already located on the north side. He said that they would add trees and shrubs along the southern edge. Looking at the drawings, Mr. Jones asked about what is indicated on the west side by Vine Street. Mr. Randall answered that it is a stone berm that will have

plantings on the top. Mr. Randall said that it is cupped so that it will hold water until it absorbs into the soil.

Mr. McGinnis asked about the feature at the north end. Mr. Greathouse said that it was an old stone driveway. At one time there was a house located there and it was the driveway that belonged to the house, but Mr. Greathouse said that it is not their intent to use it. Mr. Randall said that the area has filled in with grass. Mr. McGinnis commented on requiring paving and Mr. Jones said that the board could recommend it to the ZBA. Mr. McGinnis added that he would not like the idea of having a parking lot in his back yard. Mr. Randall referred the board to the plans and pointed out that the engineer intended for the lot to be paved.

2. Public Hearing

Mr. Jones opened the public hearing at 6:34 pm. Mr. Jones stated that the PDC would make recommendations to the ZBA but that the ZBA would have the final word on the proposal. Mrs. White owns the property at 8 Northern Boulevard. She said that their property abuts the Church's current parking lot. She told the board that she would like to see a site plan for the proposal and to ask about snow removal. She said that they had a problem previously with the snow removal contractor pushing snow into their back yard. She said that the problem was corrected but that she would like to know what is going to happen when there are more parking spaces.

Mr. Jones invited Mrs. White to approach the board to look at the plans. He pointed out on the drawings where the existing parking lot is located and where the proposed parking lot will be located. He indicated to her where the berm would be and where the landscaping would go, and how the drainage would work. The Whites expressed concerns about snow removal. Mr. Randall said that it is his understanding that the reason for 26' between the bottom part of the proposed lot and the berm is so the snow removal contractor can push the snow from east to west. Mr. Greathouse said that they were sensitive to the needs of the neighbors and redesigned the parking areas so that drainage will not run off onto their properties.

Meg Chilano reported that the Inspection office had received a phone call from the resident of 3 Evergreen Drive. She informed the board that the resident had questions about the drainage but was not averse to the proposal. She said that the resident commented that the Church is a good neighbor. Mr. Jones made a motion to close the public hearing at 6:40. Jeffrey Scott seconded. All voted in favor.

3. Discussion and Action by the Board

Mr. Jones said that perhaps drainage needed to be considered further and that a snow removal plan would be necessary. Mr. McGinnis said that a snow removal plan could include trucking the snow away and Mr. Greathouse responded that they have done that before. Mr. Jones said that paving should also be recommended because the parking lot will abut three

residential properties. Mr. Greathouse said that they first had to get approval from the neighbors and the City, and then they could go to the members for funding.

Motion by: *Edward Jones*

“I make a motion to recommend approval by the Zoning Board of Appeals with three conditions: the site is paved within 12 months; the application includes a formal snow management plan; and, some engineering controls to pick up drainage on both sides of the parking lot.”

Seconded by: *Duane Preston*

Votes in favor: 4 (Edward Jones, Alfred McGinnis, Duane Preston, Jeffrey Scott)

Votes opposed: 0

Votes abstained: 0

Result: Recommendation to the ZBA.

- F. Removal of an existing free standing sign structure and placement of a new 20' tall by 9' wide, 92 sq.' free standing sign structure in the same approximate location. The proposed sign will contain a digital reader board that will not be illuminated by or contain flashing, intermittent, rotating or moving lights except to show time and temperature

Address: *211 West Main Street*

Applicant: *Jamie Rawleigh (sign contractor)*

- Actions:
1. Review of application
 2. Public hearing
 3. Discussion and action by the board

1. Review of Application

Mr. Jones read the summary of the proposal. He reported that the Genesee County Planning Board recommended approval. Jeremy Lyles, owner of Oliver's Candies, spoke about the project. He explained that the sign is the same size as the previous sign. He said that the only difference is that the posts that hold up the sign are set farther apart because they will be positioned on the outside of the sign rather than the inside as previously. According to Mr. Lyles, the current sign is actually comprised of two signs taken from the front of the building and positioned back-to-back. The new sign is just one sign. Mr. Randall pointed out that there was some confusion about the sign based on some erroneous reporting by the newspaper which had indicated that the sign would flash intermittently. Mr. Lyles said that the sign will basically be the same as the current one except that the white part where the lettering goes will be a color LED board. Mr. Lyles acknowledged that he understood the rules about digital signs and said that the board will not flash or change more than once in a 24 hour period. He said that though the sign is capable of full video mode, he understands the City's stipulations about moving signs and will not utilize the sign's capabilities. According to Mr. Lyles, the new sign will provide ease of change and safety. Rather than

risk climbing a ladder to change the sign manually, it can now be changed from the office. He said that the current sign is in bad shape and is not energy efficient like the proposed sign with its new bulbs. He stated that the sign is part of Batavia's history, as well as Oliver's history and that it would not be discarded but rather stored in a barn until a purpose for it could be determined.

Mr. Jones asked for a more complete description of the LED part of the sign and Mr. Lyles explained that it is basically like the Dunkin Donuts sign except rather than the red color, this sign is full color. Mr. Jones asked if the sign would have just words and Mr. Lyles responded that there could possibly be an image along with the words. He referred the board to the photos accompanying the application and said that they have been working on the sign for about two years. According to Mr. Lyles, they took great care with the design because they expected some opposition to changing it from the public. Mr. Jones said that his concern about the sign is the possibility for creating driver distraction at the busy intersection. Mr. Lyles pointed out that there will be no motion in this sign.

2. Public Hearing

Mr. Jones opened the public hearing at 6:55 pm. There were no calls or correspondence and no one came to speak about the project. Mr. Jones moved to close the public hearing at 6:57. Mr. Scott seconded. All voted in favor.

3. Discussion and Action by the Board

Mr. McGinnis said that he thinks the sign is beautiful and Mr. Preston and Mr. Scott agreed. Mr. Scott added that though the previous sign is an icon, it is old and its usefulness has come to an end. Mr. Jones expressed concern about the video display but Mr. McGinnis pointed out that it is a static display and Mr. Scott said it is no different from putting up a poster.

Motion by: *Jeffrey Scott*

"I move that the Special Sign Permit for 211 West Main Street, Oliver's Candies, for the removal of the existing sign and installation of the replacement sign, to contain a digital reader board not to be illuminated by or containing flashing intermittent, rotating or moving lights except to show time and temperature, as presented to the City of Batavia Planning & Development Committee on December 16, 2014 be approved."

Seconded by: *Duane Preston*

Votes in favor: 4 (Edward Jones, Alfred McGinnis, Duane Preston, Jeffrey Scott)

Votes opposed: 0

Votes abstained: 0

Result: Application approved.

- G. Construction of a 4,682 sq.' two story addition to an existing two story commercial building. Reduce the required side and rear yard setbacks and change the number of parking spaces required from 19.5 to 16.

Address: 438 East Main Street

Applicant: D.A. Tufts, (agent for the owner)

Actions: 1. Review of application
2. Site Plan Review
3. Public hearing
4. Discussion and action by the board
5. Recommendation to the ZBA regarding parking variance and rear yard setback

1. Review of Application

Mr. Jones read the summary of the proposal. Dave Tufts was present to speak about the project. Mr. Tufts is purchasing the property and in order to make it financially viable, he said that some modifications need to be made. He said that they considered what the City needs at the moment and they believe that there is a need for higher end apartments. His intention for the building is to create two large apartments. Each apartment would be approximately 1,300 sq.' and have separate stairways and separate entrances.

Mr. Tufts said that they want the building to have office space but there is only enough parking for general offices. Medical offices require a greater density of parking spaces. Mr. Tufts said that they want to be open to a wider market and not have to exclude medical offices.

2. Site Plan Review

Mr. Jones asked if there is enough room for tenants pulling into their garages when they turn in from Harvester Avenue and Mr. Tufts said that there is. He said that while not spacious, there is adequate space for turning radius. Even if the parking lot is full, Mr. Tufts said that the tenants will still be able to get into their garages. Mr. Jones asked about the location of the stockade fence and Mr. Tufts replied that currently the fence runs along the south and west sides by the parking area and stops when it reaches the building. He said that the fence will remain.

Mr. Tufts informed the board that there are a number of obstacles to the project. One impediment is the National Grid service line that bisects the property. When asked to provide the easement, National Grid said that they could not find it. Mr. Tufts said that they have met with the National Grid planners and that National Grid will have to relocate the line around the property and create a new easement for them to set the pole. According to Mr. Tufts, in order to service the building, National Grid has to eliminate the existent old style service and install new service which would be located at the southwest end of the garage.

The line will go across the dumpster already located in the parking area. Mr. Tufts said that there is ongoing discussion about the possibility of trucks hitting the line when they empty the dumpster and the possible need for a different system of trash removal.

Mr. Jones asked about parking on Main Street. Mr. Tufts answered that though it is not shown on the drawing, there is parking on Main Street. He showed the board photos of the parking spaces taken at various times throughout the day in order to show that the spaces are seldom used. Mr. Jones pointed out that all parking does not have to be on site and the street parking helps support the parking variance.

Mr. McGinnis asked if Mr. Tufts saw a need for high end apartments and he responded that some high end apartments have been recently constructed in Batavia and some of them were leased before they were even completed. He said also that there are some similar apartments on Clinton Street and there is a waiting list for them. Mr. Tufts said that the apartments have desirable amenities such as walk-in closets, open floor plan, washer and dryer, and a garage. He said that if the number of available apartments was larger there might be cause for concern, but he does not think they will have a problem finding tenants for two apartments.

Mr. Jones asked about paving and Mr. Tufts replied that the parking lot is asphalt. Mr. Jones reported that the Genesee County Planning Board recommended approval with modifications. The board recommended gutters and other modifications necessary to divert water runoff from the roof away from the neighboring properties. Mr. Randall pointed out that putting gutters on a building is a fairly standard recommendation from the board. Mr. Tufts said there would be a drainage control system but it might not necessarily be gutters.

3. Public Hearing

Mr. Jones opened the public hearing at 7:21 pm. Julie Pacatte spoke in support of the project. She stated that the property is within the Batavia Opportunity Area (BOA), a 366-acre area in the central corridor of the City. She explained that this area has been identified as having the potential to make a positive impact on the rest of the community if it can draw investors in. According to Ms. Pacatte, investment in this corner can tip the scales in favor of development of the area which she said she sees as a kind of gateway to opportunity. She pointed out that the Habitat for Humanity has improved two houses in the area.

Ms. Pacatte said that the need for higher end housing has been demonstrated through the neighborhood revitalization program downtown. She said the three of the apartments were leased prior to construction, one was leased within a month after construction, and the final apartment was leased four months after construction. Ms. Pacatte stated that the apartments are at the top of the rental market and all have the amenities that Mr. Tufts spoke of. She pointed out that Mr. Tufts' apartments are larger and would be at the high end of an unproven market, thus demonstrating his willingness to take a risk on the investment. She said that the property is currently assessed at \$140,000 and that she expects the value to at least double, increasing the property value and raising the tax base in the City. Ms. Pacatte said that the

parking variance to allow for possible medical office space is a good idea because the BOA study indicates a demand for medical office space. She finished by saying that based on the BOA study, Mr. Tufts proposal fits in with community improvement plans and BOA plans.

Mr. Jones read the letter from Dr. Fred Powell, 436 Main Street, in which he indicated that he is in favor of the proposal. Mr. Jones moved to close the public hearing at 7:30 pm. Mr. Scott seconded. All voted in favor.

4. Discussion and Action by the Board

Mr. Jones said that his concerns about paving and drainage had been addressed, and that he wanted to emphasize that other properties in the neighborhood had similar setbacks and though it is not shown on the plan, there is existent off-street parking on Main Street.

Motion by: *Edward Jones*

“I move that the site plan for the two story, 4,682 square foot addition and renovation for the commercial building at 438 East Main Street as presented to the City of Batavia Planning & Development Committee on December 16, 2014 be approved.”

Seconded by: *Jeffrey Scott*

Votes in favor: 4 (Edward Jones, Alfred McGinnis, Duane Preston, Jeffrey Scott)

Votes opposed: 0

Votes abstained: 0

Result: Site Plan approved.

5. Recommendation to ZBA

Motion by: *Edward Jones*

“I move that the ZBA approve the lot setback and the parking variance.”

Seconded by: *Jeffrey Scott*

Votes in favor: 4 (Edward Jones, Alfred McGinnis, Duane Preston, Jeffrey Scott)

Votes opposed: 0

Votes abstained: 0

Result: Recommendations to ZBA.

V. Setting of Next Meeting: January 20, 2015

VI. Adjournment

Mr. Jones made a motion to close the meeting at 7:35 pm. Mr. Preston seconded. All voted in favor.

Respectfully submitted,

Meg Chilano

DESCRIPTION

DOUBLE SIDED PYLON SIGN WITH ILLUMINATED SIGN CABINET AND D/S ELECTRONIC MESSAGE CENTER 41" x 87" FULL COLOR MESSAGE CENTER.

COLORS:

POST/CABINET: BROWN - PMS COLOR TBD
OVAL SIGN: BROWN-PMS COLOR TBD
NEON: RED
BULBS: WHITE

QTY = 1

SQ FT = 91.44



YOUR CHOCOLATE GIFT STORE
ICE CREAM CARAMELS TRUFFLES



www.oliverscandies.com

HYPER-ILLUMINATED CABINET WITH VIBRATING BULBS, DIGITAL PRINT, GRAPHICS AND RED NEON

DIGITAL PRINT, GRAPHICS AND RED NEON

LIGHT BULB

ROUTED COPY WITH ACRYLIC BACKER

RED NEON

D/S ILLUM SIGN CABINET WITH ROUTED COPY AND LIGHT BULBS

D/S FULL COLOR EMC

CLADDING

I have carefully reviewed and accept the design as shown. I realize that any designs made before production may alter the price. All changes must be made and approved by both parties prior to production.

Signature _____

Date _____

THE CUSTOM ARTWORK DEPICTED HEREIN IS FOR REPRESENTATIONAL PURPOSES ONLY AND MAY NOT EXACTLY MATCH THE COLORS OF THE MATERIALS PROPOSED.

ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC SUPPLIED BY CUSTOMER UNLESS OTHERWISE STATED.

ALL ELECTRICAL SIGNS MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH ARTICLE 600 NEC

PRODUCTION READY ART WORK ☐ YES ☐ NO

REVISIONS

DATE	DESCRIPTION	WKT
09/29/14	EXTEND CLADDINGS	
10/17/14	CHANGE SIZE OF POSTS AND SIGN CABINETS	
10/29/14	REV6 CHANGE SIDE VIEW COLOR - MESSAGE CENTER	



PREMIER SIGN SYSTEMS, LLC
A FULL SERVICE SIGN & AWNING COMPANY
10 Excel Drive Rochester, NY 14621
P: 585-235-0390 F: 585-235-0392

www.premiersignsystems.com

This is an original unpublished drawing created by Premier Sign & Awning Systems Corp. It is submitted for your personal use in connection with a project being prepared for you by Premier Sign & Awning Systems Corp. It is not to be shown to any outside your organization, nor is it to be reproduced, or exhibited in any fashion.

TITLE _____

CUSTOMER _____

LOCATION _____

SALESMAN _____

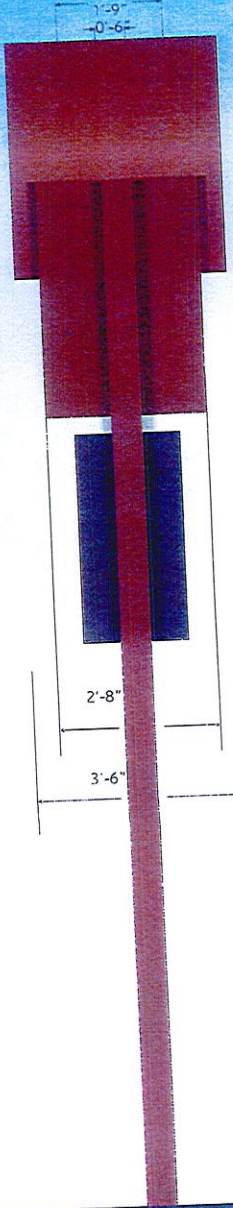
DESIGNER (INIT) _____ REVISION # _____

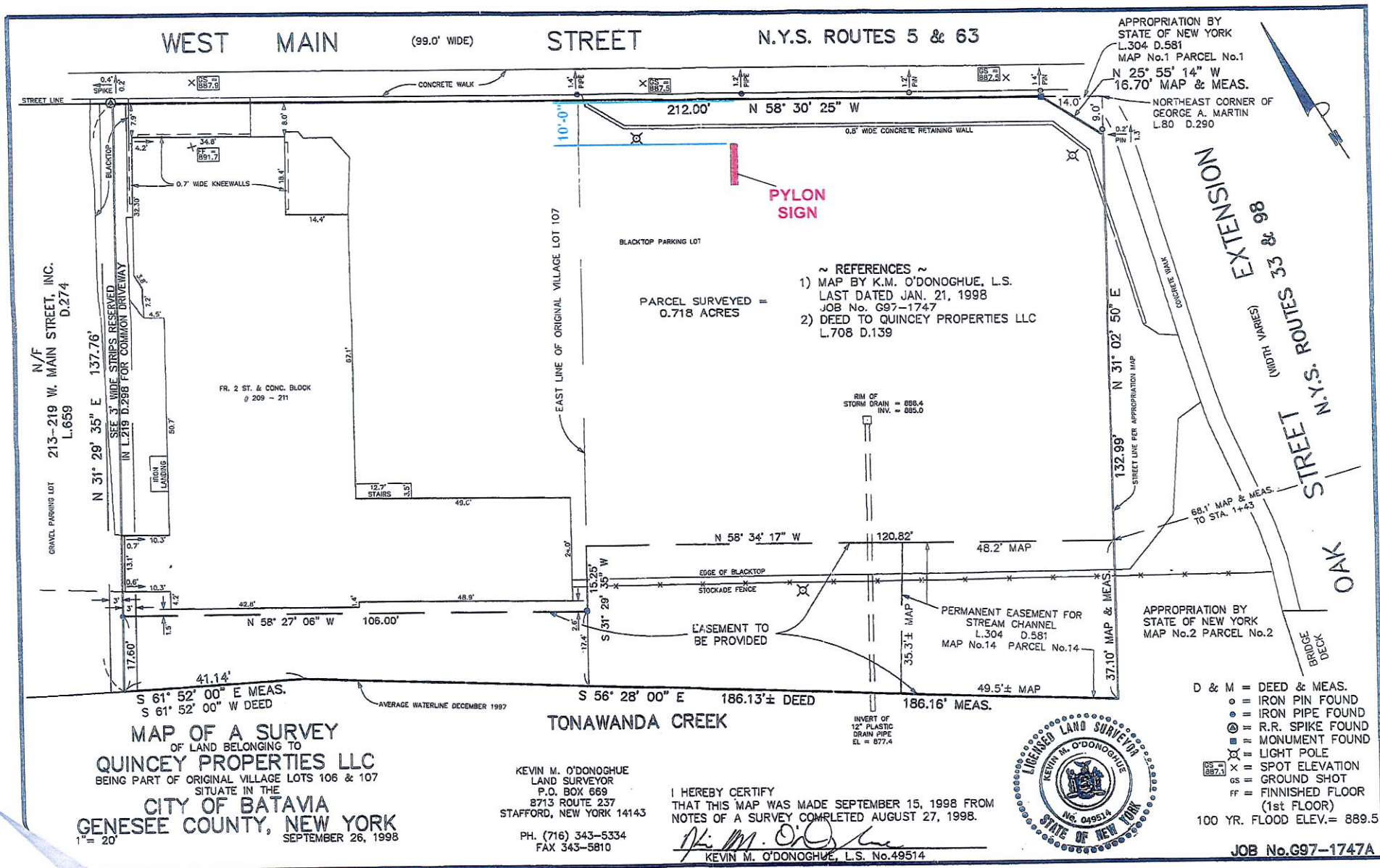
DATE PREPARED _____

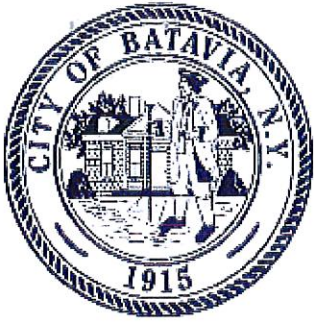
SCALE _____

DRAWING NUMBER _____ PAGE NUMBER _____

SIDE VIEW







City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 10/30/15

Re: 401-409 West Main St.
Tax Parcel No. 84.006-1-4

Zoning Use District: C-2

NOTE: This project was previously reviewed and subsequently changed to incorporate some design features recommended by the reviewing bodies. A new site plan has been provide and the applicant is requesting this new submittal be reviewed.

