

# ZONING BOARD OF APPEALS

Thursday, July 27, 2017

6:00 pm

Council Board Room

One Batavia City Centre, Batavia, NY

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## AGENDA

- I. Roll Call
- II. Call to order
- III. Pledge of Allegiance
- IV. Approval of June 22, 2017 minutes
- V. