

ZONING BOARD OF APPEALS

Thursday, January 26, 2017

6:00 pm

Council Board Room

One Batavia City Centre, Batavia, NY

AGENDA

- I. Roll Call
- II. Call to order
- III. Pledge of Allegiance
- IV. Approval of December 15, 2016 minutes
- V. Statement about the role of the Zoning Board of Appeals and the procedure it follows
- VI. Variance Requests

A. Request #1 *23 Roosevelt Ave.*
David Culver, owner

Area Variance: Placement of a 21' round above ground swimming pool
with deck in the southeast side yard on this corner lot
parcel

- 1. Review application
- 2. Public hearing and discussion
- 3. Action by the board

B. Request #2 *238 Vine St.*
Robert Greathouse, Trustee for Grace Baptist Church

Area Variance: Installation of a parking lot in the front yard of this church
property

- 1. Review application
- 2. Public hearing and discussion
- 3. Action by the board

VII. Setting of Next Meeting: February 23, 2017

VIII. Adjournment

ZONING BOARD OF APPEALS
Draft Minutes
Thursday, December 15, 2016
6:00 pm
Council Board Room
One Batavia City Centre, Batavia, NY

Members present: *Lee Hyatt, Sandra Licata, Paul McCarthy*

Members absent: Nicholas Harris, Deborah Kerr-Rosenbeck

Others present: Meg Chilano – Clerk, Doug Randall – Code Enforcement Officer

I. Roll Call

Roll call of the members was conducted. Three members were present and Chairman McCarthy declared a quorum.

II. Call to Order

Mr. McCarthy called the meeting to order at 6:06 pm.

III. Pledge of Allegiance

IV. Approval of Minutes

MOTION: Mr. Hyatt moved to approve the minutes as written; the motion was seconded by Mr. McCarthy, and on roll call, was approved 3-0.

RESULT: Approval of August 25, 2016 minutes.

V. Zoning Board of Appeals statement

Mr. McCarthy explained the role of the Zoning Board of Appeals and the procedures it follows.

VI. Variance Request

Use Variance: Construction of a two story, two family dwelling on this vacant parcel located within the R-1 residential use district

Address: *151 Oak St.*

Applicant: Fred Mruczek, owner

Actions: 1. Review application
2. Public hearing and discussion
3. SEQR
4. Action by the board

1. Review Application

Vice Chair Dr. Licata read the summary of the proposal. Mr. McCarthy reported that the Genesee County Planning Board, as well as the Planning and Development Committee recommended approval of the project.

2. Public Hearing and Discussion

MOTION: Mr. McCarthy moved to open the public hearing; the motion was seconded by Dr. Licata, and on roll call, was approved 3-0.

RESULT: Public hearing opened at 6:11 pm.

Mr. Del Plato spoke on behalf of the estate. He pointed out that the situation with the property was not created by Mr. Mruczek. The property was originally purchased by Mr. Adolph Mruczek with the intention to build a two-family dwelling; the R-1 zoning at the time allowed for it. Mainly for reasons due to declining health, he failed to carry out his intention. The property was put up for sale and has been on the market for several years with no offers.

Mr. Fred Mruczek would like to purchase the property from the estate and build a two-family dwelling as was originally planned. The zoning changed in 1999 and no longer allows for two-family dwellings, however, a single-family dwelling would not provide a viable investment opportunity. It was also noted that there are two other multiple-family dwellings in the vicinity.

MOTION: Mr. McCarthy moved to close the public hearing; the motion was seconded by Dr. Licata, and on roll call, was approved 3-0.

RESULT: Public hearing closed at 6:27 pm.

Dr. Licata asked if the house would look like the one Mr. Mruczek constructed on River St. or the one he constructed on Burke Dr. Mr. Mruczek answered that it will look exactly like the one on Burke Dr.

Mr. McCarthy went through the list of supporting criteria for the use variance:

- Reasonable Return: no offers on the property
- Unique Hardship: the zoning changed
- Essential Character of the Neighborhood: will fit into the neighborhood
- Self-created: no

3. SEQR

Mr. McCarthy asked if the board had reviewed part one of the SEQR application and they indicated they had. The board went through the questions for part two.

MOTION: Dr. Licata moved to approve a negative declaration of SEQR; the motion was seconded by Mr. McCarthy, and on roll call, was approved 3-0.

RESULT: Negative declaration of SEQR

4. Action by the Board

MOTION: Mr. McCarthy moved to approve the variance with 6 months to obtain the permit. The motion was seconded by Dr. Licata, and on roll call, was approved 3-0.

VII. New Business: 2017 meeting dates

MOTION: Dr. Licata moved to approve the 2017 meeting dates; the motion was seconded by Mr. McCarthy, and on roll call, was approved 3-0.

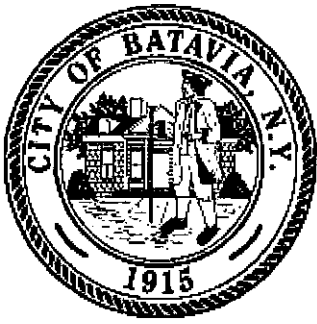
RESULT: Approval of 2017 meeting dates.

VIII. Setting of Next Meeting: January 26, 2017

IX. Adjournment

Mr. McCarthy moved to adjourn the meeting at 6:37 pm; Mr. Hyatt seconded. All voted in favor.

Meg Chilano
Bureau of Inspection Clerk



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 12/12/16

Re: 23 Roosevelt Ave.
Tax Parcel No. 84.009-4-1

Zoning Use District: R-2

The applicant, David Culver (owner), has applied for approval to place a 21' round aboveground swimming pool with pool deck in the southeast side yard on this corner lot parcel.

Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (10).

Review and Approval Procedures:

Zoning Board of Appeals- Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

BMC Sec. 190-35 D. Swimming pools may not occupy any required yard other than a rear yard.



CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

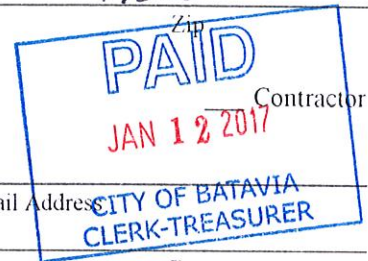
Application No.: 16-21
Hearing Date/Time: _____

APPLICANT: DAVID & TAMMY CULVER

dculver234@gmail.com

Name 23 ROOSEVELT AVENUE E-Mail Address _____
Street Address _____ Phone _____ Fax _____
City BATAVIA State NY Zip 14020

STATUS: ☒ Owner ☐ Agent for Owner



OWNER: - SAME -

Name _____ E-Mail Address _____
Street Address _____ Phone _____ Fax _____
City _____ State _____ Zip _____

LOCATION OF PROPERTY: 23 ROOSEVELT AVENUE

DETAILED DESCRIPTION OF REQUEST: SWIMMING POOL TO BE INSTALLED
ON A CORNER LOT

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Tammy Culver
Applicant's Signature

_____ Date

Tammy Culver
Owner's Signature

_____ Date

To be Filled out by Zoning Officer

TAX PARCEL: 84.009-4-1 ZONING DISTRICT: R-2 FLOOD PLAIN: No

TYPE OF APPEAL: ☒ Area Variance ☐ Use Variance ☐ Interpretation ☐ Decision of Planning Committee
FEE: ☒ \$50 (One or Two Family Use) ☐ \$100 (All other Uses)

Provision(s) of the Zoning Ordinance Appealed: BMC 190-35 D. Swimming Pools
May not occupy any required space other than a rear yard.

Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.
There will be no undesirable change. There are numerous similar corner lots with pools.
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. There are no other means feasible, it is a corner lot
3. **Substantiality.** The requested area variance is not substantial. The only variance needed is to allow a pool in a front yard, behind the house and to the rear of the house. It is in the "side yard."
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.
There will be no adverse effect and no impact.
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title. This is due a governmental action in defining a rear yard.

Applicant's Signature

Date

DATE: _____

APPLICANT NAME & PHONE: DAVID & TIMMY CULLEN**Project Location and Information**

Permit #: _____ Fee: _____

Address of Project: 23 ROOSEVELT AVENUE, BATAVIA NY 14020Owner & Address: DAVID & TIMMY CULLEN, 23 ROOSEVELT AVENUE, BATAVIA NY 14020Phone: (585) 948-9191**Project Type/Describe Work**Estimated cost of work: \$5000.00

Start date: _____

Describe project:

INSTALL A SWIMMING POOL, REAR SLIDING DOOR, 2 DECKS, REPLACE SHED, REPLACE FRONT DOOR, INSTALL (REPLACE) FENCE - 60', REPLACE 60' SIDEWALK**Contractor Information** – Insurance certificates (liability & workers comp) required being on file**GENERAL**Name/Address: DEEP BLUE POOL - BATAVIA NY 14020

Phone: _____

PLUMBING (City of Batavia Licensed Plumber Required)Name/Address: NA

Phone: _____

HEATINGName/Address: NA

Phone: _____

ELECTRICAL (Third Party Electrical Inspection Required)Name/Address: SELF

Phone: _____

FOR OFFICE USE ONLY

Zoning District: _____ Flood Zone: _____ Corner Lot: _____ Historic District/Landmark: _____

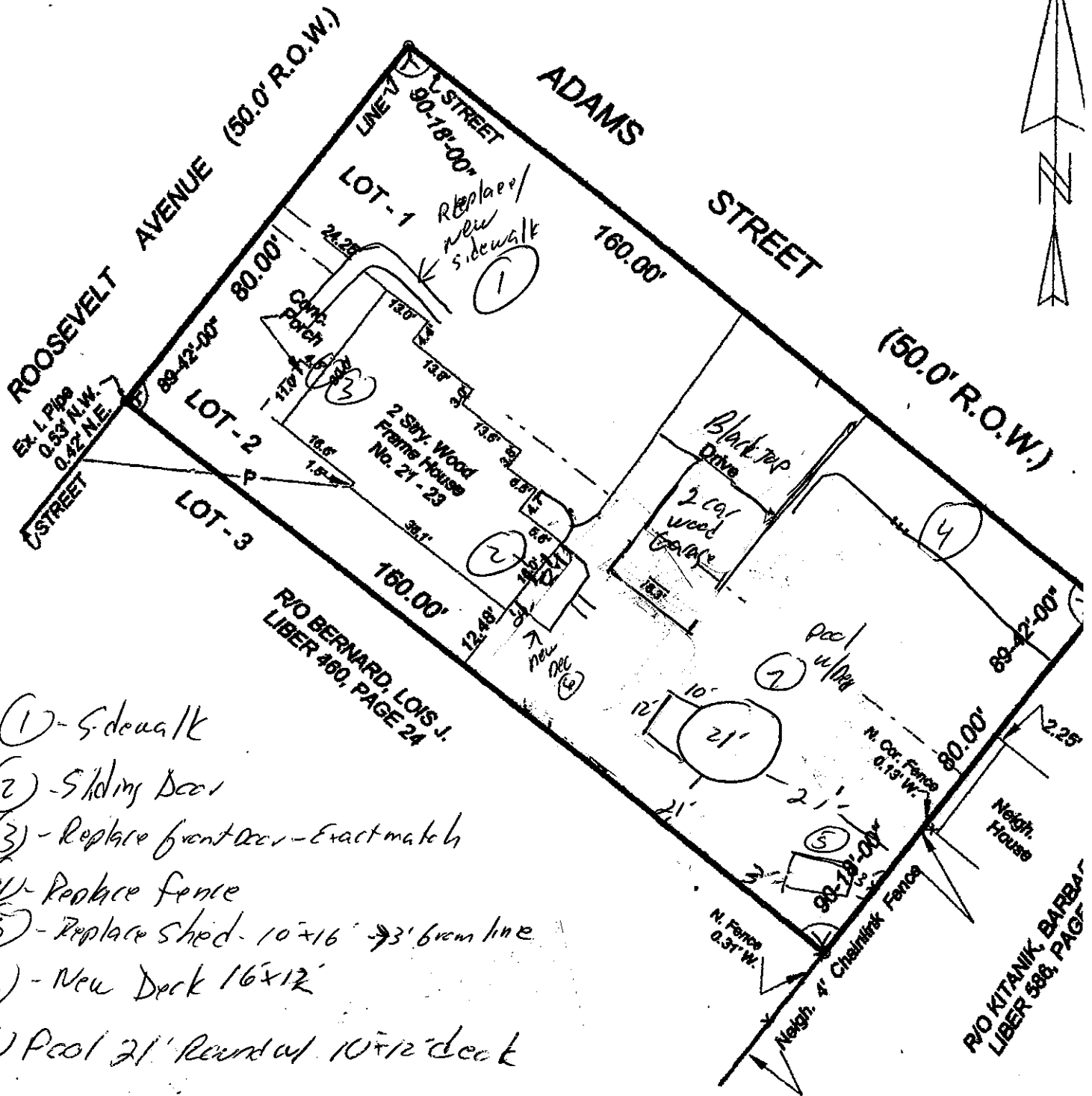
Zoning Review: _____ Variance Required: _____ Site Plan Review: _____ Other: _____

National Grid Sign Off (Pools): _____ Lot Size: _____

Existing Use: _____ NYS Building Code Occupancy Class: _____

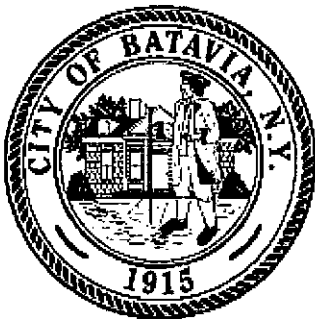
Proposed Use: _____ NYS Building Code Occupancy Class: _____

side plan



- ① - Sidewalk
- ② - Sliding Door
- ③ - Replace front door - Exact match
- ④ - Replace fence
- ⑤ - Replace shed - 10'x16' - 3'6" from line
- ⑥ - New Deck 16'x12'
- ⑦ Pool 21' Round w/ 10'x12' deck

REFERENCES:
ANNA MILHAM'S SUBDIVISION FILED AT BOOK 3
OF MAPS PAGE 121.



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Planning and Development Committee
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 12/13/16

Re: **238 Vine St.**
Tax Parcel No. 71.020-1-39.1

Zoning Use District: R-1 and R-1A

The applicant, Robert Greathouse (Trustee for Grace Baptist Church), has file an application to permit the installation of a parking lot in the front yard of this church property.

Review and Approval Procedures

City Planning and Development Committee- Pursuant to section 190-49 C. of the zoning ordinance, the Planning and Development Committee shall review parking variances and make recommendations to the ZBA.

Zoning Board of Appeals- Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) **BMC 190-39 B(1)(a) Parking is to be located behind or to the side of the principal building. The parking area is proposed in front of the principal building.**
- 2) **BMC 190-39 B(2) Parking areas containing more than 30 spaces shall be broken into separate lots by tree lines, alleys, pedestrian areas or buildings.**
- 3) **BMC 190-39 B(3) 10' buffer is required between residential and commercial properties.**

An approximately 45' portion of the proposed new driveway measured eastward along the northern property line, from a starting point on the northwest corner of the property, is lacking the full 10' buffer required by this section.

The Zoning Board of Appeals will be the lead agency to conduct SEQR.

GENESEE COUNTY PARCEL MERGE REQUEST



REQUIREMENTS TO COMPLETE MERGE REQUEST:

- All real property taxes assessed to each parcel must be paid in full
- The owner(s) and type of ownership interest of each parcel must be the same
- All parcels must be located in the same school district, agricultural district, and / or special district(s)
- All parcels must be contiguous to one another
- All parcels must be located in the same tax map section
- The owner(s) must complete and return an Affidavit of Ownership (see reverse)

Property Owner(s)

Grace Baptist Church

238 Vine Street

Batavia, NY 14020

Municipality City of Batavia

Mailing Address of Applicant(s)

238 Vine Street

Batavia, NY 14020

Tax Map Numbers to be Merged

71.020-1-39.11

71.020-1-40

Deed References

Liber 885 Page 7

Liber 915 Page 822

Liber _____ Page _____

Liber _____ Page _____

Important: A filing fee of \$55.00 plus \$.50 for each deed listed above is required in order for this form to be accepted. This fee must be paid in the form of a check made payable to the Genesee County Clerk.

Please make sure to sign the affidavit on the back of this form. Please mail or deliver original, completed forms to:

Genesee County Real Property

County Building #1

Batavia, NY 14020

(585) 344-2550 ext. 2225

Please note that future separation of parcels combined by this request may be subject to Town / City / Village Planning Board Approval

REQUEST APPROVED ☒

By JRG

Date 12/16/2016

New Tax Map # 71.020-1-39.111

REQUEST DENIED ☐ DUE TO:

☐ Unpaid property taxes

☐ Different ownership

☐ Different school / ag / special district

☐ Parcels not contiguous

☐ Parcels not on the same map section

☐ Incorrect fee amount / incorrect form of payment

☐ Incorrect signatures / form otherwise incomplete



CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.: 16-20
Hearing Date/Time: _____

APPLICANT: Grace Baptist Church bob@clstone.us
Name E-Mail Address
238 Vine Street (585) 343-0729
Street Address Phone Fax
Batavia New York 14020
City State Zip

STATUS: ☒ Owner ☐ Agent for Owner ☐ Contractor

OWNER: Grace Baptist Church bob@clstone.us
Name E-Mail Address
238 Vine Street (585) 343-0729
Street Address Phone Fax
Batavia New York 14020
City State Zip

LOCATION OF PROPERTY: 238 Vine Street

DETAILED DESCRIPTION OF REQUEST: To expand the existing parking area in the front of the church building to accommodate additional vehicles. This need is a direct result of the continued increase in our membership. Approximate area = 18,000 sq ft

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Robert J. Mesthune
Applicant's Signature

12/8/16
Date

Robert J. Mesthune, Chairman of
Owner's Signature Trustees

12/8/16
Date

To be Filled out by Zoning Officer

TAX PARCEL: 71.020-1-39.1 ZONING DISTRICT: R-1 + R-1A FLOOD PLAIN: No

TYPE OF APPEAL: ☒ Area Variance
☐ Use Variance
☐ Interpretation
☐ Decision of Planning Committee

FEE: ☐ \$50 (One or Two Family Use)
☒ \$100 (All other Uses)

Provision(s) of the Zoning Ordinance Appealed: BMC 190-39 B(1)(a); BMC 190-39 B(2); BMC 190-39 B(3)

Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.
This would be a desirable change as our intent is to minimize the number of vehicles parked along Vine Street in front of our neighbors homes during church activities.
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. The parking area on the east side of the property has been expanded to its maximum size. Additional expansion is not allowed as this is considered wet land
3. **Substantiality.** The requested area variance is not substantial. Since a parking area already exists on this side of the Facility, we do not believe the expansion to be substantial ✓
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.
By adding landscaping around the perimeter as well as a 14,100 sq. ft grass area between the parking area and the side walk along Vine Street, we will be enhancing the physical and environmental condition of the neighborhood.
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title. This need developed as a direct result of the continued growth of our church membership

Robert Z. Menthmore
Applicant's Signature

Chairman of Trustees
Grace Baptist Church

12/8/16
Date

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Grace Baptist Church : Parking Lot Expansion			
Name of Action or Project:			
Project Location (describe, and attach a location map): 238 Vine Street			
Brief Description of Proposed Action: Expand the front parking area by approximately 18,100 sq. ft. The proposed expansion to include a landscaped and grass area of approximately 19,100 sq. ft. between the parking surface and sidewalk along Vine St.			
Name of Applicant or Sponsor: Grace Baptist Church		Telephone: (585) 343-0729 E-Mail: bob@clstone.us	
Address: 238 Vine Street			
City/PO: Batavia		State: NY	Zip Code: 14020
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO X YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO X YES
3.a. Total acreage of the site of the proposed action?		0.74 acres	
b. Total acreage to be physically disturbed?		0.42 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4.79 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	NO <input type="checkbox"/>	YES <input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES If Yes, briefly describe: _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	<input checked="" type="checkbox"/>
Please refer to Storm Water Management Study prepared by PDM Engineers dated March 2016			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: <u>The plan calls for the construction of 2 absorption trenches approximately 61 ft long by 6 ft wide to meet storm water run-off requirements</u>	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <u>A home that was constructed on the recent 33 acres of property purchased by the church has been demolished per City Permit. The structure contained asbestos</u>	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Grace Baptist Church</u> Date: <u>12/8/16</u>		
Signature: <u>Robert J. Perdue: Chairman of Trustees</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: <div>a. public / private water supplies?</div> <div>b. public / private wastewater treatment utilities?</div>		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

GRACE BAPTIST CHURCH
PARKING LOT EXPANSION
238 VINE STREET
CITY OF BATAVIA, GENESEE COUNTY, NEW YORK



Revisions:	
Revision Number	Date

Project:
GRACE BAPTIST CHURCH
238 VINE STREET
CITY OF BATAVIA, GENESEE COUNTY, NY

Title:
COVER SHEET



PDM
ENGINEERS
115 Grandview Terrace
Batavia, NY 14020
Tel: 585 345-1159
Email: pdmeng@empresocosa.net

Date: MARCH 2016
Scale: NONE
Designed by: PDM
Drawn by: DTD
Checked by: PDM

Drawing No.:
C-1216
©2016, PDM Engineers

PERMIT AND UTILITY DATA

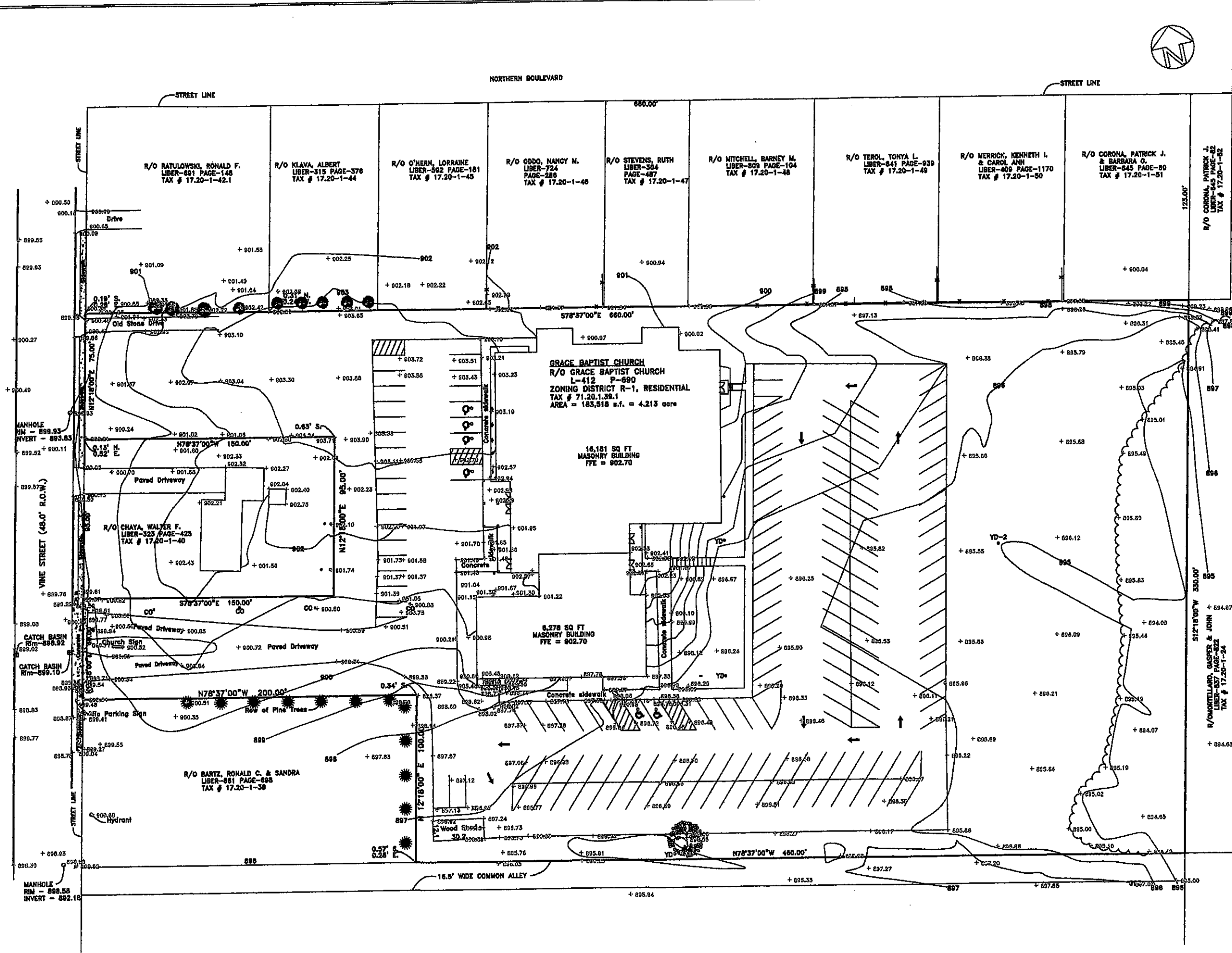
BUILDING PERMIT	CITY OF BATAVIA ONE CITY CENTRE BATAVIA, NY 14020 PH. 585 345-8345
CONTACT:	DOUG RANDALL
TITLE:	CODE ENFORCEMENT OFFICER
ZONING APPROVAL	CITY OF BATAVIA ONE CITY CENTRE BATAVIA, NY 14020 PH. 585 345-8345
CONTACT:	DOUG RANDALL
TITLE:	CODE ENFORCEMENT OFFICER
GAS SERVICE	NATIONAL FUEL PH. 1 800 385-3234
ELECTRICAL SERVICE	NATIONAL GRID PH. 1 800 642-4272
CABLE SERVICE	TIME WARNER COMMUNICATIONS 29 CEDAR STREET BATAVIA, NY 14020 PH. 585 344-2188
TELEPHONE SERVICE	VERIZON 716 890-8464

DRAWING INDEX

C-1216	COVER SHEET
C1-1216	EXISTING SITE PLAN
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C3-1216	GRADING/DRAINAGE PLAN
C4-1216	EROSION & SEDIMENTATION CONTROL PLAN
C5-1216	DETAILS

PROJECT DIRECTORY

OWNER	GRACE BAPTIST CHURCH 238 VINE STREET BATAVIA, NY 14020 PH. 585 345-0727
SURVEYOR	GREGORY W. TOWNSEND, LS 435 EAST MAIN STREET BATAVIA, NY 14020 PH. 585 344-1331
CIVIL ENGINEER	PDM ENGINEERS 115 GRANDVIEW TERRACE BATAVIA, NY 14020 PH. 585 345-1159



- KEY:
- 801 EXISTING ELEVATION CONTOUR
 - + 895.84 SPOT ELEVATION
 - PROPERTY LINE
 - # UTILITY POLE
 - X LIGHT POLE
 - WATER SERVICE VALVE
 - NATURAL GAS SERVICE VALVE
 - ! SIGN
 - CO+ CLEANOUT
 - YD+ YARD DRAIN

Revisions:

Revision Number	Date

Project: GRACE BAPTIST CHURCH
238 VINE STREET
CITY OF BATAVIA, GENESEE COUNTY, NY

Title: EXISTING SITE PLAN



PDM ENGINEERS
115 Grandview Terrace
Batavia, NY 14020
Tel: 585 345-1159
Email: pdm@empireonline.net

Date: MARCH 2016
Scale: 1"= 30'
Designed by: PDM
Drawn by: DTD
Checked by: PDM

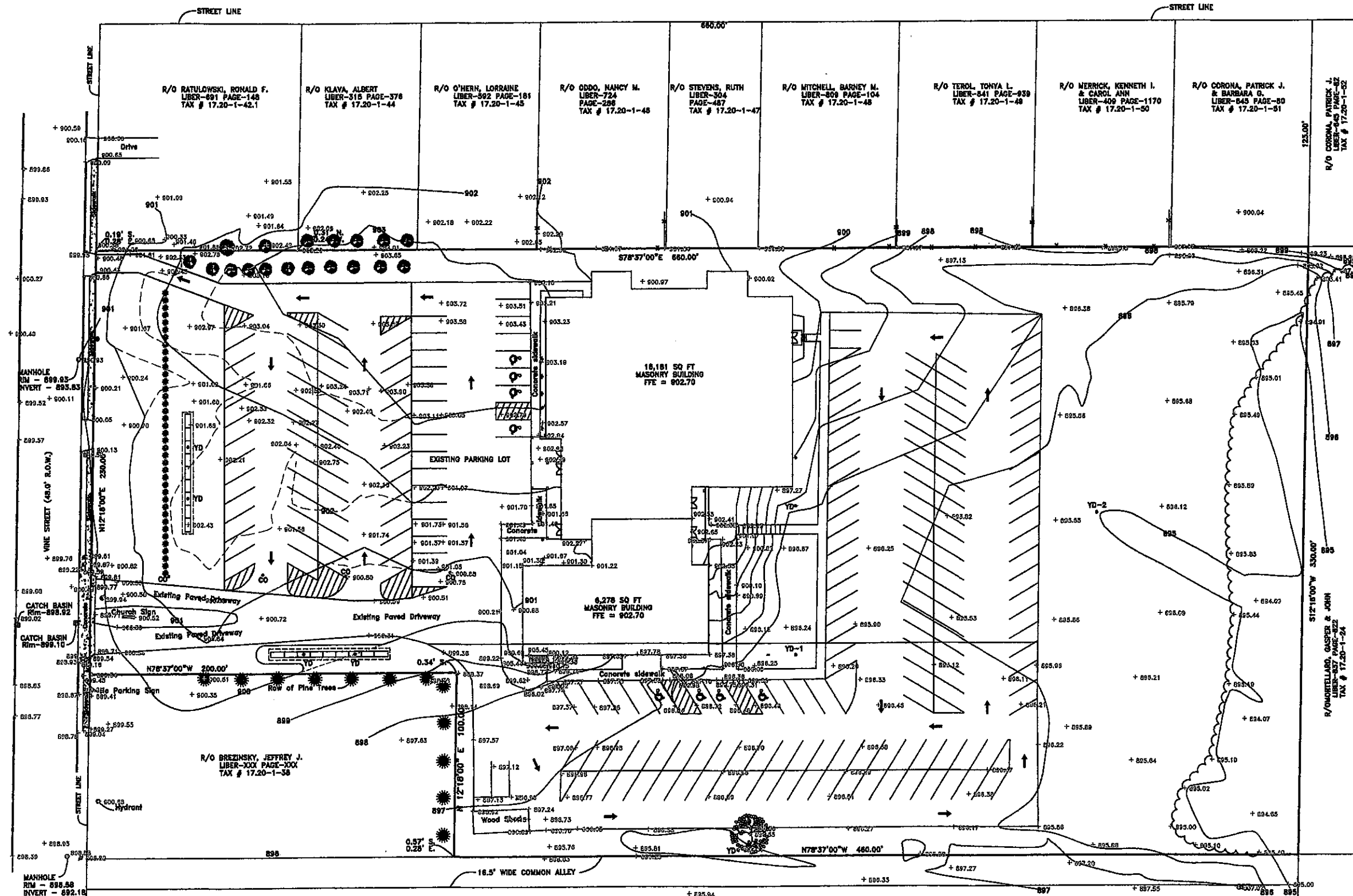
Drawing No.:
C1-1216
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NORTHERN BOULEVARD



- KEY:**
- 801 — PROPOSED ELEVATION CONTOUR
 - 809 — EXISTING ELEVATION CONTOUR
 - 806.50 PROPOSED SPOT ELEVATION
 - — PARKING LOT EXPANSION LIMIT
 - — PROPERTY LINE
 - # UTILITY POLE
 - X LIGHT POLE
 - WATER SERVICE VALVE
 - NATURAL GAS SERVICE VALVE
 - ! SIGN
 - CO CLEANOUT
 - YD YARD DRAIN



GENERAL NOTES

1. Bench Mark— all elevations shown on all drawings for this project are referenced to the rim of the catch basin located on the east side of Vine Street at the entrance to this site at elevation 898.10.
2. All construction shall comply with local municipal and county codes and standards. All construction shall be performed in accordance with all applicable OSHA, Federal, State, and Local regulations. The State of New York Industrial Code, Section 23-4 relating to excavation, shoring, and bracing shall be made a part of this specification. The applicable portions of the Federal Occupational Safety and Health Act hereinafter referred to as OSHA shall be strictly complied with.
3. The Contractor shall obtain all necessary construction permits required to perform the work. The contractor shall post all bonds pay all fees, provide proof of insurance and provide traffic control as necessary for this work.
4. Should any uncharted, or incorrectly charted, existing piping or other utility be uncovered during excavation, consult the Engineer immediately before proceeding further with the work in this area.
5. The Contractor shall restore any structures, pipe, utility, pavement, landscape area, etc. within the site or adjoining properties disturbed during demolition or construction to their original condition or better, and to the satisfaction of the Owner and local municipality.
6. The Contractor shall be responsible to install and maintain traffic devices for protection of pedestrians and vehicles consisting of drums, barriers, signs, lights, fences, and uniformed traffic controllers in accordance with NYS DOT specifications and/or required or directed by the Engineer, the City of Batavia, or construction manager. The Contractor shall maintain all traffic lanes and pedestrian walkways at all times unless written approval from the City of Batavia or other governing authority is received.
7. The Contractor shall notify the Engineer should any discrepancy regarding the proposed work or unforeseen conditions arise prior to proceeding further with the affected work.
8. The General Contractor shall be responsible to raise (or lower) and modify existing manholes, water and gas valves, or yard drains, and other utility elements to meet line of new paving or grading.
9. The General Contractor shall remove all brush and trees necessary to perform the contract work whether shown or not on drawings.
10. The Contractor is responsible for the removal of all existing elements including pavement, structures, and foundations as required to accommodate the new work.
11. All new concrete and asphaltic surfaces must meet existing layouts and elevations.
12. The Contractor shall provide as-built records of all construction (including underground utilities) to the Owner following completion of construction activities.
13. Refer to detail sheets for Erosion and Sedimentation Control, Utility, and Paving details as applicable.
14. The Contractor is responsible for the removal and disposal of all rubbish, trash, debris, and organic material in a lawful manner.
15. The Contractor shall be responsible for verifying all dimensions for buildings, manholes, concrete slabs, driveways, and utility service point connections and notifying the Owner and Engineer of any conflicts or discrepancies prior to construction.
16. Topsoil stripped from the site may be placed as directed by owner. Do not stock pile topsoil or earth closer than 20'-0" from existing trees to remain. Excess topsoil to be removed from site.

Revisions:

Revision Number	Date

Project: GRACE BAPTIST CHURCH
238 VINE STREET
CITY OF BATAVIA, GENESEE COUNTY, NY

Title: PROPOSED PARKING LOT EXPANSION



PDM ENGINEERS

115 Grandview Terrace
Batavia, NY 14020
Tel: 585 345-1159
Email: pdm@pdmengineers.net

Date: MARCH 2016

Scale: 1"= 30'

Designed by: PDM

Drawn by: DTD

Checked by: PDM

Drawing No.:

C2-1216

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ZONING INFORMATION

ZONING DISTRICT - R-1A (RESIDENTIAL)

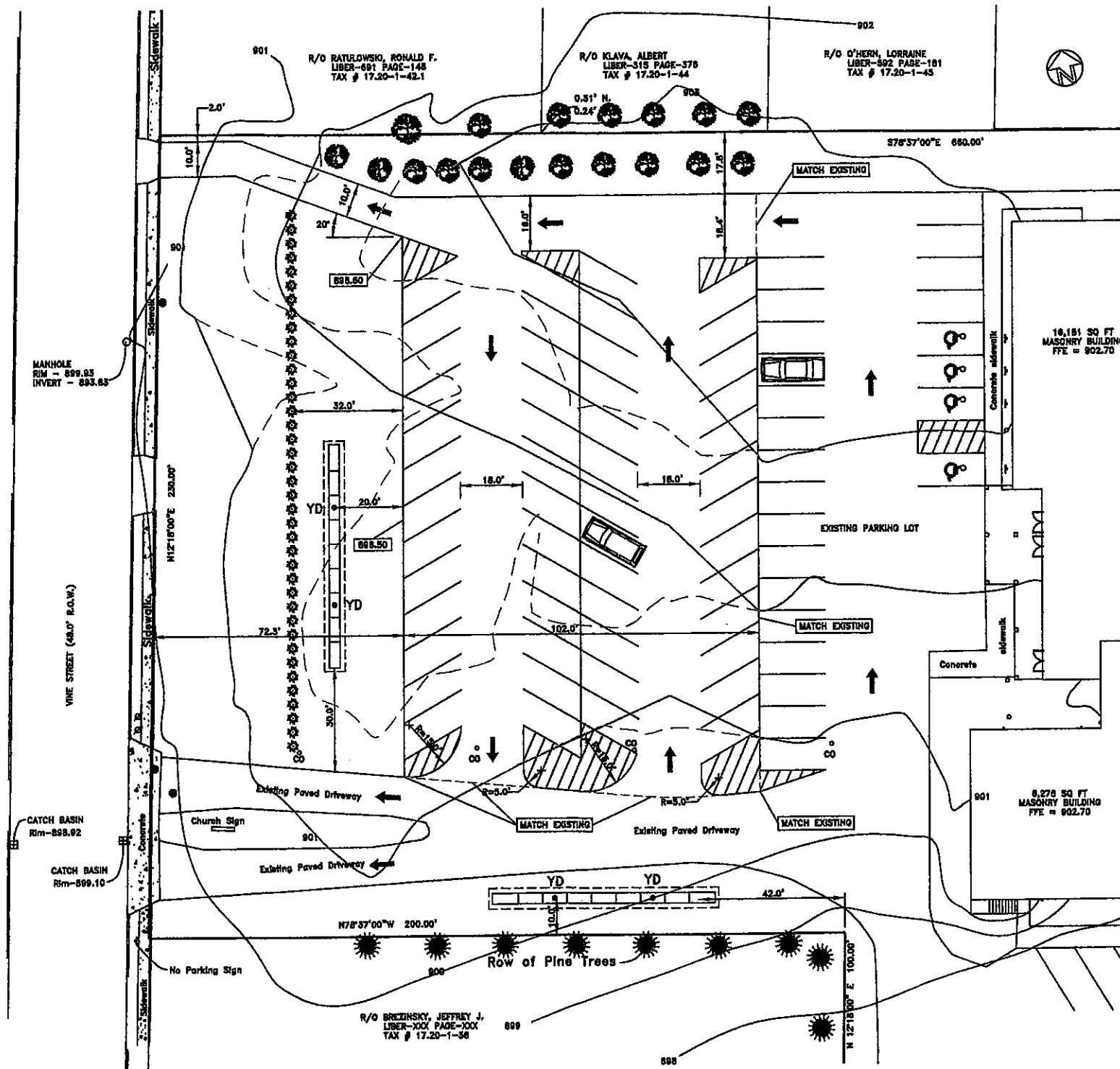
	REQUIRED	PROPOSED
MINIMUM LOT AREA -	12,000 SQ FT	187,768 SQ FT
MINIMUM LOT FRONTAGE -	90 FT	230 FT
MINIMUM FRONT YARD SETBACK -	25 FT	235 FT
MINIMUM SIDE YARD SETBACK -	10 FT	12 FT
MINIMUM REAR YARD SETBACK -	35 FT	280 FT
MAXIMUM LOT COVERAGE -	25%	11.4%
PARKING SPACES @ 1/8-SEATS -	63	201 (8'x10')
HANDICAP PARKING SPACES -	3	8



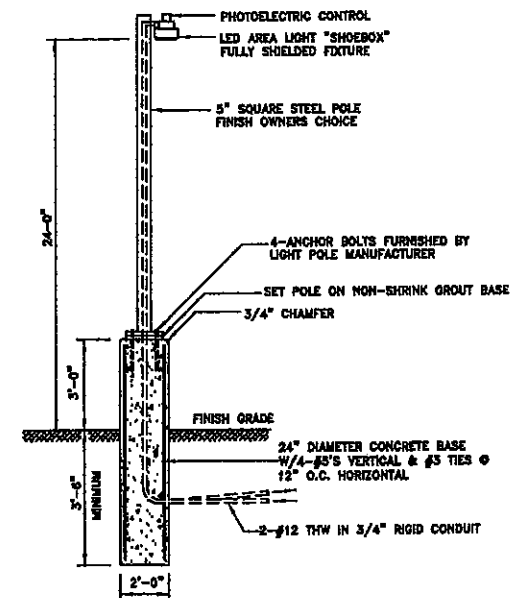
Know what's below.
Call before you dig.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON JOB

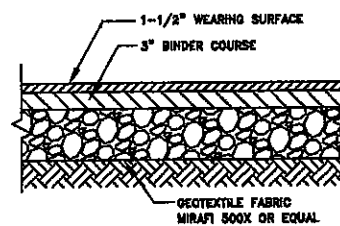
NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS
DRAWING IS IN VIOLATION OF SECTION 7209 PROVISION
2 OF THE NEW YORK STATE EDUCATION LAW.



PLAN - PROPOSED PARKING LOT
SCALE 1" = 20.0'

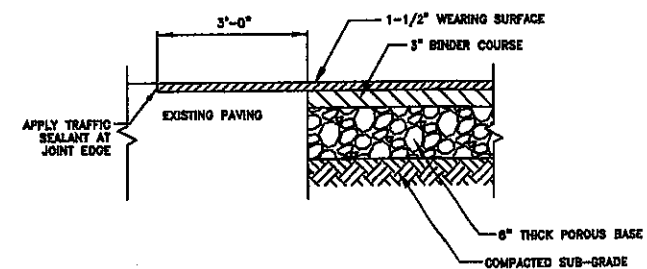


DETAIL - AREA LIGHT NTS

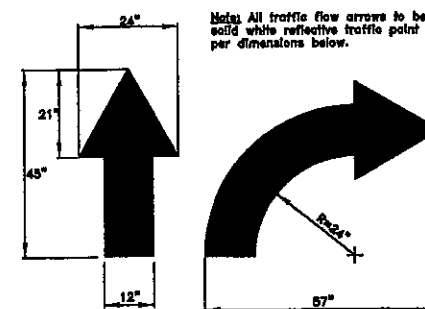


NOTE: PROVIDE THIS PAVING SECTION WHERE INDICATED ON PLANS (IN PARKING AREAS AND DRIVE SURFACES).

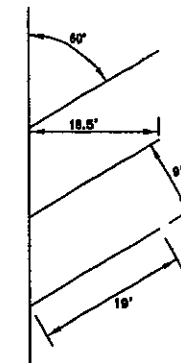
ASPHALT PAVING NTS



NEW PARKING AREA PAVEMENT TIE IN NTS



DRIVEWAY TRAFFIC DIRECTION ARROWS NTS



PLAN - TYPICAL PARKING SPACE NTS

KEY	
901	PROPOSED ELEVATION CONTOUR
900	EXISTING ELEVATION CONTOUR
898.50	PROPOSED SPOT ELEVATION
---	PROPERTY LINE
U	UTILITY POLE
X	LIGHT POLE
W	WATER SERVICE VALVE
N	NATURAL GAS SERVICE VALVE
S	SIGN
CO	CLEANOUT
YD	YARD DRAIN

Revisions:		
Revision Number	Date	

Project: GRACE BAPTIST CHURCH
238 VINE STREET
CITY OF BATAVIA, GENESEE COUNTY, NY
Title: PARKING LOT EXPANSION



PDM ENGINEERS
115 Grandview Terrace
Batavia, NY 14020
Tel: 585 345-1159
Email: pdmeng@compuserve.net

Date: JANUARY 2016
Scale: AS SHOWN
Designed by: PDM
Drawn by: DTD
Checked by: PDM

Drawing No.:
C3-1216
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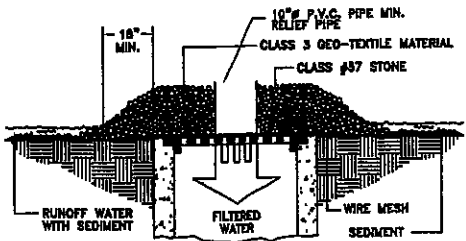
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON JOB
NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS IN VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

NOTE: THIS PLAN IS TO BE USED FOR EROSION AND SEDIMENTATION CONTROL PURPOSES ONLY, NOT FOR CONSTRUCTION.

TOTAL PROPERTY AREA: 197,768 Sq.Ft. = 4.54 ACRES
LIMITS OF DISTURBANCE: 29,490 Sq.Ft. = 0.68 ACRES

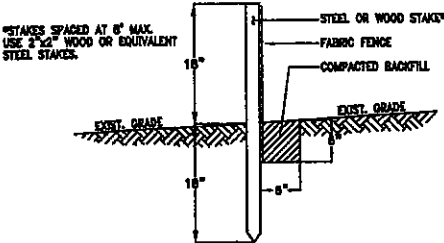
EROSION & SEDIMENT CONTROL KEY:

- LIMIT OF DISTURBED AREA
- 18" FILTER FABRIC SILT FENCE
- LmA SOIL TYPE LIMA SILT LOAM 0-3% SLOPES

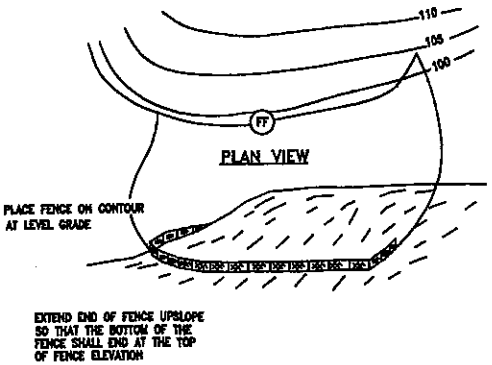


- NOTES:
- 1. STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS MUST BE PROTECTED UNTIL TRIBUTARY AREAS ARE STABILIZED.
 - 2. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM EVENT.

INLET PROTECTION DETAIL NTS



18" FILTER FENCE



ILLUSTRATION

- NOTES:
- 1. FILTER FABRIC FENCE MUST BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION MUST EXTEND AT LEAST 8 FEET UPSLOPE AT 45° TO THE MAIN FENCE ALIGNMENT.
 - 2. SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.
 - 3. ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEE ROCK FILTER OUTLET DETAIL.