The applicant, Kip Finley (agent for the owner), has filed applications for; minor subdivision, site plan review, special use permit for drive-in restaurant, area variances and special sign permits. He is proposing to subdivide this existing parcel into two separate parcels and construct an approximately 2,170 sq.' Dunkin Donuts restaurant with a drive-through window on the newly created parcel.

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of a state road or highway.

City Planning and Development Committee-

- 1) **Minor Subdivision-** Pursuant to BMC section 162-2 and 162-4 the PDC shall approve plot plans prior to being recorded with Genesee County.
162-40 Minor subdivisions are to be processed in the same manner as Major Subdivisions with the exceptions of A-F of this section.
- 2) **Site Plan Review-** Pursuant to BMC section 190-44 C. (1)(a) and (c) the Planning and Development Committee shall review and approve site plans in compliance with this section.
- 3) **Special Use Permit-** Pursuant to BMC section 190-37, the PDC shall review and authorize Special Use Permits prior to issuance.
190-37 E. Special use permits may be issued for Drive-in restaurants provided compliance with 190-37 E (1, 2, 3, 4, 8, 12, and 13) and 190-37 K (1- 14) is followed.

- 4) **Special Sign Permits-** Pursuant to BMC section 190-43 R, the PDC shall approve or deny Special Sign Permits.

190-43 F and Exhibit A. The number, size and location of signs proposed exceeds the requirements of this section. Three (3) Special Sign Permits are required.

1) One wall sign facing a street frontage is permitted. A Special sign permit is required for the wall sign on the east elevation.

2) One free standing sign, less than 40 sq.' in area is permitted. The Dunkin pylon sign in the north yard is 80 sq.' in area.

- Free standing signs are to be located at least 5' from property lines. The Dunkin pylon sign is setback from the north property line 2'.

3) Only one free standing sign is permitted per parcel. The menu board sign located to the rear of the building requires a Special Sign Permit.

- 5) **Variance Referral-** Pursuant to BMC section 190-49 C., the PDC shall review all applications that involve parking variances and make recommendations to the ZBA.

Zoning Board of Appeals- Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) BMC 190-37 E (3) Driveways for drive-in restaurants are not permitted to be closer than 20' from side lot lines. The proposed West Main Street curb cuts, west side of parcel ingress and east side exit, driveways cross the proposed side lot lines at the street, and are on the line for the majority of the driveways length.
- 2) BMC 190-37 E (8) Parking is required at the rate of 4 spaces for each 100 sq.' of principal building space of drive-in restaurants. 88 spaces are required, 30 spaces are proposed on this parcel, difference of 58 spaces.
- 3) BMC 190-37 E. (2)(b) and 190-29 A and Schedule I The front yard clear space shall be a minimum of 25'. 12' is proposed for a difference of 13'.
- 4) BMC 190-37 E. (2)(d) and 190-29 A and Schedule I The maximum permitted height for a drive-in restaurant is 18'. 25.29' is proposed for a difference of 7.29'.
- 5) BMC 190-37 E. (3) Driveways for drive-in restaurants may not be less than 20' in width. 14' is proposed at the West Main Street exit (northeast corner of parcel). Difference of 6'.

The Planning and Development Committee will be the lead agency to conduct SEQR.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 344-2580 Ext. 5467

DEPARTMENT USE ONLY:

GCDP Referral # _____



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

Required According to:

GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N

(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATIONBoard(s) Planning and Development CommitteeAddress One Batavia City CentreCity, State, Zip Batavia, NY 14020Phone (585) 345 - 6347 Ext. _____**2. APPLICANT INFORMATION**Name Kip Finley (Indus Group)Address 1080 Pittsford Victor Rd.City, State, Zip Pittsford, NY 14534Phone (585) 451 - 6538 Ext. _____ Email _____MUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia**3. TYPE OF REFERRAL:** (Check all applicable items)

- ☒ Area Variance
☐ Use Variance
☒ Special Use Permit
☒ Site Plan Review

- ☐ Zoning Map Change
☐ Zoning Text Amendments
☐ Comprehensive Plan/Update
☒ Other: Special Sign Permit

- Subdivision Proposal
☐ Preliminary
☒ Final

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:A. Full Address 401-409 West Main St.B. Nearest intersecting road RiverC. Tax Map Parcel Number 84.006-1-4

D. Total area of the property _____ Area of property to be disturbed _____

E. Present zoning district(s) C-2**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☐ NO ☒ YES If yes, give date and action taken 6/12/14 No action; 9/11/14 No action; 8/13/15 Disapproval

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

BMC 190-37 E; 190-37K; 190-37 E(3); 190-37 E(8); 190-37 E(2)(b), 190-29A; 190-37E(2)(d), 190-29A; 190-37E(3)

C. Please describe the nature of this request Minor subdivision, site plan review, special use permit for drive-in rest.,
Special sign permits and area variances for subdivision of existing parcel with development of the newly created
parcel to a 2,170 sq.' Dunkin Donuts drive-in restaurant.

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

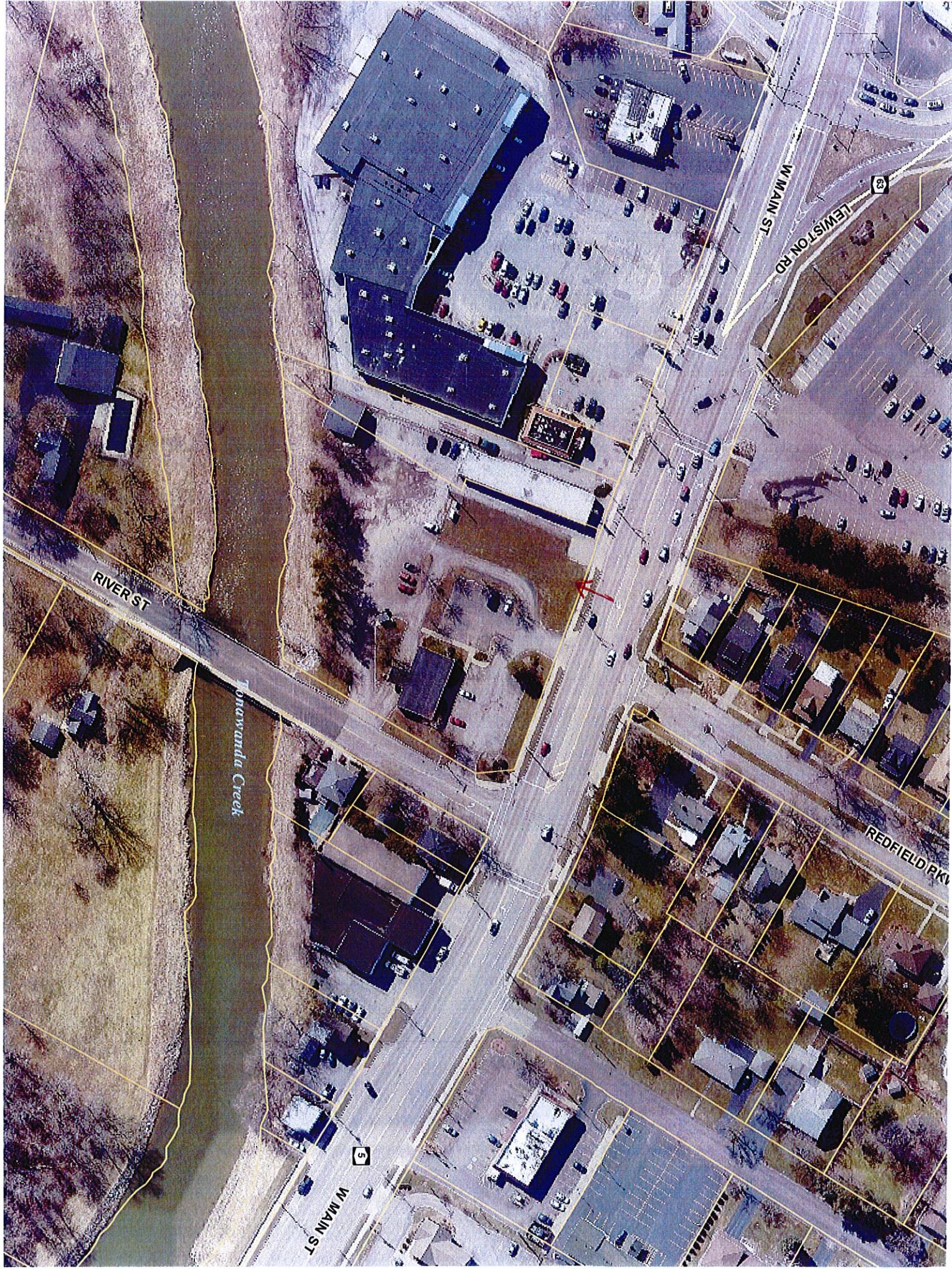
- ☒ Local application
☒ Site plan
☒ Subdivision plot plans
☒ SEQR forms

- ☐ Zoning text/map amendments
☐ Location map or tax maps
☒ Elevation drawings
☐ Agricultural data statement

- ☐ New or updated comprehensive plan
☒ Photos
☐ Other: Cover letter

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.

Email to planning@co.genesee.ny.us**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drrandall@batavianewyork.com



CITY OF BATAVIA

BUILDING PERMIT APPLICATION

DATE: 06/25/2015APPLICANT NAME & PHONE: Indus Group (Contact Person: Kip Finley 585-451-6538)Project Location and Information

Permit #: _____ Fee: _____

Address of Project: 401-409 West Main StreetOwner & Address: Five Star Bank 401-409 West Main Street Batavia NY 14020Phone: Refer To Owner Authorization AttachedProject Type/Describe Work

Estimated cost of work: _____

Start date: Fall 2015Describe project: Subdividing of Land w/ Subsequent Development of Another 2,170
Square Foot Quick Service Restaurant w/ Drive Through Building To Be
Wood FrameContractor Information – Insurance certificates (liability & workers comp) required to be on fileGENERALName/Address: Indus Group 1080 Pittsford Victor Road, Suite 201Phone: 585-248-2440 Pittsford, New York 14534PLUMBING (City of Batavia Licensed Plumber Required)Name/Address: To Be Determined

Phone: _____

HEATINGName/Address: To Be Determined

Phone: _____

ELECTRICAL (Third Party Electrical Inspection Required)Name/Address: To Be Determined

Phone: _____

FOR OFFICE USE ONLY

Zoning District: _____ Flood Zone: _____ Corner Lot: _____ Historic District/Landmark: _____

Zoning Review: _____ Variance Required: _____ Site Plan Review: _____ Other: _____

National Grid Sign Off (Pools): _____ Lot Size: _____

Existing Use: _____ NYS Building Code Occupancy Class: _____

Proposed Use: _____ NYS Building Code Occupancy Class: _____

REQUIRED INSPECTIONS

Contact the Bureau of Inspection at (585) 345-6345 twenty-four (24) hours in advance to schedule all inspections.

IT IS THE RESPONSIBILITY OF THE OWNER AND/OR AGENT TO CONTACT THIS OFFICE & BE PRESENT FOR ALL INSPECTIONS

☐ Site ☐ Water Service ☐ Sewer Service
☐ Footing before Placing Concrete ☐ Smoke & Carbon Monoxide Detectors
☐ Foundation before backfill
☐ Framing before enclosing (After mechanical inspection)
☐ Electrical before enclosing (Third Party Electrical Inspection Agency)
☐ Plumbing before enclosing (City of Batavia Licensed Plumber Required)
☐ Insulation before enclosing ☐ Ice/Water Shield ☐ Final Completion

In consideration of the granting of the permit hereby petitioned for, the undersigned hereby agrees to: 1) comply with the terms thereof, the laws of the State of New York, the Ordinance of the City of Batavia, and the Regulations of the various departments of the County of Genesee and the State of New York; 2) preserve the established building line; 3) request all the necessary inspections and authorize and provide the means of entry to the premises and building to the Bureau of Inspection, and 4) will not use or permit to be used the structure or structures covered by the permit until sanitary facilities are completely furnished and either a Certificate of Occupancy or Certificate of Completion is issued. The undersigned hereby certifies that all of the information in this petition is correct and true.

Kip Kuley
Applicant Signature

6/24/15
Date

N/A
Roofing Disclaimer - Per the Residential & Building Code of New York State

R907.3 Recovering versus Replacement

New roof coverings shall not be installed without first removing existing roof coverings where any of the following conditions occur:

1. Where the existing roof or roof coverings is water-soaked or has deteriorated to the point that the existing roof or roof covering is not adequate as a base for additional roofing.
2. Where the existing roof covering is wood shake, slate, clay, cement or asbestos-cement tile.
3. Where the existing roof has two or more applications of any type of roof covering.

Exceptions:

1. Complete and separate roofing systems, such as standing-seam metal roof systems, that are designed to transmit the roof loads directly to the building's structural system and that do not rely on existing roofs and roof coverings for support shall not require the removal of existing roof coverings.
2. Metal panel, metal shingle, and concrete and clay tile roof coverings shall be permitted to be installed over existing wood shake roofs when applied in accordance with Section R907.4.

I, _____ owner and/or agency of the property located at _____ for Building Permit No. _____ have reviewed and understand the requirements of Section 907.3 Recovering versus Replacement.

Applicant Signature

Date

N/A
Fence Disclaimer

I understand Section 190-33.B Fences, Walls and Hedges of the City of Batavia Zoning Ordinance regulated the installation of fences as follows:

"Fences, hedges and walls in Residential Districts shall not exceed three (3) feet above ground level when located within fifteen (15) feet of the property line abutting any street and shall not exceed six (6) feet above ground level when located elsewhere on the property. However, there shall be no height limit for hedges in rear yards within residential zones. In commercial and Industrial Districts, fences, hedges, and walls shall not exceed eight (8) feet in height unless permitted by a special use permit from the Planning & Development Committee. A fence designed to be structurally supported by posts, cross members or rails on one (1) side only shall be erected with the posts, cross members or rails on the fence owner's side, and the finished side of the fence shall face adjacent properties."

I, _____ owner and/or agent of the property located at _____ for Permit No. _____ understand that this permit is issued based on information supplied by owner/agent and that the City of Batavia accepts no responsibility for inaccurate documentation or information supplied to secure the permit.

Applicant Signature

Date


SCHEDULE "B"

FORM OF PROPERTY OWNER AUTHORIZATION

STATE OF NEW YORK)
COUNTY OF MONROE) ss:

The undersigned certifies that it is the sole owner of the property at 401-409 West Main Street, Tax Account No. 084.005-2-7.001 in the City of Batavia, Genesee County, New York, being the subject of the Purchase Contract ("Contract") dated January 9, 2014 between Five Star Bank ("Seller"), and Goonjit Mehta, as agent for an existing entity or to be formed ("Buyer"). We hereby authorize the Buyer, and its agents, contractors, engineers, architects, counsel, consultants and/or employees, to apply on our behalf to all relevant governmental or other entities for any licenses, permits, certifications and/or approvals associated with Buyer's commercial development of and use of the portion of the property subject to such Contract, including but not limited to, any subdivision approval and/or rezoning.

FIVE STAR BANK

By: 
Name: R. H. McLaughlin
Title: EVP & CO

Sworn and subscribed before me this
13 day of January, 2014.


Notary Public

Lindsey R. Rutherford
Notary Public, State of New York
No. 01RU0252987
Qualified in Wyoming County
My Commission Expires
December 19, 2015

brlus.3193.010(clean)

Application No.: _____

Date: _____



MINOR SUBDIVISION APPLICATION

CITY OF BATAVIA

10 West Main Street, Batavia, NY 14020
Phone: (716) 343-8180 • Fax (716) 343-9221

ADDRESS OF SUBDIVISION 401-409 West Main Street

OWNER: Five Star Bank
Name E-mail Address
401-409 West Main Street
Street Address Phone Fax
Batavia, NY 14020
City, State, Zip Code

SIGNATURE (Refer To Property Owner Authorization Letter Attached)

FEES: \$50 Residential Subdivision

☒ \$100 Non-Residential Subdivision

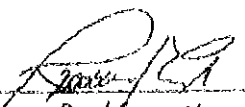
SCHEDULE "B"

FORM OF PROPERTY OWNER AUTHORIZATION

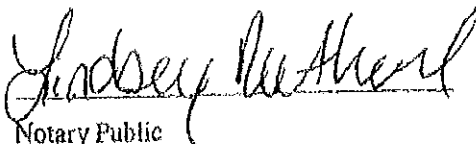
STATE OF NEW YORK)
COUNTY OF MONROE) ss:

The undersigned certifies that it is the sole owner of the property at 401 409 West Main Street, Tax Account No. 084.005-2-7.001 in the City of Batavia, Genesee County, New York, being the subject of the Purchase Contract ("Contract") dated January 9, 2014 between Five Star Bank ("Seller"), and Goonjit Mehta, as agent for an existing entity or to be formed ("Buyer"). We hereby authorize the Buyer, and its agents, contractors, engineers, architects, counsel, consultants and/or employees, to apply on our behalf to all relevant governmental or other entities for any licenses, permits, certifications and/or approvals associated with Buyer's commercial development of and use of the portion of the property subject to such Contract, including but not limited to, any subdivision approval and/or rezoning.

FIVESTAR BANK

By: 
Name: R. H. McLaughlin
Title: VP & CO

Sworn and subscribed before me this
13 day of January, 2014.


Notary Public

bajoc.1191.010(clean)

Lindsey R Rutherford
Notary Public, State of New York
No. 01RU0262067
Qualified in Wyoming County
My Commission Expires
December 19, 2015



CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.: _____
Hearing Date/Time: _____

APPLICANT: Inclus Group (Contact Person: Kip Finley) KFinley@inclusdevelopment.com
Name E-Mail Address
1080 Pittsford Victor Road 585-451-6538 585-248-3271
Street Address Phone Fax
Pittsford New York 14534
City State Zip

STATUS: ☐ Owner ☒ Agent for Owner ☐ Contractor

OWNER: Five Star Bank
Name E-Mail Address
401-409 West Main Street
Street Address Phone Fax
Batavia New York 14020
City State Zip

LOCATION OF PROPERTY: 401-409 West Main Street

DETAILED DESCRIPTION OF REQUEST: Refer To Attached Description

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Kip Finley
Applicant's Signature Date 6/24/15

(Refer To Property Owners Authorization Letter)
Owner's Signature Date

To be Filled out by Zoning Officer

TAX PARCEL: 84.006-1-4 ZONING DISTRICT: C-2 FLOOD PLAIN: AE

TYPE OF APPEAL: ☒ Area Variance FEE: ☐ \$50 (One or Two Family Use)
☐ Use Variance ☒ \$100 (All other Uses)
☐ Interpretation
☐ Decision of Planning Committee

Provision(s) of the Zoning Ordinance Appealed: BMC 190-37 E(3) and 190-37 E(8)
19037 E.(2)(b) and 190-29 A; 190-37 E.(2)(d) and 190-29 A; 190-37 E(3)

Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.
Refer To Attached Description
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. Refer To Attached Description
3. **Substantiality.** The requested area variance is not substantial. Refer To Attached Description
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.
Refer To Attached Description
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title. Refer To Attached Description

Kip Finley
Applicant's Signature

6/24/15
Date

PERMIT NO. _____



SPECIAL USE PERMIT

CITY OF BATAVIA, NEW YORK

LOCATION: 401-409 West Main St.
OWNER: Five Star Bank
Address: 401-409 West Main St.

Application Date: 6/25/15
Tax Parcel No.: 084.05-2-7.1
Phone No. _____

X COUNTY PLANNING REVIEW

X ZONING VARIANCE REQUIRED

C-2 ZONING DISTRICT

No HISTORIC DISTRICT

AE FLOOD ZONE

No HISTORIC LANDMARK

Yes CORNER LOT

No CITY ENGINEER REVIEW

X SITE PLAN REVIEW

No CITY COUNCIL REVIEW

No BID

No OTHER

PROJECT DESCRIPTION:

Subdivision of Land w/ Subsequent Development of An ^{2,170.}~~1,700.~~ Square
Foot Quick Service Restaurant w/ Drive Through Building To Be
Wood Frame.

EXISTING USE: Overflow Parking

PROPOSED USE: "Drive In Restaurant"

N.Y.S. BLDG. CODE OCC. CLASS: _____

N.Y.S. BLDG. CODE OCC. CLASS: _____

(Overall)

LOT SIZE: ± 253' x ± 350'

(Overall)

LOT AREA: ± 1.654 Acres

CITY PLANNING & DEVELOPMENT REVIEW:

___ APPROVAL AS PRESENTED ___ DISAPPROVAL ___ APPROVAL WITH CONDITIONS

CHAIRMAN SIGNATURE: _____ DATE: _____

Applicant Signature

Date

Issuing Officer

Permit Fee: _____

Issue Date: _____

617.20
Appendix B
Short Environmental Assessment Form

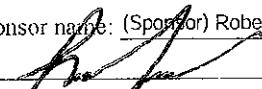
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: City of Batavia Dunkin Donuts			
Project Location (describe, and attach a location map): 401-409 West Main Street (Refer to Site Plans for Location Map)			
Brief Description of Proposed Action: Subdivision of land with subsequent development of an 1,700 ^{2,170} square foot quick service restaurant with drive through. Building to be wood frame.			
Name of Applicant or Sponsor: Indus Group (Contact: Kip Finley)		Telephone: (585) 451-6538 E-Mail: kfinley@indusdevelopment.com	
Address: 1080 Pittsford Victor Road, Suite 201			
City/PO: Pittsford	State: New York	Zip Code: 14534	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Approval From The City of Batavia		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		1.654 acres	
b. Total acreage to be physically disturbed?		0.839 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.0 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: (Sponsor) Robert Fitzgerald, P.E.		Date: June 25, 2015
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.


<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<hr/> <div> <div>Name of Lead Agency</div> <div>Date</div> </div>	
<hr/> <div> <div>Print or Type Name of Responsible Officer in Lead Agency</div> <div>Title of Responsible Officer</div> </div>	
<hr/> <div> <div>Signature of Responsible Officer in Lead Agency</div> <div>Signature of Preparer (if different from Responsible Officer)</div> </div>	

PRINT



City of Batavia

To: City of Batavia Planning and Development Committee

From: Jason Molino, City Manager 

Date: November 3, 2015

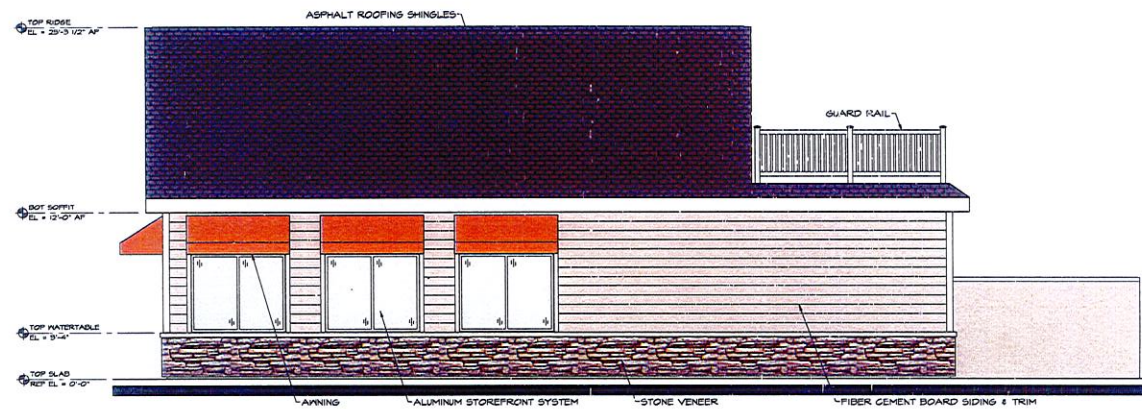
Subject: Batavia Municipal Code: Chapter 162-12

Pursuant to BMC 162-12, the City Manager shall review any proposed preliminary plat with respect to land subdivisions and transmit any findings to the Planning Board for their review.

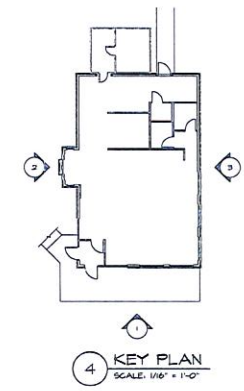
I have received the preliminary site plan drawings for Dunkin Donuts at 401-409 West Main Street, Batavia. Below please find my comments and findings regarding the proposed preliminary plat. It should be noted that this project was previously reviewed and subsequently changed to incorporate some design features recommended by the Planning and Development Committee. A new site plan has been provide and the applicant is requesting this new submittal be reviewed.

1. The traffic study completed by the applicant on December 14, 2014 was submitted to the New York State Department of Transportation for review and comment. The DOT reviewed the proposed plans and study and reported no outstanding issues, aside from reconfiguring the queue on to Route 5 to provide greater onsite storage capacity. The current submission has addressed those concerns.
2. Access easements with both the east and west side property owners have been identified by the applicant. It is recommended that all easements be executed as a condition of a building permit being issued.
3. While there are requests for front yard clear space/set back, parking, driveway widths and building height variances all provide added value to the project by enhancing the curb side ascetic appeal, walkability for patrons and pedestrians and providing greater queue capacity.

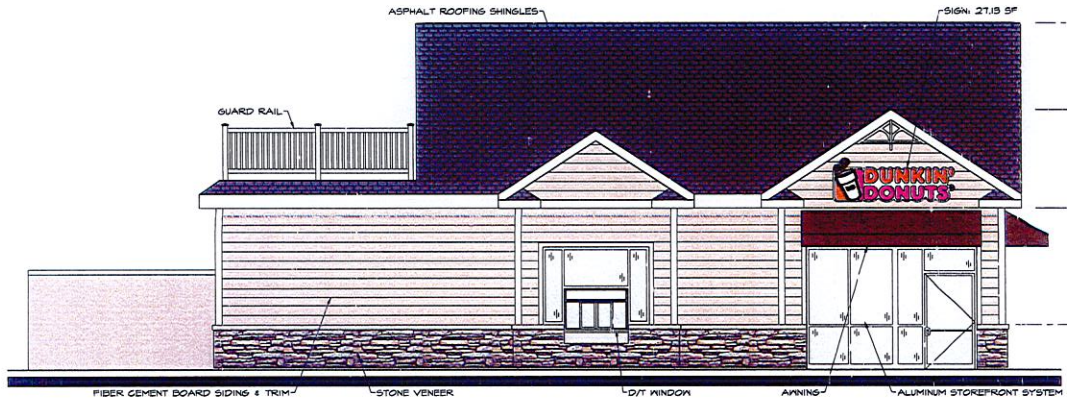
Please feel free to contact me should you need any additional information



3 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



4 KEY PLAN
SCALE: 1/16" = 1'-0"



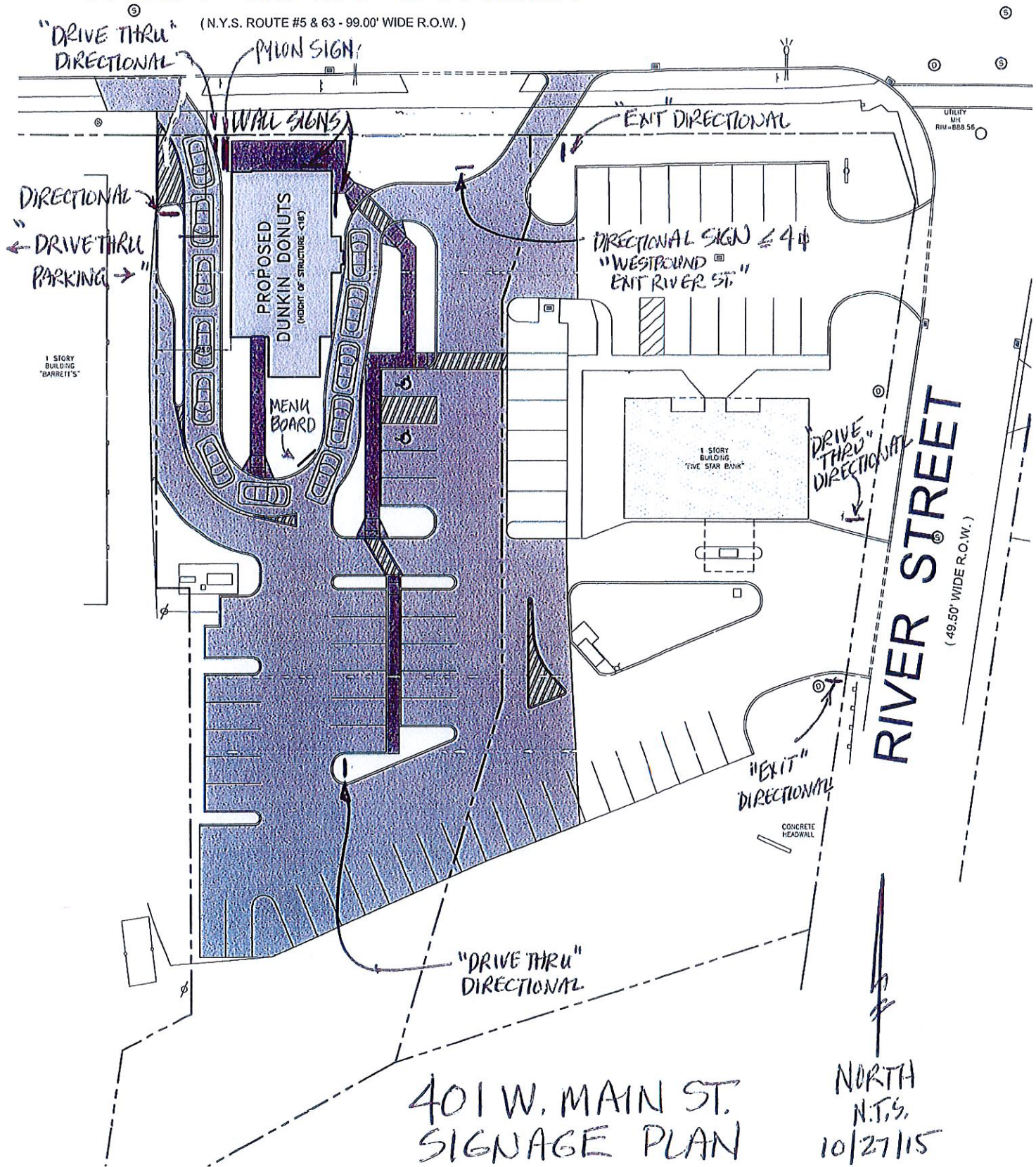
2 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

WEST MAIN STREET

(N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W.)



401 W. MAIN ST.
SIGNAGE PLAN

NORTH
N.T.S.
10/27/15



SIGN PERMIT APPLICATION

CITY OF BATAVIA

10 West Main Street, Batavia, NY, 14020
Phone: (585) 345-6320 • Fax (585) 343-9221

Permit No.: _____

Date: _____

Zone: C-2

Special Sign: Yes

APPLICANT:

Indus Group

kfinley@indushg.com

Name

E-mail Address

1080 Pittsford-Victor Road Suite 201

Street Address

Phone

Fax

Pittsford, NY 14534

585-451-6538

585-248-3271

City, State, Zip Code

OWNER:

Indus Real Estate

Name

E-mail Address

1080 Pittsford-Victor Road Suite 201

Street Address

Phone

Fax

Pittsford, NY 14534

585-451-6538 (KIP)

City, State, Zip Code

ADDRESS OF SIGN: 401 W. MAIN STREET ; PYLON SIGN

SIGN AREA: Length 69 1/8" Width 156 1/8" Area 80 sq ft

TYPE OF SIGN:

1. All sign applications must have an illustration of the sign with its dimensions and copy.
2. Freestanding signs must have a Site Plan to show the sign's location on the property
3. All other signs must include an elevation plan to show the sign's placement on the building

☒ Freestanding:

Set Back 2' to face of Height 22' (pole @ $\pm 9'$ from Row)
Wall Length Sign box Wall Height _____ Area _____

☐ Wall

☐ Projecting

☐ Marquee

☐ Awning/Canopy

☐ Window

☐ Portable

Length _____ Height _____ Area _____
Window Length _____ Window Height _____ Area _____

LIGHTING: ☒ Internal

☐ External

Note: Set back 2' from front prop. line.

EXISTING SIGNS (Please list all existing signs with dimensions):

No existing signage for Dunkin Donuts parcel; subdividing from Five Star Bank parcel.

Applicant's Signature: Kip Finley

Date: 10/27/15

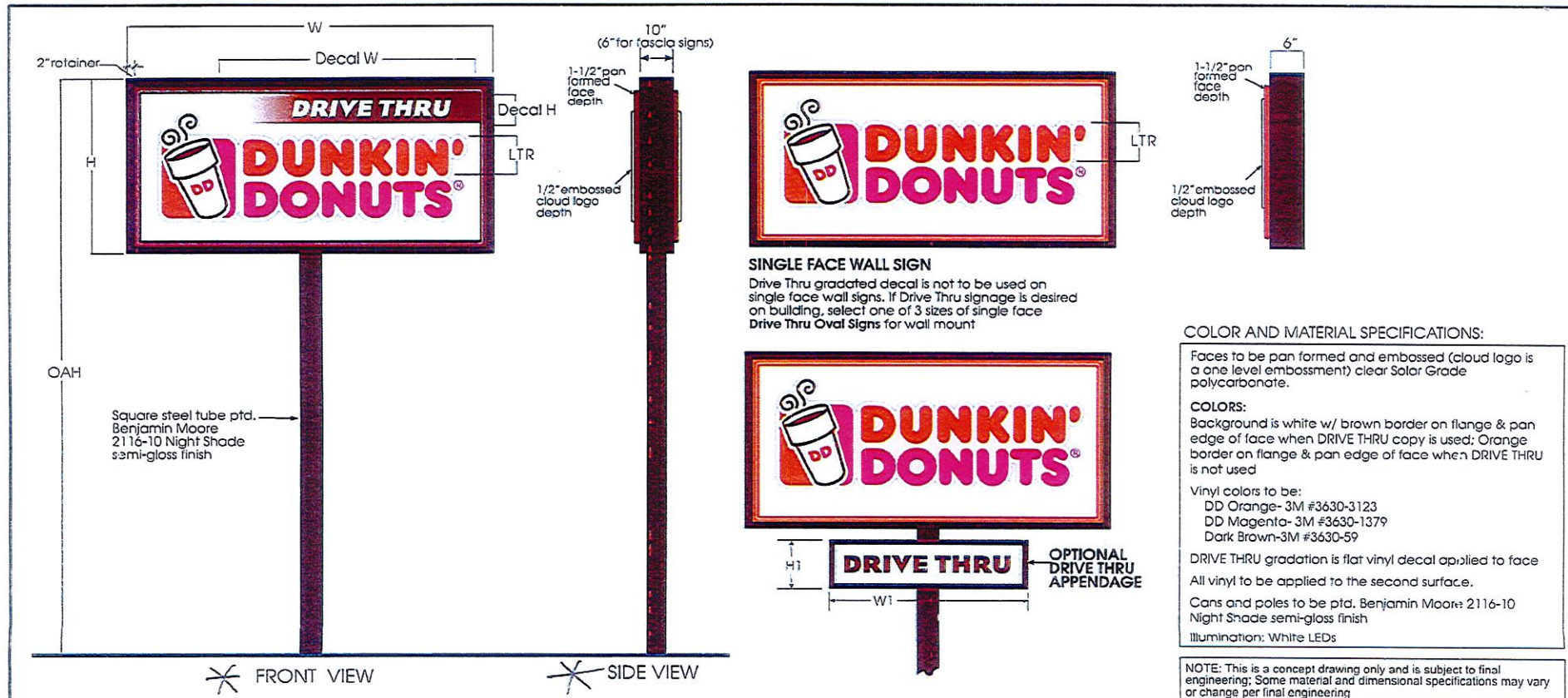
Issuing Officer: _____

Date: _____

Planning Board Chairperson: _____

Date: _____

FEES: \$25 Sign Permit ☒ \$50 Special Sign Permit \$10 Portable Sign



PYLONS & WALL SIGNS:

Nominal Size	Applies to:	H	W	OAH	LTR	Decal W	Decal H	Area (Sq. Ft.)	Illumination
3 x 6	Pylons & Wall Signs	35-3/4"	74-1/2"	13'	8"	49-13/16"	6-7/16"	20	White LEDs
4 x 9	Pylons & Wall Signs	49-11/16"	109-5/8"	15'	12"	74-7/16"	9-1/4"	40	White LEDs
6 x 13	Pylons Only	69-7/8"	156-1/8"	22'	17"	109-15/16"	14-1/2"	80	White LEDs

OPTIONAL DRIVE THRU APPENDAGE:

Nominal Size	H1	W1	Area (Sq. Ft.)	Illumination
1' x 4'	12"	48-9/16"	4.04	White LEDs
1.5' x 6'	18"	72-13/16"	9.10	White LEDs
2' x 8'	24"	97-1/16"	16.17	White LEDs

NOTE: THESE DRAWINGS ARE FOR IMAGE DESIGN GUIDANCE ONLY. IT IS THE SOLE RESPONSIBILITY OF THE ARCHITECTS AND ENGINEERS RETAINED BY THE FRANCHISEE TO PREPARE ALL NECESSARY CONSTRUCTION DOCUMENTS FOR THE PARTICULAR PROJECT LOCATION. DUNKIN' BRANDS, INC., THEIR AGENTS AND EMPLOYEES, DO NOT WARRANT THE ACCURACY OF THESE DRAWINGS, NOR DOES DUNKIN' BRANDS, INC. GUARANTEE THAT THESE DRAWINGS AND THEIR COMPONENTS MEET THE REQUIREMENTS OF ANY FEDERAL STATE OR LOCAL LAWS, REGULATIONS, ORDINANCES, BUILDING CODES OR INDIVIDUAL SITE CONDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE FRANCHISEE AND OF THE ARCHITECT AND ENGINEERS RETAINED BY THE FRANCHISEE TO ENSURE COMPLIANCE WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES, CODES AND OTHER REQUIREMENTS, INCLUDING, WITHOUT LIMITATION, AMERICANS WITH DISABILITIES ACT.



Everbrite

4949 South 110th Street
PO Box 20020
Greenfield, WI 53220-0020
414.529.7131

dunkin'
brandsSM

Revisions:

DD LED Illum'd Pylon
& Wall Signs

FILE

Date: 8/12/15

Scale: NTS

Drawn: C HART

SS-4

401 W. MAIN

W



SIGN PERMIT APPLICATION

CITY OF BATAVIA

10 West Main Street, Batavia, NY, 14020
Phone: (585) 345-6320 • Fax (585) 343-9221

Permit No.: _____

Date: _____

Zone: C-2

Special Sign: Yes

APPLICANT:

Indus Group

kfinley@indushg.com

Name

E-mail Address

1080 Pittsford-Victor Road Suite 201

Street Address

Phone

Fax

Pittsford, NY 14534

585-451-6538

585-248-3271

City, State, Zip Code

OWNER:

Indus Real Estate

kfinley@indushg.com

Name

E-mail Address

1080 Pittsford-Victor Road Suite 201

Street Address

Phone

Fax

Pittsford, NY 14534

585-451-6538

585-248-3271

City, State, Zip Code

ADDRESS OF SIGN:

401 W. MAIN STREET: MENU BOARD

SIGN AREA: Length

62" x Width 74"

Area 34.5

(Second Freestanding Sign)

TYPE OF SIGN:

1. All sign applications must have an illustration of the sign with its dimensions and copy.
2. Freestanding signs must have a Site Plan to show the sign's location on the property
3. All other signs must include an elevation plan to show the sign's placement on the building

☒ Freestanding:

Set Back next to bldg.

Height 86"

☐ Wall

Wall Length _____

Wall Height _____

Area 34.5

☐ Projecting

☐ Marquee

☐ Awning/Canopy

☐ Window

☐ Portable

Length _____

Height _____

Area _____

Window Length _____

Window Height _____

Area _____

speaker pedestal has no graphics

LIGHTING: ☒ Internal

☐ External

EXISTING SIGNS (Please list all existing signs with dimensions):

No existing signage for Dunkin' Donuts parcel; subdividing from Five Star Bank parcel.