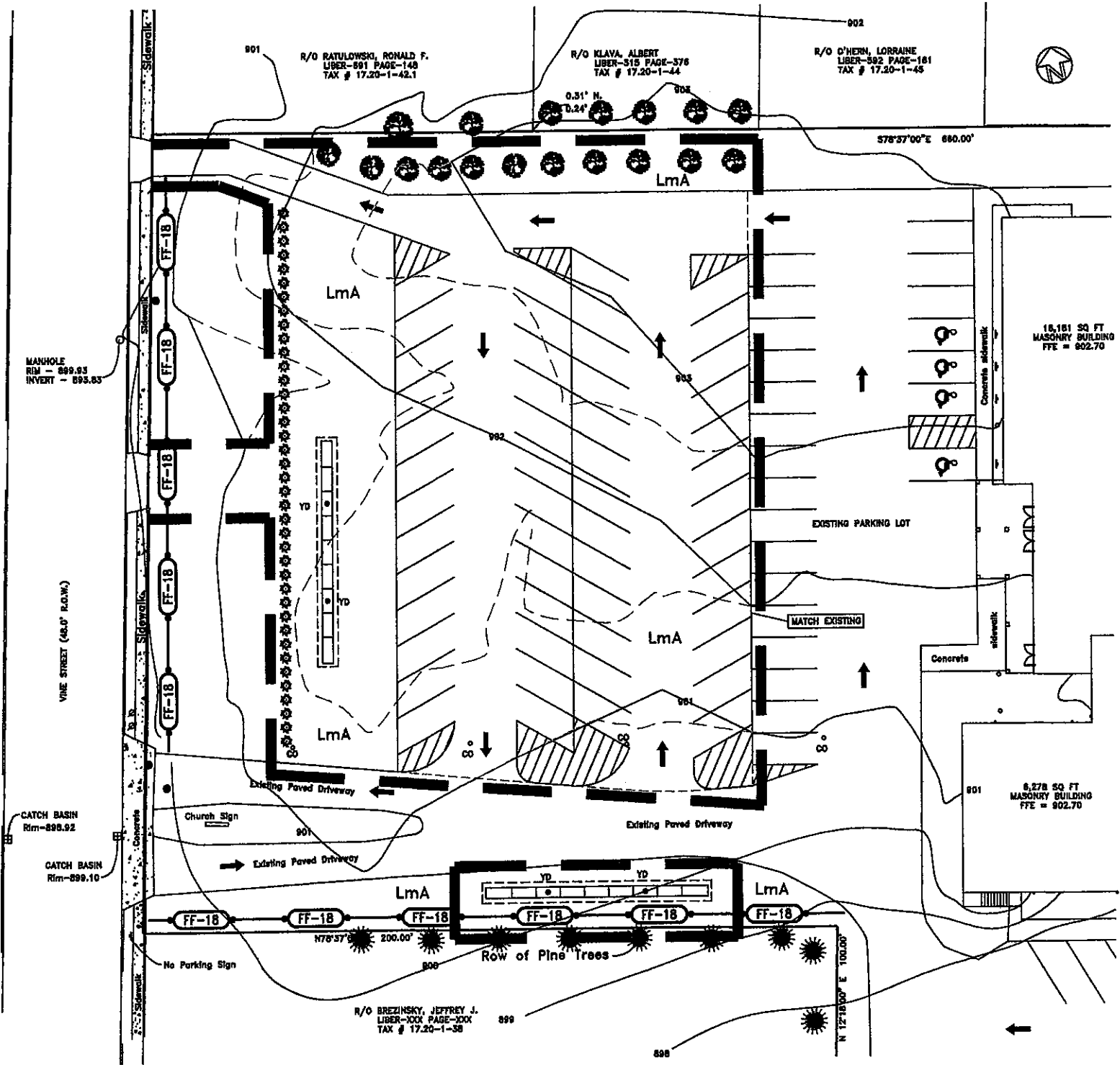
FILTER FENCE INSTALLATION REQUIREMENTS

- 1. SILT FENCE MUST BE INSTALLED ON THE CONTOUR AND HAVE THE ENDS TURNED A SUFFICIENT DISTANCE UPSLOPE TO PREVENT END FLOW (A MIN. OF 8').
- 2. MAXIMUM POST SPACING IS 8'.
- 3. POSTS MUST BE DRIVEN A MINIMUM OF 18" INTO THE GROUND.
- 4. THE BOTTOM OF THE SILT FENCE MUST BE EMBEDDED IN A TRENCH FOR A MIN. OF 6". THE TRENCH MUST THEN BE BACKFILLED OVER THE TOE OF THE FABRIC AND THE SOIL COMPACTED TO A DENSITY EQUAL TO THE UNDISTURBED SOILS (GREATER IF DEALING WITH UNCOMPACTED FILL MATERIALS.)

FILTER FENCE MAINTENANCE REQUIREMENTS

- 1. THE FENCE INSTALLATION SHALL BE INSPECTED BY THE CONTRACTOR AFTER EVERY RUNOFF EVENT AND WEEKLY. LOOSEND SUPPORT STAKES SHALL BE REMOVED, NEW STAKES DRIVEN, AND THE FENCE REATTACHED. IF THE FENCE IS DAMAGED, THE SECTION(S) SHALL BE REMOVED AND REPLACED ACCORDING TO SPECIFICATIONS.
- 2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS REQUIRED AND IN ALL CASES WHERE UNIFORM ACCUMULATIONS ARE 6" DEEP OR DEEPER.
- 3. ALL UNDERCUTTING OR EROSION OF THE TOE ANCHOR SHALL BE REPAIRED IMMEDIATELY WITH COMPACTED BACKFILL MATERIALS.
- 4. ADHERE TO ANY MANUFACTURER'S RECOMMENDATIONS FOR REPLACING FILTER FABRIC DUE TO AGING.
- 5. THE DISPOSAL OF ALL SOLID WASTE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 6. SILT AND SEDIMENT REMOVED FROM ALL CONTROL DEVICES SHALL BE MIXED WITH SOIL DURING EARTH MOVING AND PROPERLY DISPOSED OF ON SITE.

FILTER FENCE INSTALLATION DETAIL NTS



PLAN - PROPOSED PARKING LOT

SCALE 1" = 20.0'



NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS IN VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON JOB

Revisions:	
Revision Number	Date

Project: GRACE BAPTIST CHURCH
238 VINE STREET
CITY OF BATAVIA, GENESEE COUNTY, NY

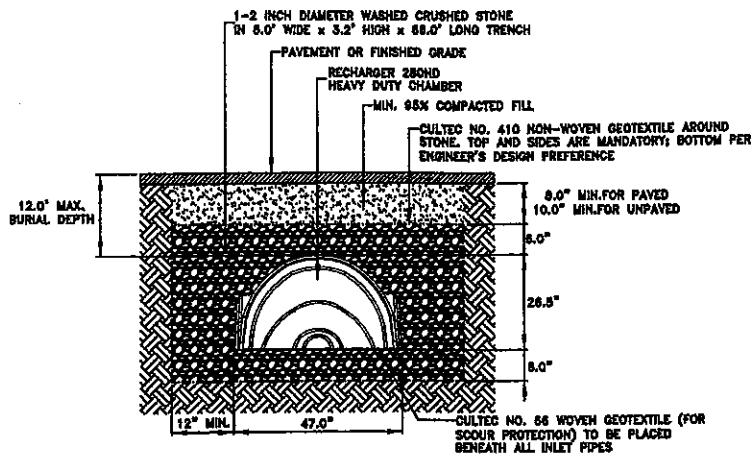


PDM
ENGINEERS
115 Grandview Terrace
Batavia, NY 14020
Tel: 585 345-1159
Email: pdmeng@empraco.com

Date: MARCH 2016
Scale: AS SHOWN
Designed by: PDM
Drawn by: DTO
Checked by: PDM

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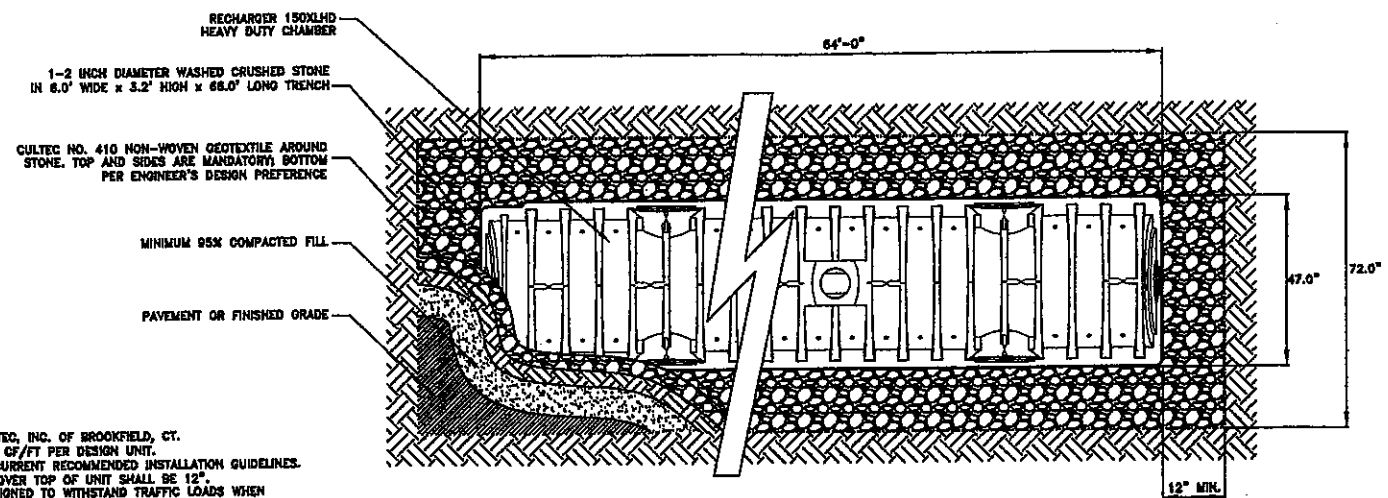
Title: PROPOSED PARKING LOT EXPANSION



SECTION - ABSORPTION TRENCH

NTS

GENERAL NOTES
 RECHARGER 280HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 8.08 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12". THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
 ALL RECHARGER 280HD HEAVY DUTY UNITS ARE MARKED WITH A COLORED STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 280HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



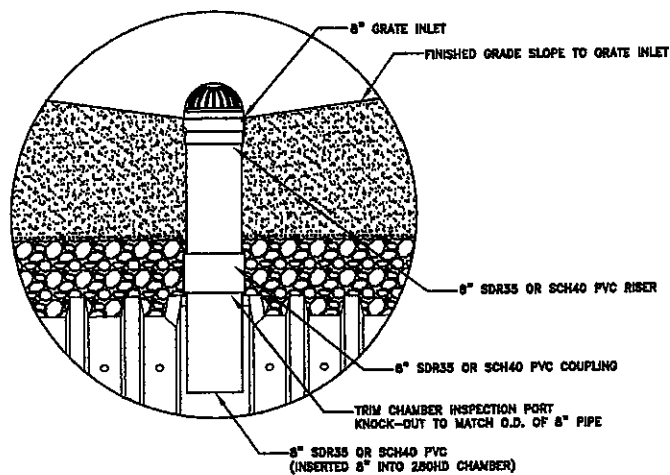
PLAN - ABSORPTION TRENCH

NTS

CONDITION	SCHEMATIC	REQUIREMENTS
I WATER LINE ABOVE SEWER LINE		1. Water line and sewer line pipe lengths to be covered of crossing. Each length of pipe to be 10-foot minimum.
II WATER LINE ABOVE SEWER LINE		1. Water line and sewer line pipe lengths to be covered of crossing. Each length of pipe to be 10-foot minimum. 2. When both water line and sewer line are new, above sewer line with steel casing for 10-foot each side of crossing. 3. Or when one line is existing, above pipe being installed with steel casing for 10-foot each side.
III SEWER LINE ABOVE WATER LINE		1. Water line and sewer line pipe lengths to be covered of crossing. Each length of pipe to be 10-foot minimum. 2. When both water line and sewer line are new, above sewer line with steel casing for 10-foot each side of crossing. 3. Or when one line is existing, above pipe being installed with steel casing for 10-foot each side.