Applicant's Signature: Kip Finley

Date: 10/27/15

Issuing Officer: _____

Date: _____

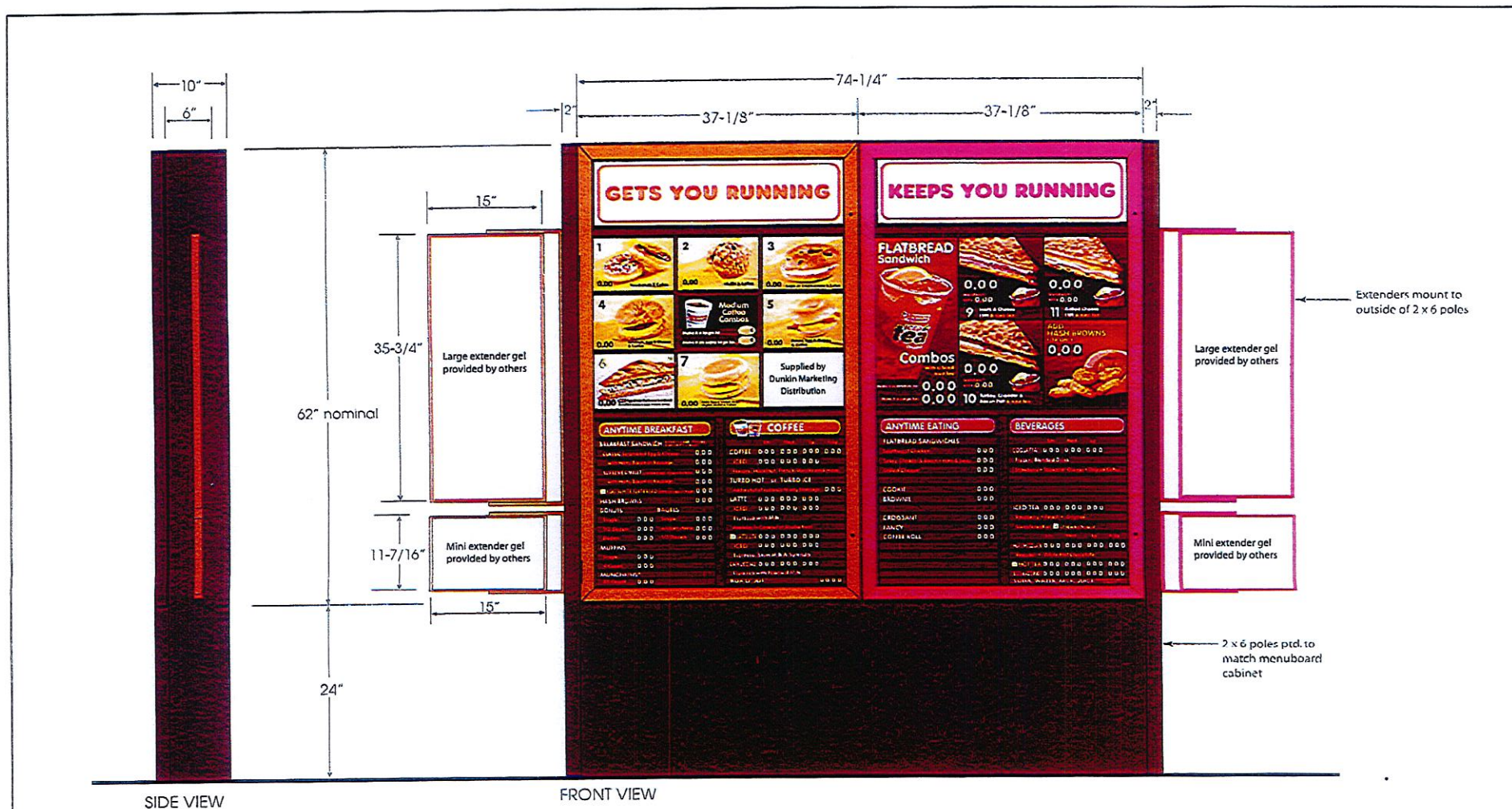
Planning Board Chairperson: _____

Date: _____

FEES: \$25 Sign Permit

☒ \$50 Special Sign Permit

\$10 Portable Sign



NOTE: THESE DRAWINGS ARE FOR IMAGE DESIGN GUIDANCE ONLY. IT IS THE SOLE RESPONSIBILITY OF THE ARCHITECTS AND ENGINEERS RETAINED BY THE FRANCHISEE TO PREPARE ALL NECESSARY CONSTRUCTION DOCUMENTS FOR THE PARTICULAR PROJECT LOCATION. DUNKIN' BRANDS, INC., THEIR AGENTS AND EMPLOYEES, DO NOT WARRANT THE ACCURACY OF THESE DRAWINGS, NOR DOES DUNKIN' BRANDS, INC. GUARANTEE THAT THESE DRAWINGS AND THEIR COMPONENTS MEET THE REQUIREMENTS OF ANY FEDERAL, STATE OR LOCAL LAWS, REGULATIONS, ORDINANCES, BUILDING CODES OR INDIVIDUAL SITE CONDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE FRANCHISEE AND OF THE ARCHITECT AND ENGINEERS RETAINED BY THE FRANCHISEE TO ENSURE COMPLIANCE WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES, CODES AND OTHER REQUIREMENTS, INCLUDING, WITHOUT LIMITATION, AMERICANS WITH DISABILITIES ACT.

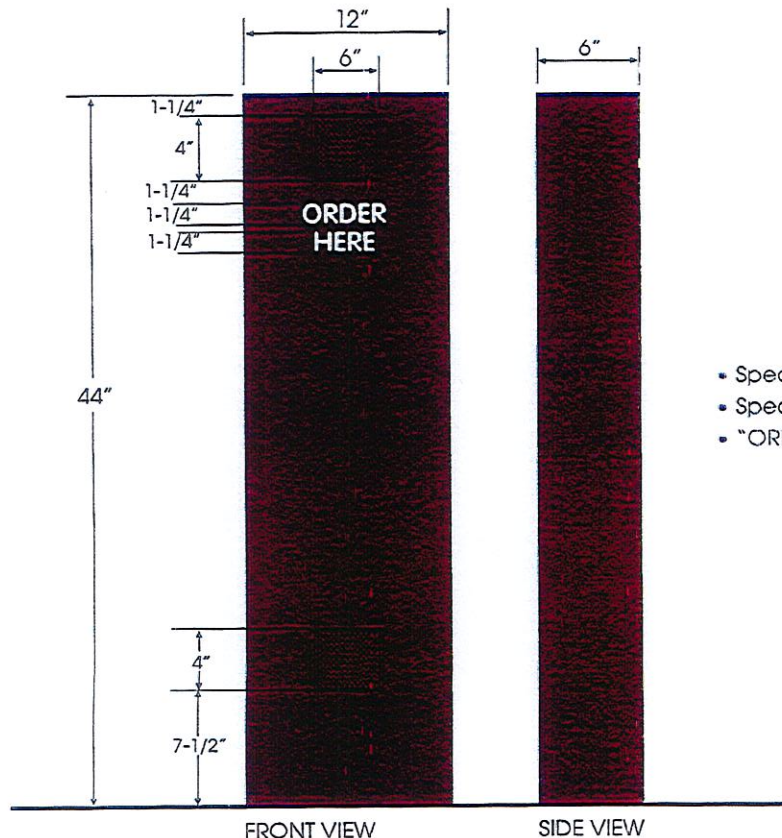
Everbrite
4949 South 110th Street
PO Box 20020
Greenfield, WI 53220-0020
414.529.7131

DUNKIN' BRANDS
[eatdrinkthink]

Revisions:	NGSS DD VALUE ENGINEERED DT MB W/ CLADDING (NO SPEAKER)	Date: 9/8/09 Scale: NTS Drawn: C HART
	FILE	DT-1

* APPLICANT UNDERSTANDING IS THAT MENU BOARD DOES NOT REQUIRE PERMIT PROVIDED FYI
401 W. MAIN

(5)



- Speaker tower ptd. **Benjamin Moore 2116-10 Night Shade semi-gloss**
- Speaker/microphone furnished and installed by others
- "ORDER HERE" graphic is white vinyl decal

NOTE: This is a concept drawing only and is subject to final engineering. Some material and dimensional specifications may vary or change per final engineering

NOTE: THESE DRAWINGS ARE FOR IMAGE DESIGN GUIDANCE ONLY. IT IS THE SOLE RESPONSIBILITY OF THE ARCHITECTS AND ENGINEERS RETAINED BY THE FRANCHISEE TO PREPARE ALL NECESSARY CONSTRUCTION DOCUMENTS FOR THE PARTICULAR PROJECT LOCATION. DUNKIN' BRANDS, INC., THEIR AGENTS AND EMPLOYEES, DO NOT WARRANT THE ACCURACY OF THESE DRAWINGS. NOR DOES DUNKIN' BRANDS, INC. GUARANTEE THAT THESE DRAWINGS AND THEIR COMPONENTS MEET THE REQUIREMENTS OF ANY FEDERAL, STATE OR LOCAL LAWS, REGULATIONS, ORDINANCES, BUILDING CODES OR INDIVIDUAL SITE CONDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE FRANCHISEE AND OF THE ARCHITECT AND ENGINEERS RETAINED BY THE FRANCHISEE TO ENSURE COMPLIANCE WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES, CODES AND OTHER REQUIREMENTS, INCLUDING, WITHOUT LIMITATION, AMERICANS WITH DISABILITIES ACT.



Everbrite

4949 South 110th Street
PO Box 20020
Greenfield, WI 53220-0020
414.529.7131



Revisions:

Drive Thru
Speaker Tower

FILE

Date: 9/30/09

Scale: NTS

Drawn: C HART

DT-5

* APPLICANT UNDERSTANDING IS THAT SPEAKER POST FOR MENU DOES NOT REQUIRE PERMITS FYI
401 W. MAIN

5



SIGN PERMIT APPLICATION

CITY OF BATAVIA
10 West Main Street, Batavia, NY, 14020
Phone: (585) 345-6320 • Fax (585) 343-9221

Permit No.: _____
Date: _____
Zone: C-2
Special Sign: YES

APPLICANT: Indus Group kfinley@indushg.com
Name E-mail Address
1080 Pittsford-Victor Road Suite 201
Street Address
Pittsford, NY 14534 585-451-6538 585-248-3271
City, State, Zip Code Phone Fax

OWNER: Indus Real Estate
Name E-mail Address
1080 Pittsford-Victor Road Suite 201
Street Address
Pittsford, NY 14534 585-451-6538 (KIP)
City, State, Zip Code Phone Fax

ADDRESS OF SIGN: 401 W. MAIN STREET; BUILDING SIGNS

SIGN AREA: Length 38'6" Width 103' Area 27.264 X 2 SIGNS

TYPE OF SIGN: East elev.
1. All sign applications must have an illustration of the sign with its dimensions and copy.
2. Freestanding signs must have a Site Plan to show the sign's location on the property
3. All other signs must include an elevation plan to show the sign's placement on the building

☐ Freestanding: Set Back _____ Height _____
☒ Wall Wall Length 103' Wall Height 38'6" Area 27.264
☐ Projecting
☐ Marquee
☐ Awning/Canopy Length _____ Height _____ Area _____
☐ Window Window Length _____ Window Height _____ Area _____
☐ Portable

LIGHTING: ☐ Internal ☐ External

EXISTING SIGNS (Please list all existing signs with dimensions):

No existing signage for Dunkin Donuts parcel; subdividing from Five Star Bank parcel.

Applicant's Signature: Kip Finley

Date: 10/27/15

Issuing Officer: _____

Date: _____

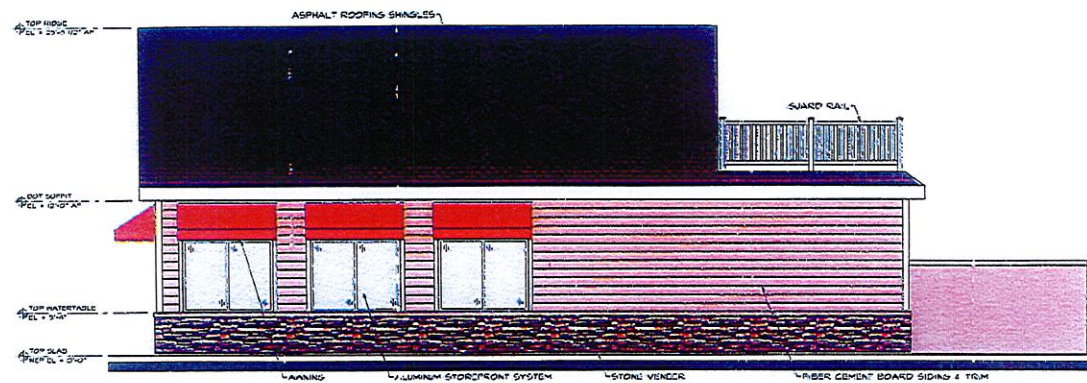
Planning Board Chairperson: _____

Date: _____

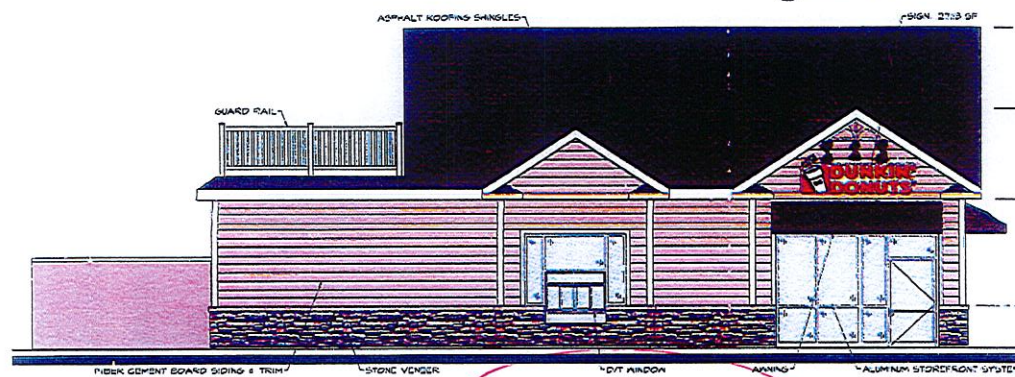
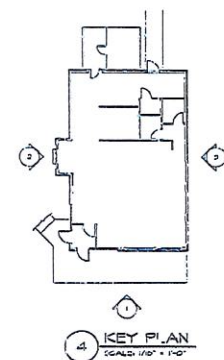
FEES: _____ \$25 Sign Permit ☒ \$50 Special Sign Permit _____ \$10 Portable Sign

76.5 sq. ft. permitted.
27.264 Proposed
(oh)

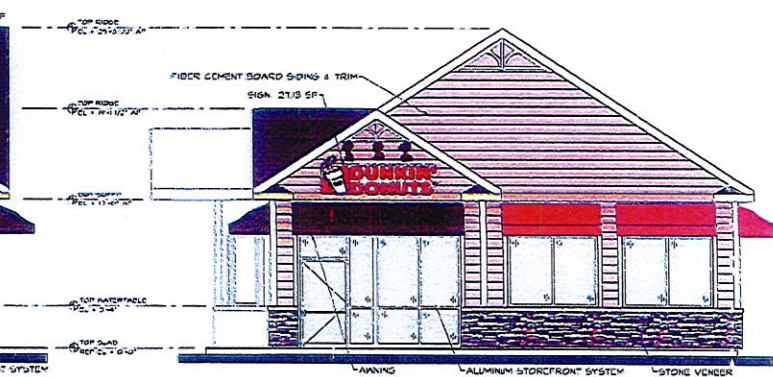
510 sq. ft.
Area 27.264 X 2
= 54.528



2 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



401 W. MAIN

01



SIGN PERMIT APPLICATION

CITY OF BATAVIA
10 West Main Street, Batavia, NY, 14020
Phone: (585) 345-6320 • Fax (585) 343-9221

Permit No.: _____

Date: _____

Zone: C-2

Special Sign: NO

APPLICANT:

Indus Group

kfinley@indushg.com

Name

E-mail Address

1080 Pittsford-Victor Road Suite 201

Street Address

Phone

Fax

Pittsford, NY 14534

585-451-6538

585-248-3271

City, State, Zip Code

OWNER:

Indus Real Estate

Name

E-mail Address

1080 Pittsford-Victor Road Suite 201

Street Address

Phone

Fax

Pittsford, NY 14534

585-451-6538 (KIP)

City, State, Zip Code

ADDRESS OF SIGN:

401 W. MAIN STREET ; BUILDING SIGNS

SIGN AREA: Length

38 1/8"

Width 103"

Area

27.26 sq ft

X 2 SIGNS

TYPE OF SIGN:

North Elev.

1. All sign applications must have an illustration of the sign with its dimensions and copy.
2. Freestanding signs must have a Site Plan to show the sign's location on the property
3. All other signs must include an elevation plan to show the sign's placement on the building

72.6 sq. ft. Permitted
27.26 Proposed

☐ Freestanding:

Set Back _____

Height _____

☒ Wall

Wall Length 103"

Wall Height 38 1/8"

Area 27.26 x 2

☐ Projecting

☐ Marquee

☐ Awning/Canopy

☐ Window

☐ Portable

Length _____

Height _____

Window Length _____

Window Height _____

Area _____

Area _____

484 sq. ft.
54.52 sq. ft.

LIGHTING: ☐ Internal

☐ External

EXISTING SIGNS (Please list all existing signs with dimensions):

No existing signage for Dunkin Donuts parcel; subdividing from Five Star Bank parcel.

Applicant's Signature:

Kip Finley

Date: 10/27/15

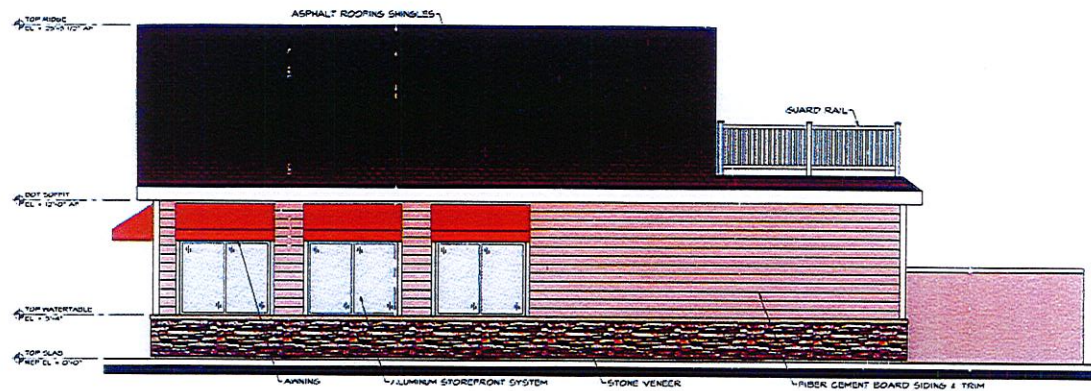
Issuing Officer: _____

Date: _____

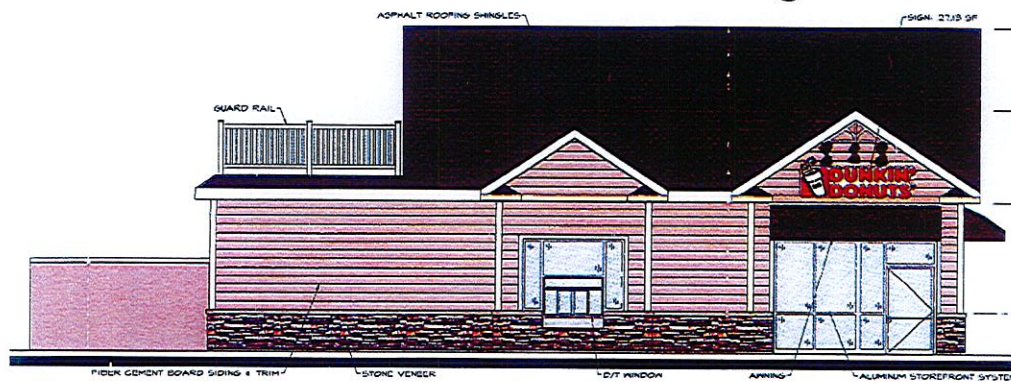
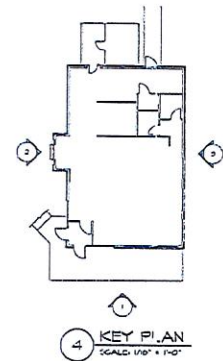
Planning Board Chairperson: _____

Date: _____

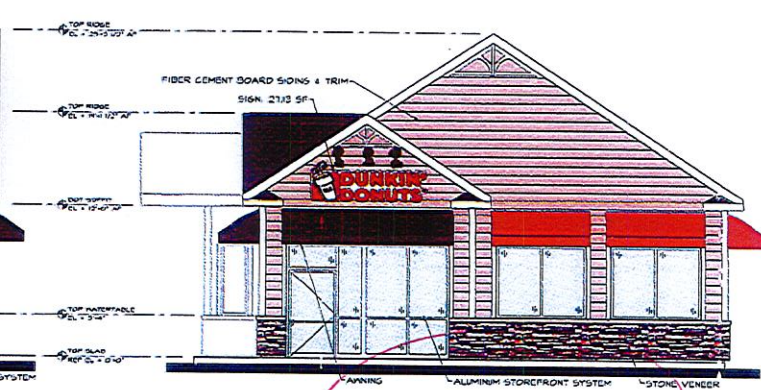
FEES: ☒ \$25 Sign Permit ☐ \$50 Special Sign Permit ☐ \$10 Portable Sign



3 PROPOSED SIDE ELEVATION
SCALE: 3/4" = 1'-0"



2 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

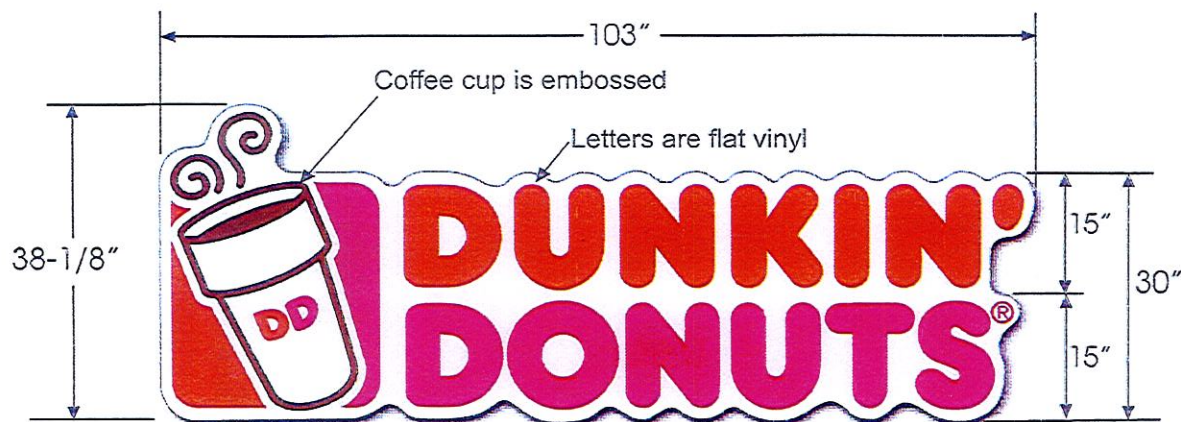


401 W. MAIN

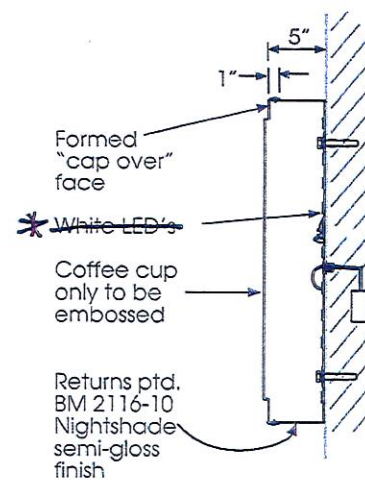
2



LED LED CLOUD SIGN



E004017B- 15" DD STACKED ~~LED~~ CLOUD SIGN 27.26 SQ. FT.



SIDE VIEW

COLOR & MATERIAL NOTES:

15" STACKED ~~LED~~ CLOUD SIGN EXTERNAL ILLUMINATION- SEE HI-LITE CUTSHEET *

Faces are formed clear solar grade polycarbonate, decorated second surface vinyl

Vinyl colors: DD Orange- 3M #3630-3123; DD Magenta- 3M #3630-1379; Dark Brown (on cup logo)- 3M #3630-59

Coffee cup portion of logo to be 1/2" emboss depth.

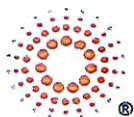
Formed "cap-over" face fits over aluminum returns ptd. Benjamin Moore 2116-10 Nightshade semi-gloss finish; Cabinet to be 5" deep

Illumination: 90 white LED's *

PC#

City: BATAVIA State: N.Y.

Signature: _____ Date: _____



Everbrite

For More Information about the Dunkin' Donuts Sign Program or other Dunkin Brand Sign programs manufactured by Everbrite, LLC, please contact a Dunkin Brands Specialist at toll free 888-505-1002 or dunkinbrands@everbrite.com. We are pleased to assist you.

401 W. MAIN

279301 2/15/12

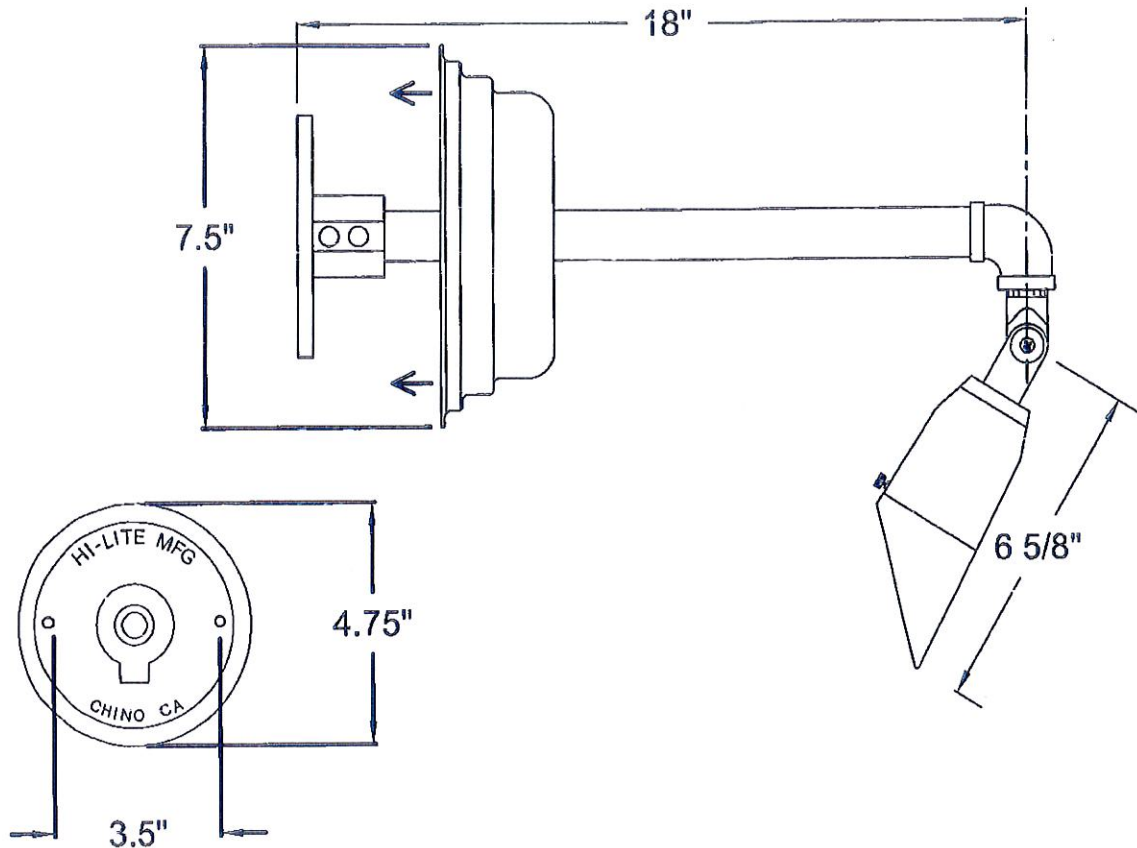




HI-LITE MFG. CO., INC.

13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1999
Toll Free: (800) 465-0211
Fax: (909) 465-0907
www.hilitemfg.com

Job Name:
Type:
Quantity:

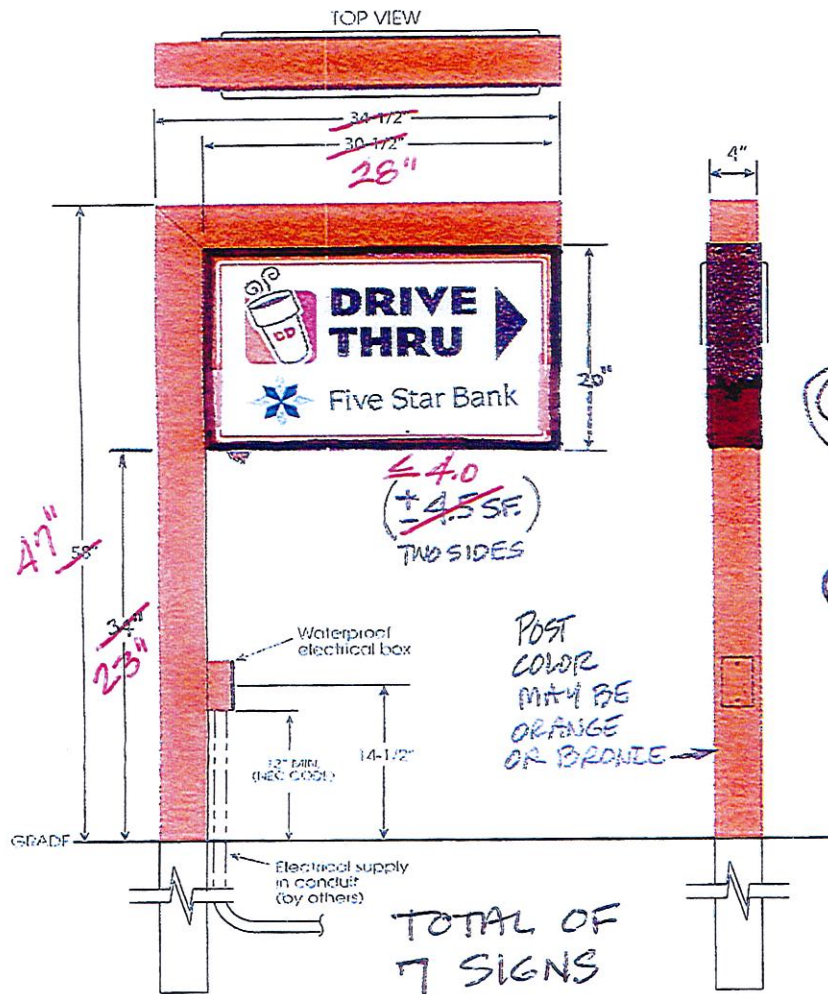


401 W. MAIN

3 EACH FOR BUILDING SIGNS

Item Number	Lens	Wattage	Voltage
HDMR16/18-1/119/50W/LV/BCM	Clear	50W	12V/120V

Material	Finish	Lamp/Socket	Mounting
Aluminum	119 (Bronze)	GU 5.3 Bi-Pin	Wall Mount



CHECK BOX NEXT TO THE FACES YOU NEED AND STATE QUANTITY
NOTE! If face has a directional arrow right, opposite side will need an arrow left layout

<input type="checkbox"/> DT-AR QTY.	<input type="checkbox"/> DT-AL QTY.
<input type="checkbox"/> ENT-AR QTY.	<input type="checkbox"/> ENT-AL QTY.
<input type="checkbox"/> EX-AR QTY.	<input type="checkbox"/> EX-AL QTY.
<input checked="" type="checkbox"/> DD4-AR QTY.	<input checked="" type="checkbox"/> DD4-AL QTY.
<input checked="" type="checkbox"/> DD6-AR QTY.	<input checked="" type="checkbox"/> DD6-AL QTY.
<input type="checkbox"/> DD7-AR QTY.	<input type="checkbox"/> DD7-AL QTY.
<input type="checkbox"/> DD5-AR QTY.	<input type="checkbox"/> DD5-AL QTY.
<input type="checkbox"/> DD3 QTY.	<input type="checkbox"/> DNE QTY.
<input type="checkbox"/> DD1 QTY.	<input type="checkbox"/> SYS QTY.
<input type="checkbox"/> DD2 QTY.	<input type="checkbox"/> WB QTY.

Rev 7/8/15 to meet code

GENERAL SPECIFICATIONS:

Materials:
4" x 4" x 1/8" alum. tube support; Alum. extrusion cabinet; Pan flat poly faces
Decoration: Vinyl 2nd surface
Area Squared: 2.75
Area Actual: 2.75
Weight (Est.):
• Crated: (TBE)
• Uncrated: (TBE)
Wind Load: 35 psf/90 mph

ELECTRICAL

Illumination:
• (1) F30 T12 CW/HO
Line Load:
• _____ Amps @ 120 VAC
• (1) 20 Amp circuit
Disconnect Switch: Bottom of sign cabinet

COLORS:

All exposed surfaces of support column:
PMS 165C Orange
Sign Cabinet:
BM 2116-10 Nightshade

(A) "DRIVE-THRU" TEXT USED AT ENTRANCES
(B) "EXIT" TEXT USED AT EXITS

* APPLICANT UNDERSTANDING IS THAT DIRECTIONAL SIGNS DO NOT REQUIRE PERMIT: PROVIDED FYI

These product sheets are the exclusive property of Everbrite LLC. Use of this property in any manner without express written permission of Everbrite LLC is prohibited. Drawings are for graphic purposes only and not intended for actual construction. For more specific manufacturing detail, please refer to engineering specifications and install drawings.



Everbrite

Everbrite LLC
4949 S 110th Street, Greenfield, WI 53220
Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No: **E005675B**

Description: FRESH BREW ILLUM'D
FLAG MTD. DIRECTIONAL

Project No: 292014-1

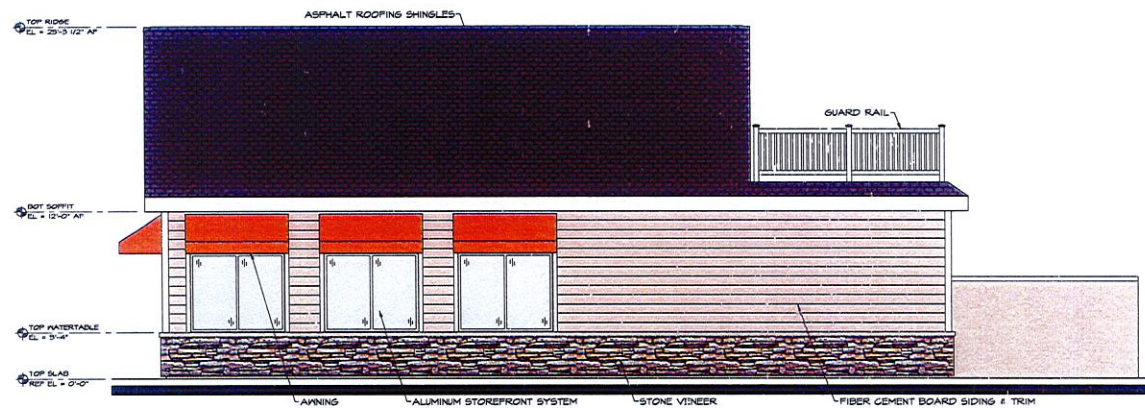
Date: 2/21/13

Drawn By: CH

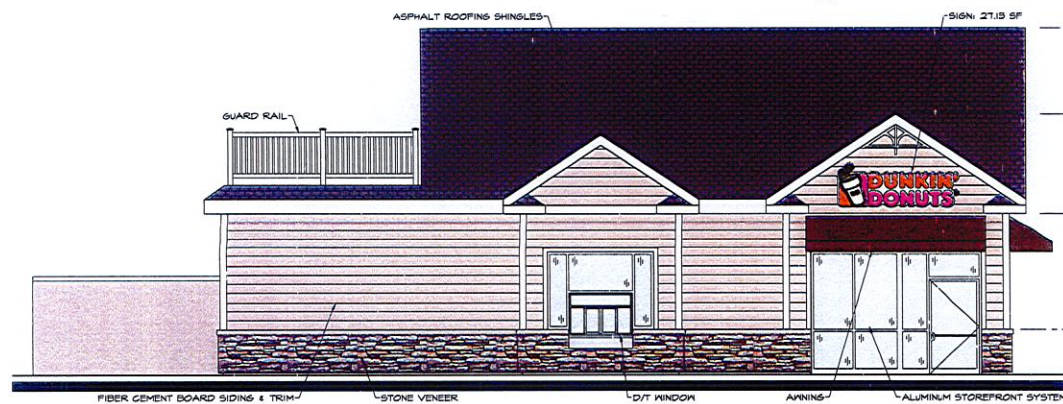
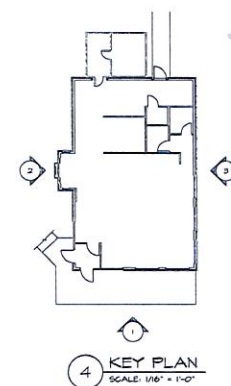


401 W. MAIN

(11)



3 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"

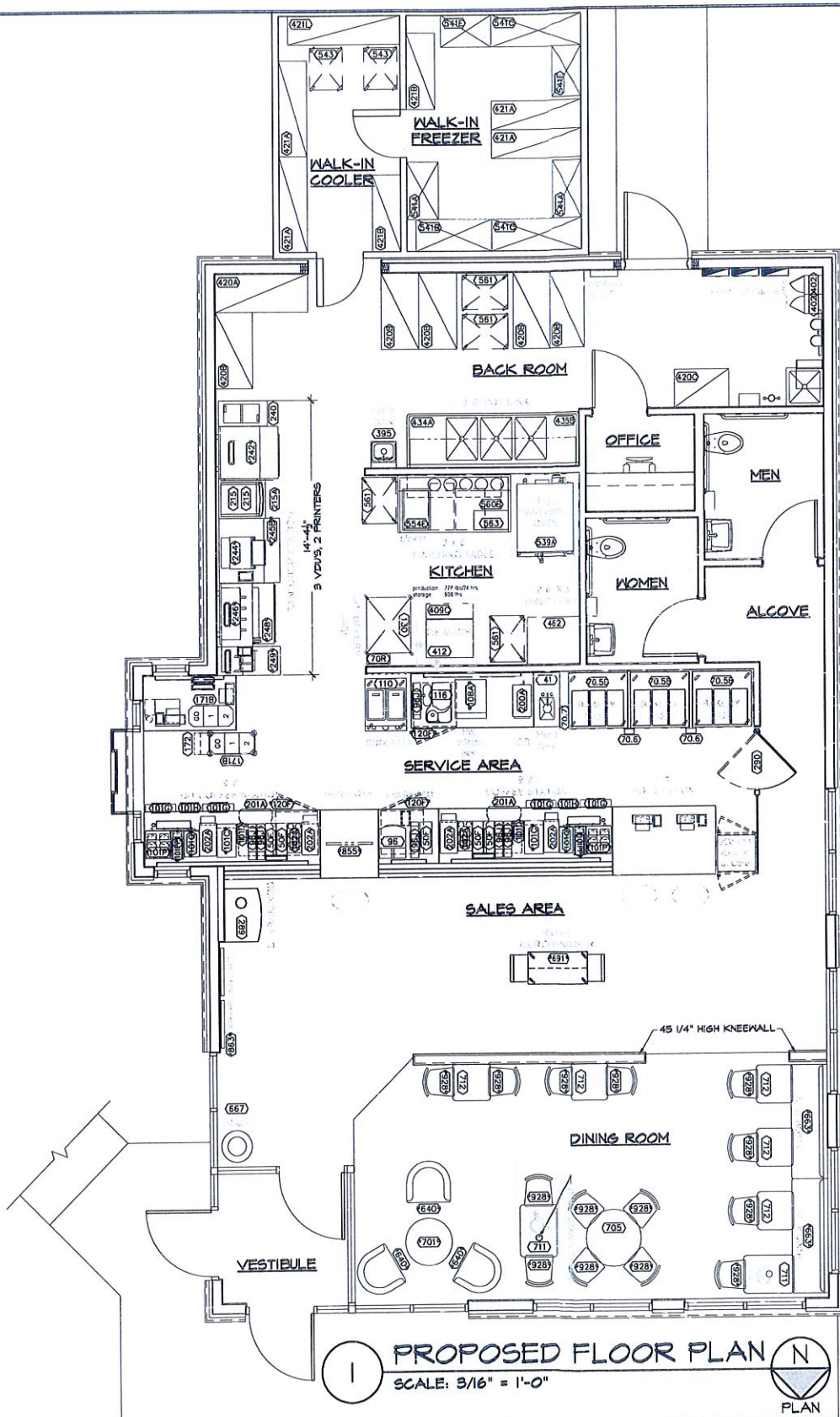


2 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

©AHARONIAN & ASSOCIATES INC 2015



PROPOSED FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 PLAN



**AHARONIAN
& ASSOCIATES INC.**
 ARCHITECTS

310 George Washington Highway
 Suite 100
 Smithfield, Rhode Island
 0 2 9 1 7
 T 401-232-5010
 F 401-232-5080
 WWW.ARCH-ENG.COM