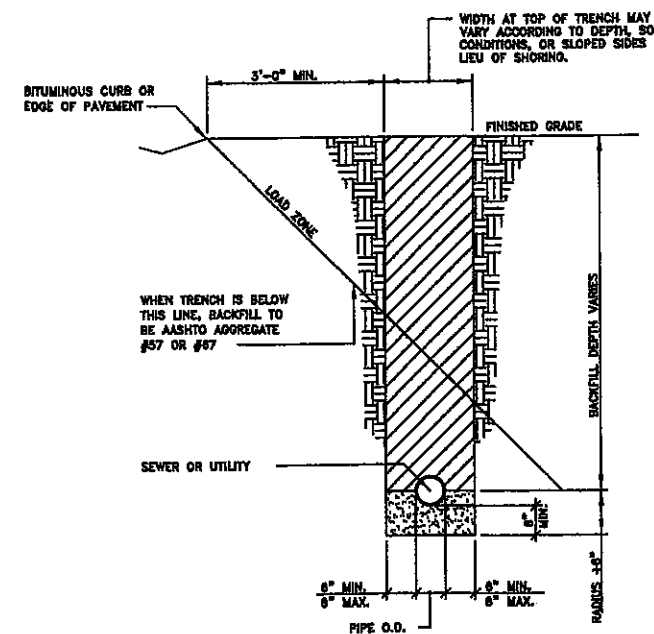
KEY:
 WL = Water Line
 SL = Sewer Line
 D = Diameter
 In no case shall the pipes be closer than 12-inches apart. Distances are measured between outside of pipe.
 CAREFULLY TAMPED BACKFILL
 CONCRETE GRADE OR CRUSHER RUN STONE
 12" MIN. 4'-8" MIN. 12" MIN. 4'-8" MIN.

WATER MAIN/SEWER CROSSING

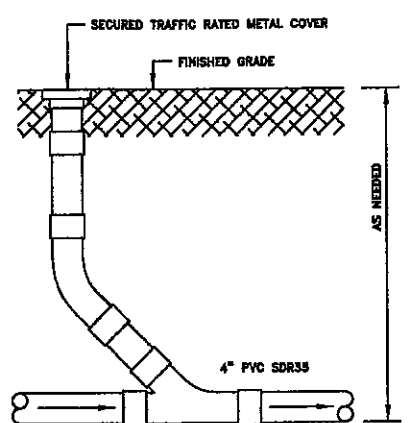


YARD DRAIN INLET

NTS

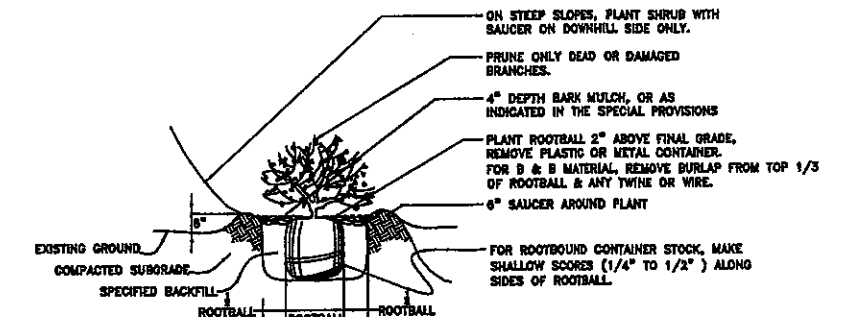


BEDDING:
 THE BEDDING SHALL HAVE A MINIMUM DEPTH OF (6) SIX INCHES BELOW ALL PIPE AND SHALL BE BACK FILLED WITH AASHTO #57 OR #67 (12) TWELVE INCHES BELOW ALL PIPE IN ROCK, THEN EXTENDED UP THE HAUNCHES TO THE SPRINGLINE OF THE PIPE.
BACKFILL:
 ALL STREET AND PARKING AREA CROSSING SHALL BE BACKFILLED TO SUBGRADE WITH AASHTO AGGREGATE #57 OR #67. IN ALL OTHER TRENCH AREAS BACKFILL FROM THE SPRINGLINE TO (1) ONE FOOT ABOVE THE TOP OF PIPE TO BE SELECTED MATERIAL (SELECTED MATERIAL IS FINELY DIVIDED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND STONES), TAMPED IN (4) FOUR INCH LIFTS; THEN THE REMAINING BACKFILL FROM THE TRENCH MAY BE PLACED.



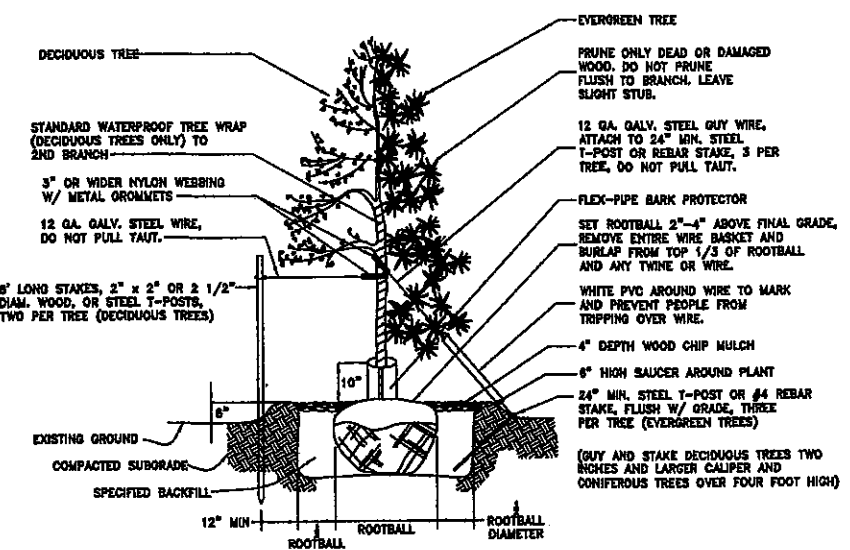
DETAIL - TYPICAL CLEANOUT

NTS



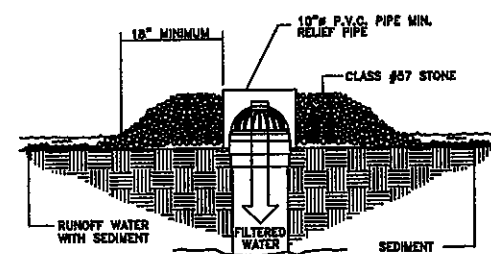
SHRUB PLANTING DETAIL

NTS



DECIDUOUS & EVERGREEN TREE PLANTING & GUYING DETAIL

NTS



NOTES:
 1. STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS MUST BE PROTECTED UNTIL TRIBUTARY AREAS ARE STABILIZED.
 2. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM EVENT.

YARD DRAIN PROTECTION DETAIL

NTS

Revisions:	
Revision Number	Date

Project: GRACE BAPTIST CHURCH
 238 VINE STREET
 CITY OF BATAVIA, GENESEE COUNTY, NY

Title: DETAILS



PDM ENGINEERS
 115 Grandview Terrace
 Batavia, NY 14020
 Tel: 585 345-1159
 Email: pdmeng@comcast.net

Date: MARCH 2016
 Scale: AS SHOWN
 Designed by: PDM
 Drawn by: DTD
 Checked by: PDM

Drawing No.: C5-1216

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