REVISIONS		
NUMBER	REMARKS	DATE

PROJECT TITLE

DUNKIN' BRANDS
 [dunkin' brands]
 PC# 353439

409 WEST MAIN STREET
 BATAVIA, NY
 GENESEE COUNTY

FOR REVIEW

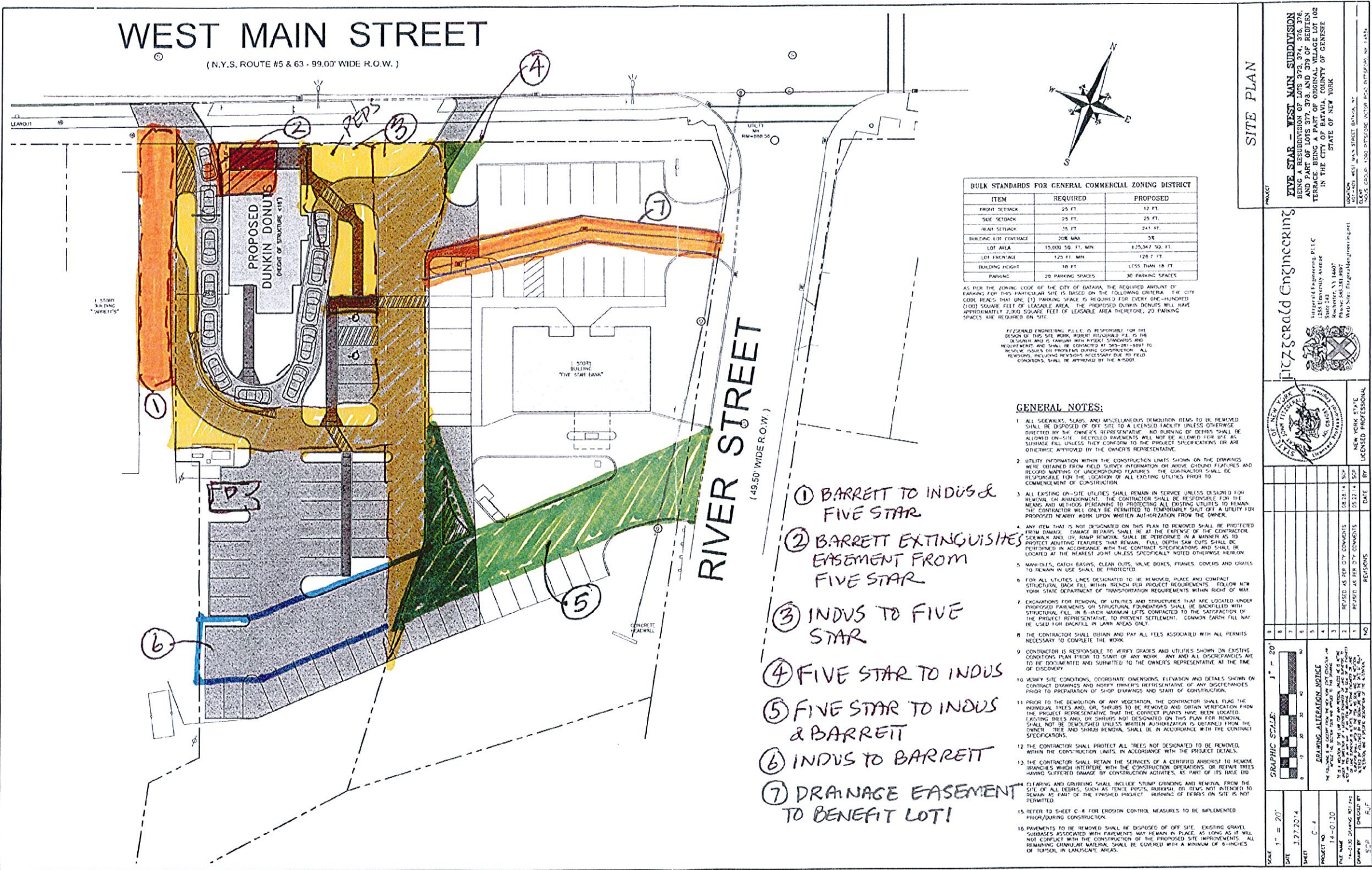
DRAWING TITLE

PROPOSED FLOOR PLAN

DATE SEPT 24, 2015	PROJ NO 15080
DRAWN BY JB	CHECKED BY AZ
DRAWING NUMBER K1.1	

ACCESS CROSS EASEMENT SCHEMATIC

10/5/15 KF
Rev 10/27/15 KF



SITE PLAN DRAWINGS

FOR

CITY OF BATAVIA DUNKIN DONUTS

401-409 WEST MAIN STREET
CITY OF BATAVIA, COUNTY OF GENESEE, STATE OF NEW YORK

STANDARD ABBREVIATIONS			
ASPH	=	ASPHALT	
BC	=	BOTTOM OF CURB	
BO	=	BOTTOM OF OPENING	
CAP	=	CORRUGATED ALUMINUM PIPE	
CB	=	CATCH BASIN	
CP	=	CAST IRON PIPE	
CMP	=	CORRUGATED METAL PIPE	
CHF	=	COULD NOT FIND	
CONC	=	CONCRETE	
CP	=	CONCRETE PIPE	
CSP	=	CORRUGATED STEEL PIPE	
CULV	=	CULVERT	
DIP	=	DUCTILE IRON PIPE	
DIA	=	DIAMETER	
DMH	=	DRAINAGE MANHOLE	
DS	=	DRAINAGE STRUCTURE	
DWG	=	DRAWINGS	
EA	=	EACH	
EHW	=	EXTREME HIGH WATER	
EL	=	ELEVATION	
ELEV	=	ELEVATION	
ELW	=	EXTREME LOW WATER	
ES	=	END SECTION	
FP	=	FIRE PROTECTION	
G	=	GAS	
HDPE	=	HIGH DENSITY POLYETHYLENE PIPE	
HM	=	HEADMILL	
INV	=	INVERT	
IP	=	IRON PIN OR IRON PIPE	
LF	=	LINEAR FOOT (FEET)	
LP	=	LIGHT POLE	
MAX	=	MAXIMUM	
MB	=	MAILBOX	
MH	=	MANHOLE	
MIN	=	MINIMUM	
MHW	=	MEAN HIGH WATER	
MON	=	MONUMENT	
N&W	=	NAIL AND WASHER	
OD	=	OUTER DIAMETER	
OG	=	ORIGINAL GROUND	
OHW	=	ORDINARY HIGH WATER	
OLW	=	ORDINARY LOW WATER	
O/H	=	OVERHEAD	
PAVT	=	PAVEMENT	
PVC	=	POLYVINYL CHLORIDE PIPE	
RCP	=	REINFORCED CONCRETE PIPE	
R	=	RADIUS	
RIM	=	RIM OF DRAINAGE STRUCTURE	
RR	=	RAILROAD	
RW	=	RETAINING WALL	
SF	=	SQUARE FOOT (FEET)	
SHLDR	=	SHOULDER	
SIOPP	=	SMOOTH INTERIOR CORRUGATED PIPE	
ST	=	STREET	
STY	=	STORY	
SW	=	SIDEWALK	
SWPPP	=	STORMWATER POLLUTION PREVENTION PLAN	
TC	=	TOCH OF CURB	
TG	=	TOP OF GRATE	
TYP	=	TYPICAL	
UMH	=	UNKNOWN MANHOLE	
U/G	=	UNDERGROUND	
VCP	=	VITRIFIED CLAY PIPE	
WS	=	WATER SERVICE	
WW	=	WING WALL	
W/	=	WITH	

Fitzgerald Engineering, PLLC

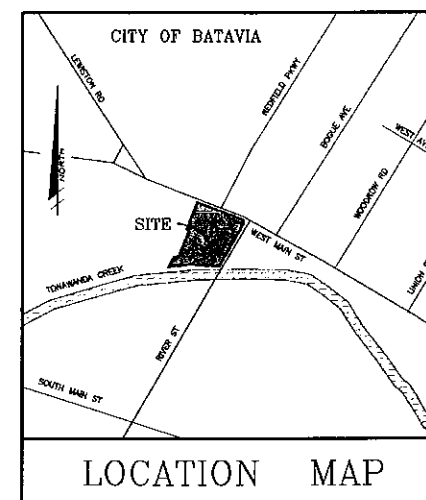
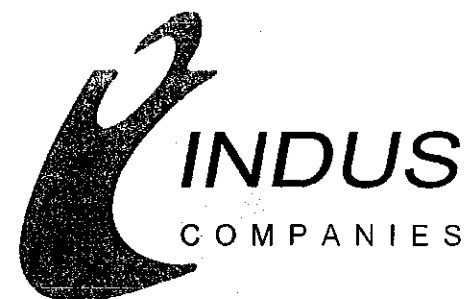


1255 University Avenue
Suite 240
Rochester, NY 14607
Phone: 585.281.9897
Web Site: fitzgeraldengineering.net

LINE LEGEND			
---	PROPERTY BOUNDARY LINE	---	SANITARY SEWER MAIN
---	PROPOSED CONTOUR LINE	---	SANITARY LATERAL
---	EXISTING CONTOUR LINE	---	STORM SEWER MAIN
---	OVERHEAD WIRES	---	STORM SEWER LATERAL
---	UNDERGROUND UTILITIES	---	GAS MAIN
---	WATER MAIN	---	GAS SERVICE
---	WATER SERVICE	---	FILTER FABRIC
---	FIRE SERVICE	---	VEGETATION
LINE STYLES			
---	FEATURE TO BE REMOVED (FADED LINE WEIGHT)		
---	EXISTING FEATURE (LIGHT LINE WEIGHT)		
---	PROPOSED FEATURE (HEAVY LINE WEIGHT)		

TABLE OF CONTENTS:

1. EXISTING CONDITIONS MAP
2. SUBDIVISION PLAT
3. SITE PREPARATION PLAN
4. SITE PLAN
5. UTILITY PLAN
6. GRADING/E&SC PLAN
7. LANDSCAPE PLAN
8. LIGHTING PLAN
9. DETAIL SHEET (SITE)
10. DETAIL SHEET (UTILITIES)
11. DETAIL SHEET (E&SC/LANSCAPE)



SYMBOL LEGEND			
---	SIGN	---	STORM MANHOLE
---	UTILITY POLE	---	CATCH BASIN
---	CURB BOX	---	TREE TO BE REMOVED
---	FLOW ARROW	---	TREE PROTECTION
---	WATER VALVE	---	CONIFEROUS TREE
---	FIRE HYDRANT	---	DECIDUOUS TREE
---	GAS VALVE	---	BORING PIT LOCATION
---	SANITARY MANHOLE	---	LIGHT POLE
---	SANITARY CLEANOUT	---	STONE CHECK DAM

LEGEND

LINETYPES

PROPERTY BOUNDARY LINE

PROPOSED CONTOUR

EXISTING CONTOUR

OVERHEAD WIRES

UNDERGROUND UTILITIES

WATER MAIN

WATER SERVICE

SANITARY SEWER

SANITARY SEWER LATERAL

STORM MAIN

STORM LINE LATERAL

GAS

GAS SERVICE

FILTER FABRIC

SYMBOLS

SIGN

FLOW ARROW

UTILITY POLE

CURB BOX

WATER VALVE

HYDRANT

SANITARY MANHOLE

SANITARY CLEAN OUT

GAS VALVE

STORM MANHOLE

STORM CATCH BASIN

LINESTYLES

FEATURE TO BE REMOVED (FADED LINE WEIGHT)

EXISTING FEATURE (LIGHT LINE WEIGHT)

PROPOSED FEATURE (HEAVY LINE WEIGHT)

GENERAL NOTES:

1. BASE MAPPING - BASE MAPPING BEYOND THE CONTRACT LIMITS IS A COMBINATION OF MAPPING FROM FIELD SURVEY DATA, PHOTOGRAPHIC IMAGES AND RECORD MAPPING. THUS, NO WARRANTY IS HEREBY EXTENDED AS TO THE ACTUAL/ACCURATE LOCATION OF ANY ITEMS SHOWN OUTSIDE THE PROJECT LIMITS.

2. UTILITY MAPPING - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW CONSTRUCTION.

3. UTILITY STAKEOUT - THE CONTRACTOR SHALL NOTIFY DKO SAFELY NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.

4. PROPERTY PROTECTION - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNERS SATISFACTION AT NO ADDITIONAL EXPENSE.

5. ACCESS - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.

6. SITE SAFETY - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.

7. EXCAVATIONS - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.

8. MAINTENANCE - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEPED CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNERS ON-SITE REPRESENTATIVE.

9. PERMITS - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNERS REPRESENTATIVE TO REVIEW PERMITS RECEIVED TO DATE, AND TO IDENTIFY PERMITS STILL NEEDED, AT WHICH TIME THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. UNLESS SPECIFIED OTHERWISE, THE OWNER IS RESPONSIBLE FOR PERMIT FEES.

10. PROJECT - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "SITE DRAWINGS". DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR CLARIFICATION.

11. SITE PREPARATION - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "GRADING LIMITS" AS DEFINED ON THE PLANS. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH OWNER'S REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNERS AS DIRECTED BY OWNER. THERE SHALL BE NO ON-SITE BURIAL OF TREES OR STUMPS. CHIPPING FOR RE-USE ON SITE IS PERMITTED.

12. UTILITY COORDINATION - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. ELECTRIC, WATER, AND COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.

13. WATER- WATER SERVICE LINES (LATERALS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY.

14. PROJECT CLOSE-OUT - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:

- REMOVAL OF ANY CONSTRUCTION DEBRIS.
- CLEANING PAVEMENT AND WALKWAY SURFACES.
- RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS.
- RESTORATION/CLEANING OF ALL PERMANENT STORM WATER PRACTICES AS SHOWN ON PLANS.
- REMOVAL OF ALL TEMPORARY, STORMWATER DEVICES AND RESTORATION OF THE SURROUNDING AREAS.
- PROVIDING RECORDS DRAWING AS REQUIRED BY OWNER, MUNICIPALITY, AND/OR AGENCIES.
- COMPLETION OF FINAL PUNCH LIST ITEMS.

EXISTING SITE STATISTICS	
TAX ACCOUNT #	84.05-2-7.1
OWNER	FIVE STAR BANK
ADDRESS	401-409 WEST MAIN STREET
LOT AREA	1.654± AC TO R.O.W. LINE
ZONING	C-2 (GENERAL COMMERCIAL DISTRICT)

We, Arroyo Surveyors certify to that this map was prepared using the reference materials listed hereon and the notes of an instrument survey, performed in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc., completed FEBRUARY 27, 2014.

ROBERT J. AVERY
NYSPLS #49743

EXISTING CONDITIONS MAP

PROJECT

FIVE STAR - WEST MAIN SUBDIVISION

BRING A RESUBDIVISION OF LOTS 373, 374, 375, 376, AND PART OF LOTS 377, 378, AND 379 OF REDFORD TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESSEE STATE OF NEW YORK

LOCATION

401-409 WEST MAIN STREET BATAVIA, NY

CLIENT

INDUS GROUP, 1005 PITTSFORD VICTOR ROAD PITTSFORD, NY 14534

LITZSCALD Engineering

Fitzgerald Engineering, PLLC
1155 University Avenue
Suite 240
Rochester, NY 14607
Phone: 585.251.8979
Web Site: litzscaldengineering.net

NEW YORK STATE

LICENSED PROFESSIONAL

GRAPHIC SCALE: 1" = 30'

0

10

20

30

40

50

60

70

80

90

100

DATE

03.27.2014

PROJECT NO.

C-1

FILE NAME

14-0130

14-0130 DRAWINGS NOTING

CHECKED BY

SCF

R/JF

REVISIONS

NO	DATE	BY
1	05.22.14	SCF
2	08.28.14	SCF
3	10.21.15	SCF

REVISED AS PER CITY COMMENTS

REVISED AS PER CITY COMMENTS

REVISED AS PER CITY COMMENTS

WEST MAIN STREET

(N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W.)

UFPO NOTE
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE FOR ORIGIN OF THIS PLAN TO LOCATE BURIED UTILITIES/STRUCTURES. CALL UFPO AT 1-800-962-7962 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK FOR FIELD VERIFICATION OF UTILITY TYPES AND LOCATIONS.

DIG SAFELY - NEW YORK
Underground Facilities Protective Organization
1-800-962-7552

GENERAL NOTES:

1. THERE SHALL BE NO INTERRUPTION OF ANY UTILITY SERVICE, UNLESS WRITTEN APPROVAL TO DO SO IS OBTAINED FROM THE OWNER.
2. THE LOCATIONS, SIZES, AND ELEVATION OF THE EXISTING UTILITIES SHOWN HEREIN ARE BASED ON RECORD DRAWINGS AND FIELD VERIFICATION WHERE POSSIBLE. THIS INFORMATION IS SHOWN AS APPROXIMATE ONLY AND ITS ACCURACY IS NOT GUARANTEED. AS SUCH, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION.
3. ALL UTILITIES AND SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS.
4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AHEAD OF TRENCHING SO THAT ADJUSTMENTS CAN BE MADE IN ELEVATION AND, OR, ALIGNMENT TO PREVENT CONFLICTS, IF REQUIRED.
5. THE PROPOSED LOCATION OF THE WATER, GAS, AND ELECTRIC UTILITIES ARE BASED ON HORIZONTAL ALIGNMENT ONLY. THEREFORE, THE CONTRACTOR MAY HAVE TO INSTALL THESE UTILITIES AT DEPTHS GREATER THAN SPECIFIED TO AVOID VERTICAL CONFLICTS WITH OTHER SITE FEATURES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND REMOVAL OF ALL SHEETING OR SHORING, AS PART OF ITS BASE BID, AND ALL WORK SHALL BE IN CONFORMANCE WITH THE CONTRACT REQUIREMENTS.
7. ALL EXISTING PAVEMENTS TO BE CROSSED BY UTILITY INSTALLATIONS SHALL BE SAW CUT AT

- OR BEYOND THE REQUIRED LIMIT OF DISTURBANCE AND RESURFACED TO THE EDGE OF THE EXISTING PAVEMENT. INSTALLATION OF UTILITIES UNDER NEW PROJECT PAVEMENTS SHALL NOT BE PERMITTED UNLESS THE CONTRACTOR RESURFACES THE ENTIRE AREA AT THE CONTRACTOR'S EXPENSE.
8. ALL EXISTING UTILITIES TO BE CROSSED AND ALL UTILITY POLES NEAR EXCAVATIONS SHALL BE PROTECTED, PRESERVED, AND SUPPORTED AS NECESSARY BY THE CONTRACTOR AS PART OF THE CONTRACTOR'S BASE BID.
9. ANY EXISTING STORM DRAINAGE PIPES, INCLUDING DRIVEWAY CULVERTS, WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH CORRUGATED SMOOTH INTERIOR POLYETHYLENE PIPE WHICH CONFORMS TO AASHTO SPEC. M294 TYPE S, ASTM SPEC. D3350, MYSOT ENGINEERING INSTRUCTION #90-35, AND NYSOT STANDARD SPECIFICATION SUBSECTION 706-14.
10. ALL EXISTING AND PROPOSED STORM SEWER INLETS SHALL BE PROTECTED UNTIL FINAL STABILIZATION IS ACHIEVED, AS SPECIFIED ON THE GRADING PLAN AND WITHIN THE CONTRACT SPECIFICATIONS. IF CONTAMINATED, THE CONTRACTOR SHALL CLEAN SEWER INLETS, PIPES, AND THE POND, AT THE CONTRACTOR'S EXPENSE, PRIOR TO ISSUANCE OF SUBSTANTIAL COMPLETION.
11. EXISTING UNDERGROUND UTILITIES THAT ARE NOT DESIGNATED TO BE REMOVED SHALL BE CONSIDERED ACTIVE. AS SUCH, ALL EXISTING UNDERGROUND UTILITIES SHALL BE PROTECTED FROM DAMAGE UNLESS OTHERWISE SPECIFIED FOR ALTERATION AS PART OF THIS PROJECT.
12. THE CONTRACTOR SHALL SURROUND ALL OPEN EXCAVATIONS, HAZARDOUS ITEMS, AND ITEMS REQUESTED BY THE PROJECT REPRESENTATIVE WITH ORANGE TEMPORARY CONSTRUCTION SAFETY FENCE. THE FENCE SHALL BE A MINIMUM 72 INCHES TALL AND MOUNTED ON RIGID POSTS SPACED NO GREATER THAN 48 INCHES APART. THE PERIMETER OF THE CONSTRUCTION LIMIT SHALL BE SURROUNDED WITH TEMPORARY CONSTRUCTION SECURITY FENCE CONTAINING CAUTION SIGNS, IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS. FENCES MAY BE TEMPORARILY REMOVED TO FACILITATE EARTHWORK DURING CONSTRUCTION HOURS. UPON COMPLETION OF THE PROJECT, ALL TEMPORARY FENCING, POSTS, AND CAUTION SIGNS SHALL BE REMOVED.

UTILITY PLAN

FIVE STAR - WEST MAIN SUBDIVISION
BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376, 377, 378, AND 379 OF REDBERRY TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESSEE STATE OF NEW YORK

Fitzgerald Engineering, PLLC
1245 University Avenue
Suite 240
Rochester, NY 14607
Phone: 585.281.9897
Web Site: fitzgeraldengineering.net



NEW YORK STATE
LICENSED PROFESSIONAL

GRAPHIC SCALE: 1" = 20'



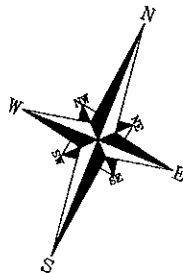
DRAWING ALTERATION NOTICE

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EXCAVATION LAW ARTICLE 145, SECTION 2509 AND APPLIES TO THIS DRAWING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS AND TO COMPLY WITH ALL REQUIREMENTS OF THE LAW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

SCALE	1" = 20'
DATE	3.27.2014
SHEET	C-5
PROJECT NO.	14-0130
FILE NAME	14-0130 DRAWINGS R01.dwg
DRAWN BY	SCF
CHECKED BY	R/J

WEST MAIN STREET

(N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W.)



1 STORY BUILDING
"BARRETT'S"

1 STORY BUILDING
"FIVE STAR BANK"

RIVER STREET
(49.50' WIDE R.O.W.)

Luminaire Schedule						
Project: DUNKIN						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	Description	LLF
	3	A	BACK-BACK	N.A.	VA2-LED240/740-T4-F-D180-DBR-EDP	0.900
	4	B	SINGLE	N.A.	VA2-LED240/740-T4-F-S-DBR-EDP-PH	0.900

Calculation Summary							
Label	CalcType	Avg	Max	Min	Avg/Min	Max/Min	Units
SITE Planar	Illuminance	4.73	26.9	0.0	N.A.	N.A.	Fc
PARKING LOT & DRIVE LANES	Illuminance	6.18	26.9	0.1	61.80	269.00	Fc

LIGHTING PLAN

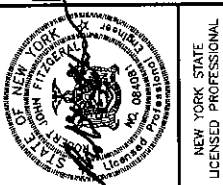
FIVE STAR - WEST MAIN SUBDIVISION

BRING A RESUBDIVISION OF LOTS 373, 374, 375, 376, AND PART OF LOTS 377, 378, AND 379 OF BEDFORD TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESEE STATE OF NEW YORK



Fitzgerald Engineering, PLLC
1255 University Avenue
Suite 240
Rochester, NY 14607
Phone: 585.381.9807
Web Site: fitzgeraldengineering.net

CLIENT: INDUS GROUP, 1080 PITTSFORD VICTOR ROAD PITTSFORD, NY 14534



NEW YORK STATE
LICENSED PROFESSIONAL

GRAPHIC SCALE: 1" = 20'



DRAWING ALLOCATION NOTICE

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW ARTICLE 14C, SECTION 2709 AND APPLIES TO THIS DRAWING: "THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER OR ARCHITECT AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OR ARCHITECT. ANY REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OR ARCHITECT IS A VIOLATION OF THE EDUCATION LAW AND IS SUBJECT TO THE PENALTIES THEREOF."

SCALE 1" = 20'

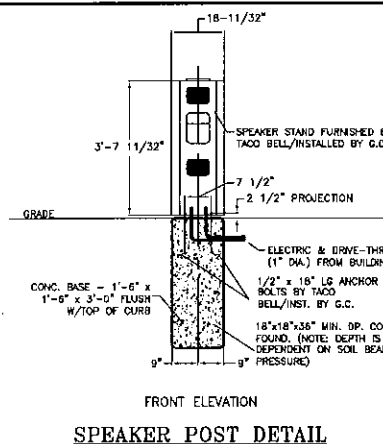
DATE 03.27.2014

SHEET C-8

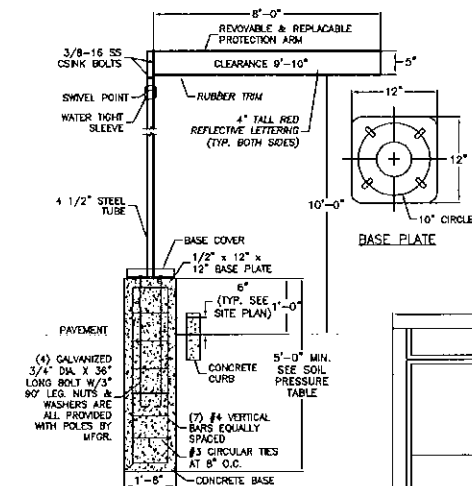
PROJECT NO. 14-0130

FILE NAME 14-0130 DRAWINGS NOT.dwg

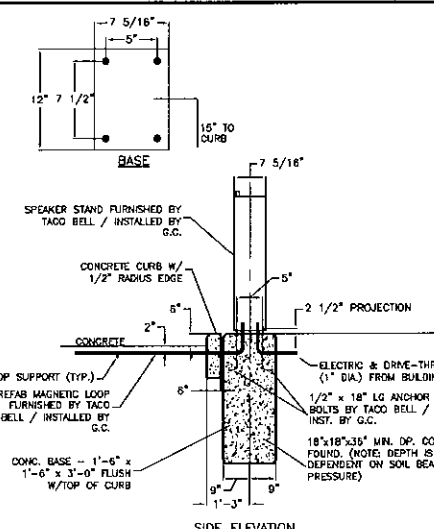
DRAWN BY R/J
CHECKED BY SCP



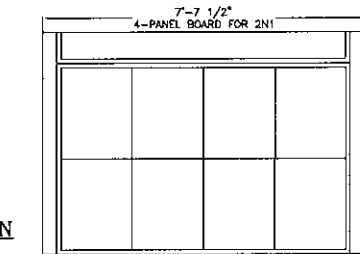
SPEAKER POST DETAIL
N.T.S.



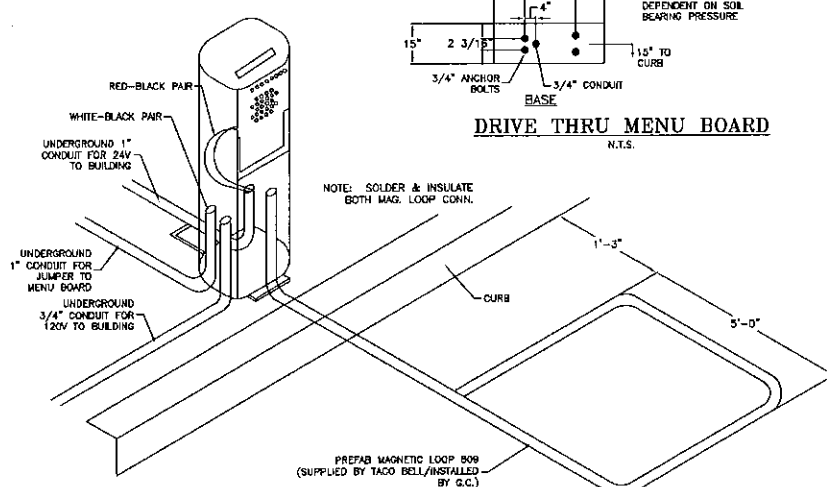
SOFFIT CLEARANCE SIGN
N.T.S.



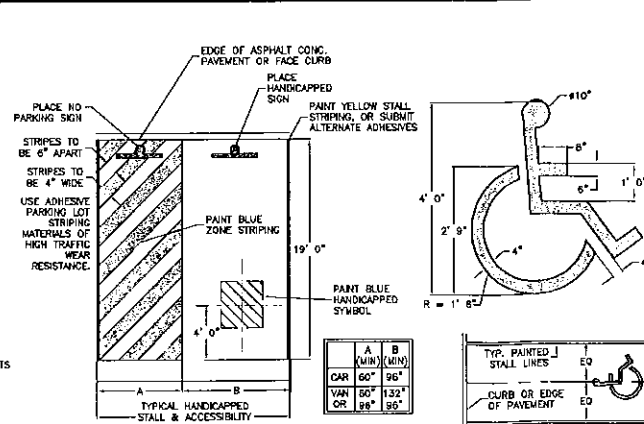
DETECTION/SPEAKER POST DETAIL
N.T.S.



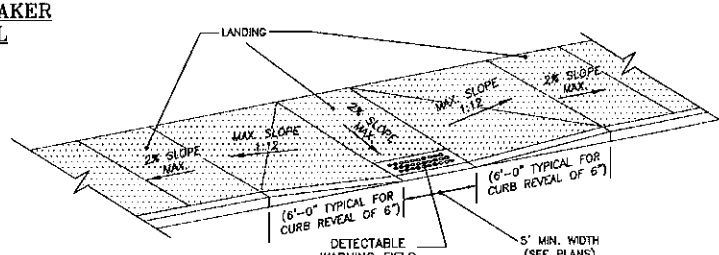
DRIVE THRU MENU BOARD
N.T.S.



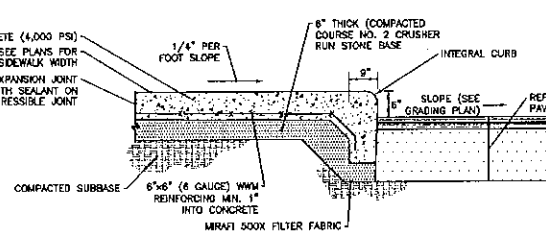
DETECTION/SPEAKER ISOMETRIC
N.T.S.



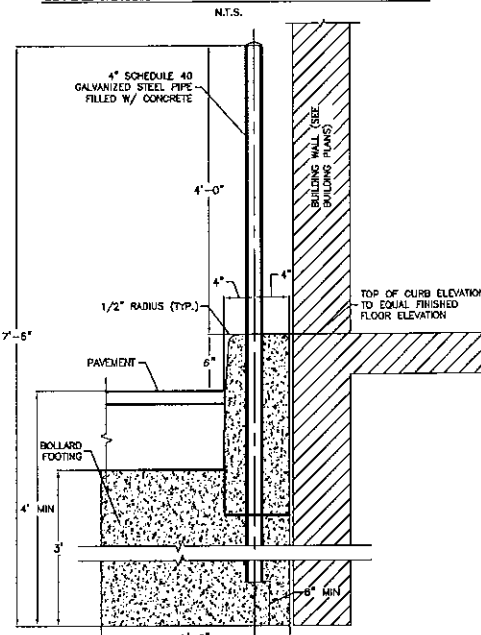
HANDICAP PARKING SPACE DETAIL
N.T.S.



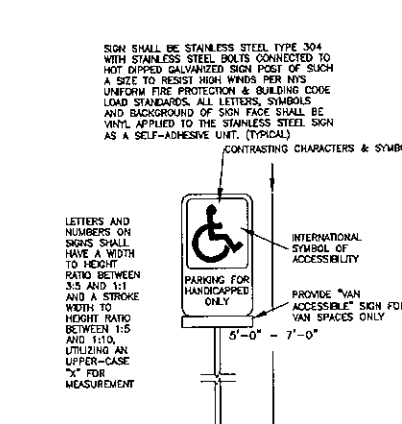
PARALLEL SIDEWALK RAMP DETAIL
N.T.S.



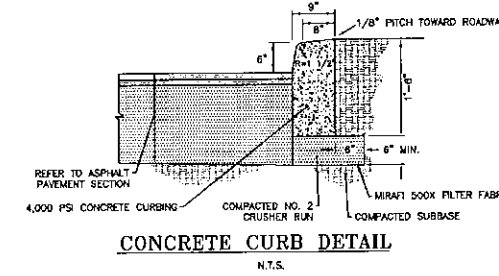
INTEGRAL CURB SIDEWALK DETAIL
N.T.S.



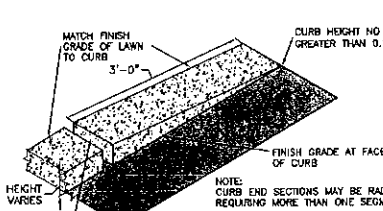
DRIVE THRU CURB & BOLLARD SECTION @ BUILDING
N.T.S.



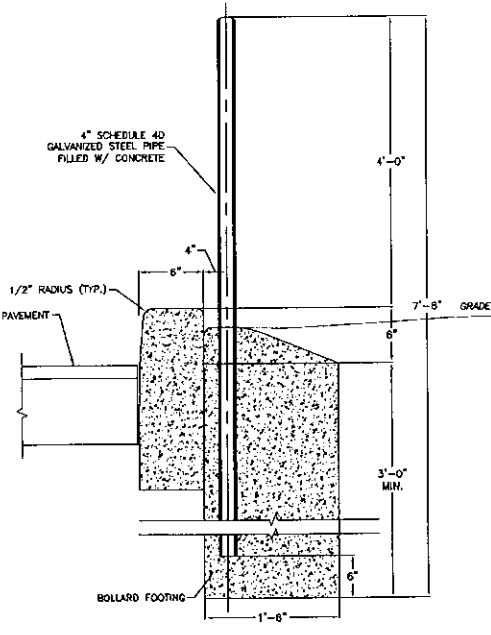
HANDICAP PARKING SIGN DETAIL
N.T.S.



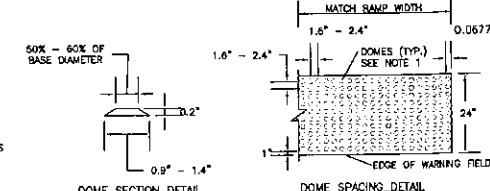
CONCRETE CURB DETAIL
N.T.S.



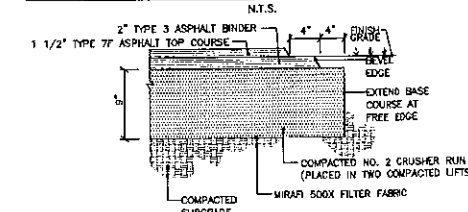
CURB TRANSITION DETAIL
N.T.S.



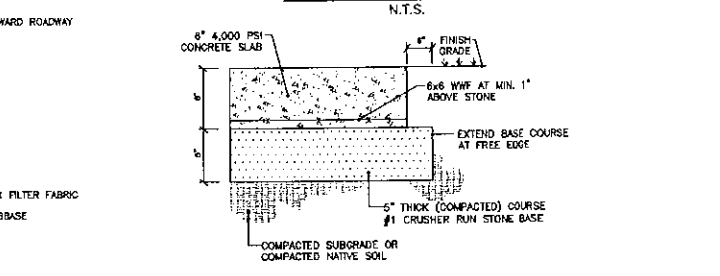
DRIVE THRU CURB & BOLLARD SECTION
N.T.S.



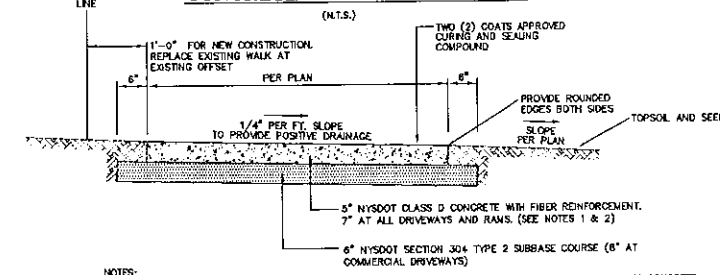
DETECTABLE WARNING PLACEMENT DETAIL
N.T.S.



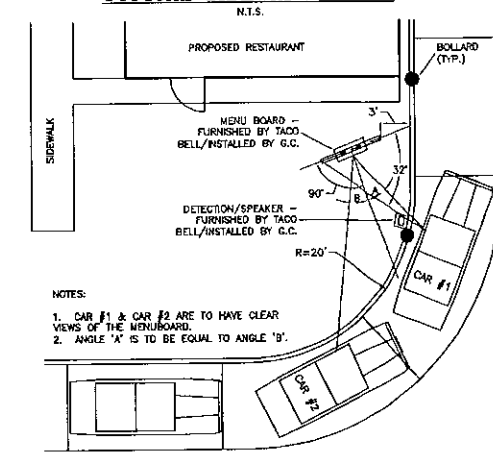
TYPICAL ASPHALT PAVEMENT AND BOXOUT SECTION
N.T.S.



CONCRETE PAVEMENT SECTION
N.T.S.



TYPICAL SIDEWALK DETAIL
N.T.S.



MENU BOARD/SPEAKER LAYOUT
N.T.S.

DETAIL SHEET

FIVE STAR - WEST MAIN SUBDIVISION
BEING A RESUBDIVISION OF LOTS 374, 375, 376, 377, 378, 379 OF BEDFORD TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESSEE STATE OF NEW YORK

PROJECT: FIVE STAR - WEST MAIN SUBDIVISION
CLIENT: TOWN OF PITTSFORD, NEW YORK
DESIGNER: H7Z Grad Engineering, PLLC
1255 University Avenue
Suite 140
Rochester, NY 14607
Phone: 585.581.9907
Web Site: h7zgradengineering.net

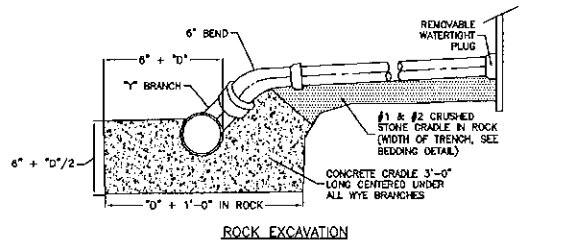
H7Z Grad Engineering
1255 University Avenue
Suite 140
Rochester, NY 14607
Phone: 585.581.9907
Web Site: h7zgradengineering.net



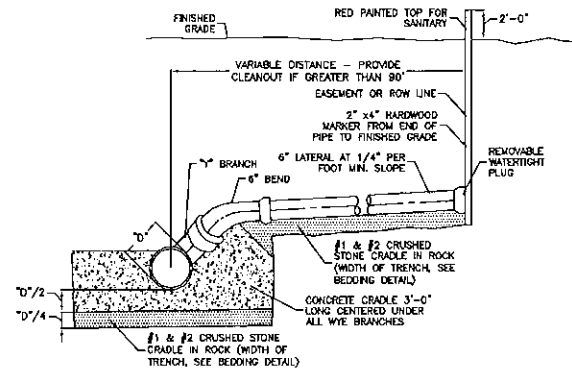
NO.	DATE	BY	REVISIONS
1	03.27.2014	SC	REVISED AS PER CITY COMMENTS
2	03.27.2014	SC	REVISED AS PER CITY COMMENTS
3	03.27.2014	SC	REVISED AS PER CITY COMMENTS
4	03.27.2014	SC	REVISED AS PER CITY COMMENTS
5	03.27.2014	SC	REVISED AS PER CITY COMMENTS
6	03.27.2014	SC	REVISED AS PER CITY COMMENTS
7	03.27.2014	SC	REVISED AS PER CITY COMMENTS
8	03.27.2014	SC	REVISED AS PER CITY COMMENTS
9	03.27.2014	SC	REVISED AS PER CITY COMMENTS

DRAWING ALTERATION NOTICE
THIS DRAWING IS A REVISION OF THE ORIGINAL DRAWING. ANY CHANGES TO THE ORIGINAL DRAWING SHALL BE INDICATED BY A REVISION NUMBER AND A DESCRIPTION OF THE CHANGE. THE REVISION NUMBER SHALL BE PLACED IN THE REVISION TABLE. THE DESCRIPTION OF THE CHANGE SHALL BE PLACED IN THE REVISION TABLE. THE REVISION TABLE SHALL BE PLACED IN THE REVISION TABLE.

SCALE: NOT TO SCALE
DATE: 03.27.2014
SHEET: C-9
PROJECT NO.: 14-0130
FILE NAME: 14-0130 DRAWINGS NOT.dwg
DRAWN BY: R/J
CHECKED BY: SC

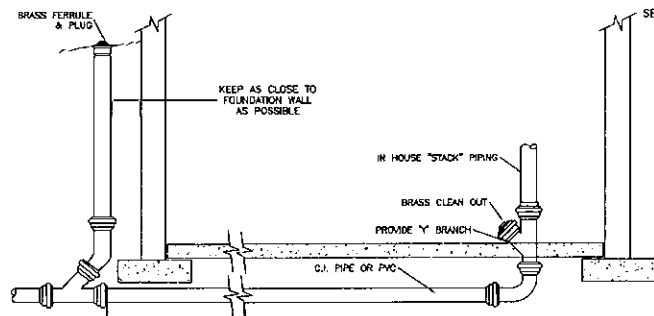


ROCK EXCAVATION

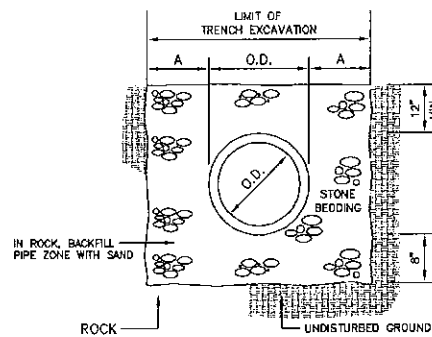


EARTH EXCAVATION

SANITARY SEWER LATERAL DETAIL
N.T.S.

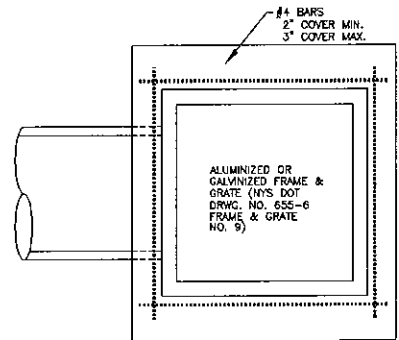


TYPICAL CLEANOUT DETAIL
N.T.S.

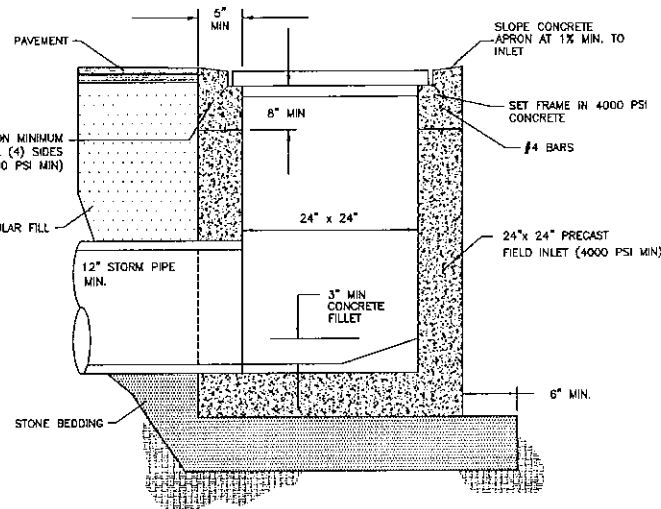


PIPE DIA.	DIAM. OF "A"	"B"
UP TO 18"	1.0'	6"
21" TO 36"	1.5'	9"
OVER 36"	1.5'	12"

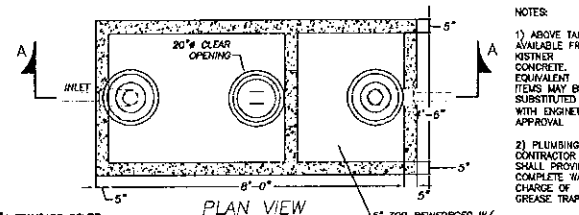
PIPE BEDDING DETAIL
N.T.S.



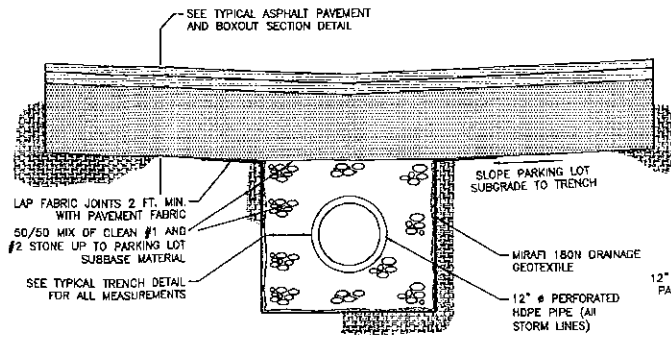
TYPICAL STORMWATER TRENCH DETAIL
N.T.S.



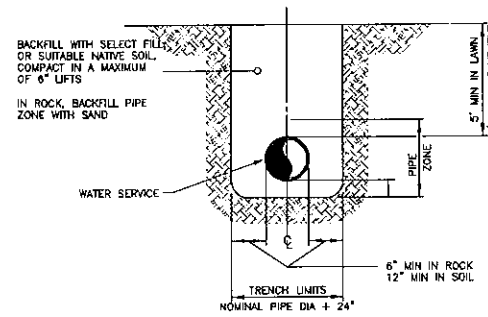
SECTION
STANDARD DROP INLET
N.T.S.



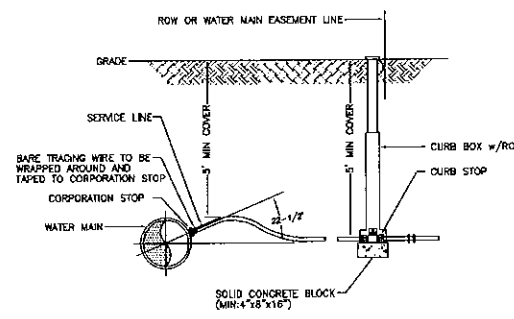
GREASE TRAP DETAILS
H-20 LOAD FOR TRAFFIC:
N.T.S.



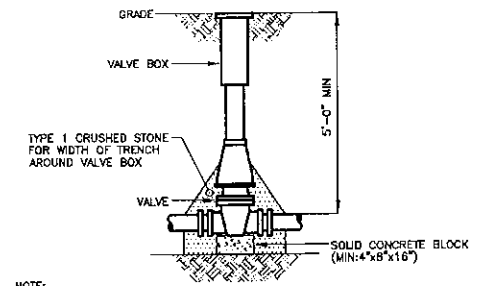
TYPICAL STORMWATER TRENCH DETAIL
N.T.S.



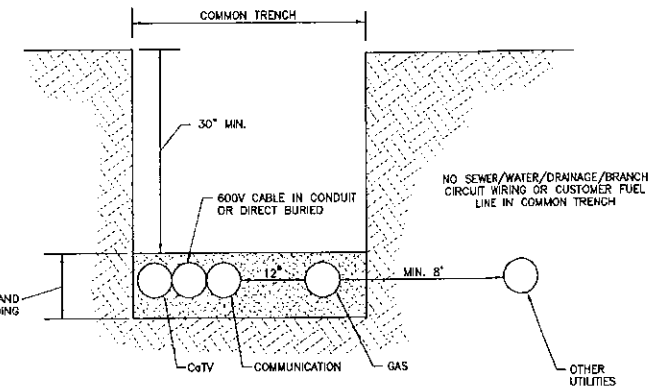
WATER TRENCH DETAIL
N.T.S.



SERVICE INSTALLATION
(N.T.S.)



VALVE DETAIL
N.T.S.



COMMON UTILITY TRENCH
(N.T.S.)

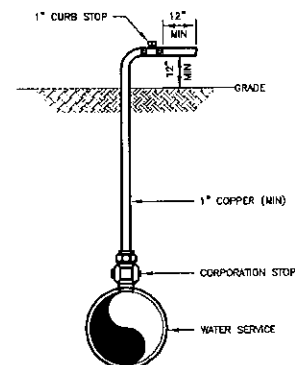
1. WATER SERVICE LINES (LATERALS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY.
2. WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE.
3. WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
4. WATER SERVICE LINES SHALL BE IDENTIFIED AS:

LATERAL IDENTIFICATION	SIZE(1)	MATERIAL(2)	TYPE(3)
MOWA PORTION - FROM THE WATER MAIN TO THE CURB BOX	1"	COPPER TUBING	DS
PRIVATE PORTION - FROM THE CURB BOX TO THE METER	1"	COPPER TUBING	DS

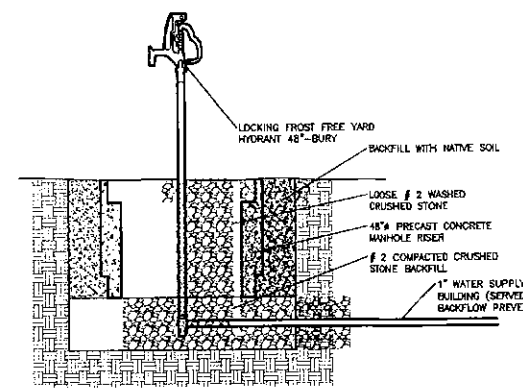
- (1) LATERAL SIZE IS 1-1/2" INCH.
- (2) ACCEPTABLE MATERIALS: EITHER TYPE 30 COPPER OR POLYETHYLENE PLASTIC (PE) 1250 PSI 1/2" MIN. WALL THICKNESS (MATERIAL SHALL BE APPROVED BY THE MONROE COUNTY WATER AUTHORITY).
- (3) SERVICE TYPES INCLUDE DOMESTIC - DS, FIRE - FS, OR COMBINED - CDS.

5. THE MOWA PORTION OF THE WATER SERVICE LINE SHALL BE INSTALLED AFTER THE PRIVATE PORTION.
6. METER IN TIE AT STREET FOR ALL RESIDENCES PROPOSED.

PUBLIC WATER SERVICE LINE NOTES



DISINFECTION/BLOW-OFF/SAMPLING TAP
N.T.S.



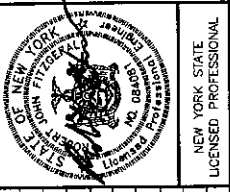
FROST FREE YARD HYDRANT
N.T.S.

DETAIL SHEET

FIVE STAR - WEST MAIN SUBDIVISION
BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376, AND PART OF LOTS 377, 378, AND 379 OF REDFERN TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESSEE STATE OF NEW YORK

PROJECT: FIVE STAR - WEST MAIN SUBDIVISION
LOCATION: 100 WEST MAIN STREET BATAVIA, NY
CLIENT: TOMB PITTSFORD VICTOR ROAD PITTSFORD, NY 14534

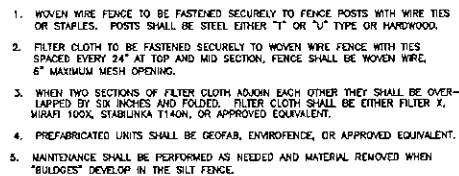
Fitzgerald Engineering
Fitzgerald Engineering, PLLC
1256 University Avenue
Suite 240
Rochester, NY 14607
Phone: 585.281.9697
Web Site: fitzgeraldengineering.net



NO.	REVISIONS	DATE	BY
1	REVISED AS PER CITY COMMENTS	05.22.14	SCF
2	REVISED AS PER CITY COMMENTS	08.28.14	SCF
3	REVISED AS PER CITY COMMENTS	10.21.15	SCF
4			
5			
6			
7			
8			
9			

DRAWING ALLOCATION NOTICE
THE FOLLOWING IS A SUMMARY OF THE ALLOCATION OF THE DRAWING NO. 14-0130 TO THE PROJECT. THE ALLOCATION OF THE DRAWING NO. 14-0130 TO THE PROJECT IS SUBJECT TO THE APPROVAL OF THE MONROE COUNTY WATER AUTHORITY. THE ALLOCATION OF THE DRAWING NO. 14-0130 TO THE PROJECT IS SUBJECT TO THE APPROVAL OF THE MONROE COUNTY WATER AUTHORITY. THE ALLOCATION OF THE DRAWING NO. 14-0130 TO THE PROJECT IS SUBJECT TO THE APPROVAL OF THE MONROE COUNTY WATER AUTHORITY.

SCALE: NOT TO SCALE	PROJECT NO.: C-10	CHECKED BY: SCF
DATE: 03.27.2014	FILE NAME: 14-0130	
SHEET: 14-0130	DRAWINGS: 14-0130	
	DRAWN BY: SCF	



SILT FENCE DETAIL
N.T.S.

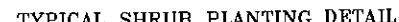


- ### CONSTRUCTION SPECIFICATIONS
1. STONE SIZE: USE STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH: AS REQUIRED, BUT NOT LESS THAN 80 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT LENGTH MAY BE SUFFICIENT).
 3. THICKNESS: NOT LESS THAN SIX (6) INCHES.
 4. WIDTH: TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS FROM/TO THE LOT IS REQUIRED. SINGLE ENTRANCE TO SITE.
 5. FLICK CLOTH: MUST BE PLACED OVER THE STONE AREA PRIOR TO PLACING OF STONE. FLICK MUST NOT BE REQUIRED ON EXISTING DRIVEWAYS.
 6. SURFACE WATER: ALL SURFACE WATER FLOWING OR INVERTED TOWARD THE DRIVEWAY ENTRANCE MUST BE PIPED ACROSS THE ENTRANCE. IF PIPING IS UNPRACTICAL, A MOULDED BURN WITH DRAINAGE MUST BE USED.
 7. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT DRIVING OF MOTOR VEHICLES OR TRUCKS OVER PUBLIC RIGHTS-OF-WAY.
 8. PUBLIC RIGHTS-OF-WAY: NO DRIVEWAY OR TRUCKED INTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 9. WEEDING: WEEDING SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH GROWS INTO AN APPROVED PERENNIAL COVERING.
 10. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER 30 DAYS.

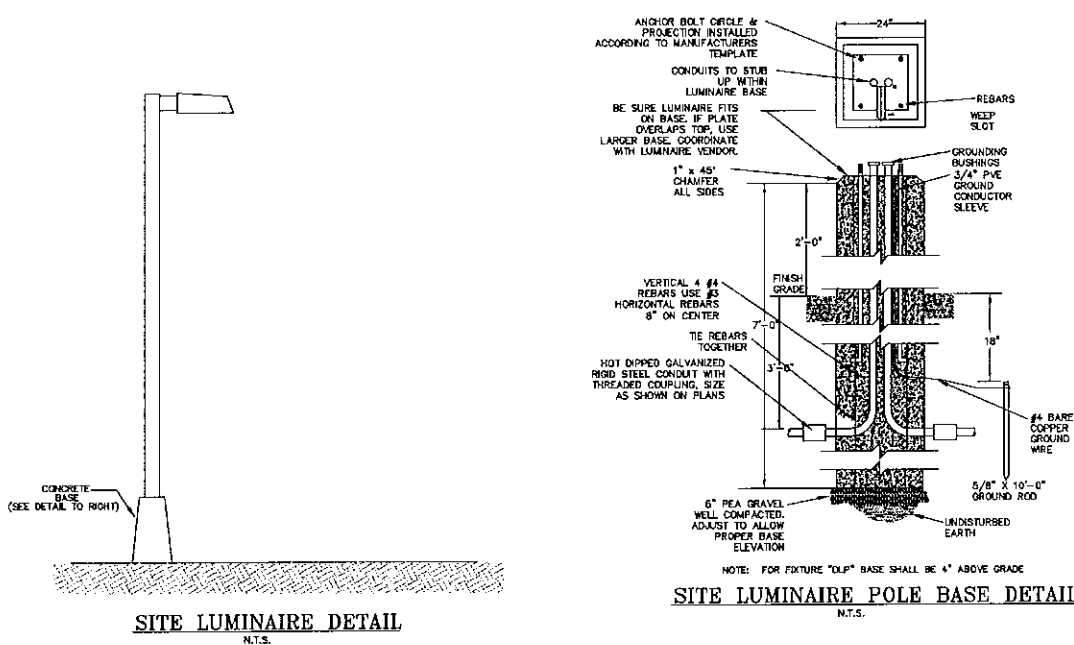


1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. FRAME BURLAPS SHALL BE 2' x 4' MINIMUM OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. STAKE SPACES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 10 INCHES DEEP INTO SOIL. STAKE 3 FEET MAY BE BENT WITH THE USE OF WIRE MESH BELOW THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY TIED TO THE STAKES AND FRAME.
6. 2' x 4' MINIMUM FRAME SHALL BE COMPLETED AROUND THE GREST AND THE FILLING SHALL BE LOW TO THE GROUND.
7. BURLAP MAY BE USED AS A SUBSTITUTE.

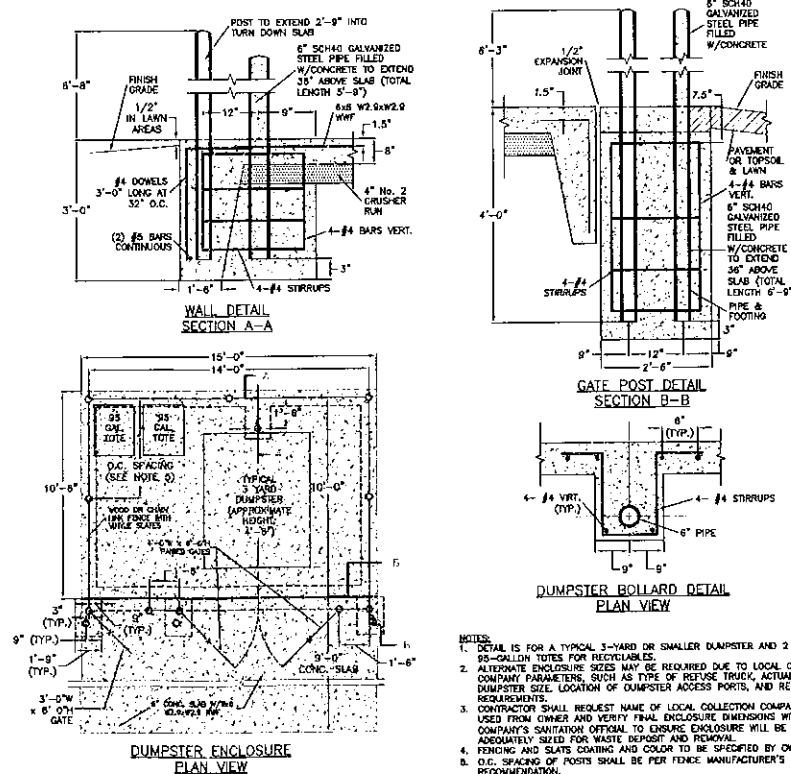
FILTER FABRIC
DROP INLET PROTECTION



ENCLOSURE DETAIL
3-YRD & SMALLER DUMPSTERS
N.T.S.

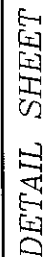


SITE LUMINAIRE DETAIL
N.T.S.



DUMPSTER ENCLOSURE DETAILS
N.T.S.

- NOTES:
1. DETAIL IS FOR A TYPICAL 3-YARD OR SMALLER DUMPSTER AND 2 EQUALIZATION TOTES FOR RECYCLABLES.
 2. ALTERNATE ENCLOSURE SIZES MAY BE REQUIRED DUE TO LOCAL COLLECTION COMPANY PARAMETERS, SUCH AS TYPE OF REFUSE TRUCK, ACTUAL TRUCK SIZE, LOCAL COLLECTION SCHEDULE, ACCESS PORTS, AND RECYCLING REQUIREMENTS.
 3. CONTRACTOR SHALL REQUEST NAME OF LOCAL COLLECTION COMPANY TO BE USED FOR ENCLOSURE CHASER.
 4. CONTRACTOR SHALL VERIFY FINAL ENCLOSURE DIMENSIONS WITH THE COMPANY'S SANITATION OFFICIAL TO ENSURE ENCLOSURE WILL BE ADEQUATELY SIZED FOR WASTE REPORT AND REMOVAL.
 5. COLOR AND FINISH COATING AND COLOR TO BE SPECIFIED BY OWNER.
 6. O.C. SPACING OF POSTS SHALL BE PER FINISH MANUFACTURER'S RECOMMENDATION.
 7. DUMPSTER ENCLOSURE TO BE 8'

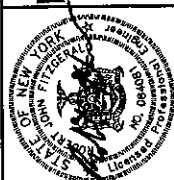


FIVE STAR - WEST MAIN SUBDIVISION
BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376,
AND PART OF LOTS 377, 378, AND 379 OF REDFERN
ESTATE, BEING A PART OF ORIGINAL VILLAGE LOT 102
IN THE CITY OF BATAVIA, COUNTY OF GENESSEE
STATE OF NEW YORK

LOCATION	401-400 WEST MAIN STREET BAYAMA, NY
CLIENT	INDUS GROUP; 1080 PITTSFORD VICTOR ROAD

LITZ Gerald Engineering

Witzgerald Engineering, PLLC
255 University Avenue
Suite 240
Buffalo, NY 14207

NEW YORK STATE
LICENSED PROFESSIONAL

9									
8									
7									
6									
5									
4									
3	REVISED AS PER CITY COMMENTS					10.21.15	SCP		
2	REVISED AS PER CITY COMMENTS					09.28.14	SCP		
1	REVISED AS PER CITY COMMENTS					05.22.14	SCP		
NO						DATE	BY		
	REVISIONS								

DRAWING ALTERATION NOTICE

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 2009 AND APPLIES TO THIS DRAWING:

"IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING, EMBROIDER, OR LAND SURVEYOR SHALL APPLY TO THE ITEM HIS SEAL AND THE NOTATION 'ALTERED' FOLLOWED BY HIS SIGNATURE AND THE DATE OF SEAL 'ALTERED' AND A SPECIFIC DESCRIPTION OF THE ALTERING."

SCALE
NOT TO SCALE

DATE 03 27 2014

03.27.2014

PROJECT NO. 6-11

FILE NAME
14-0130

14-0130	DRAWINGS	ROT.dwg
DRAWN BY	CHECKED BY	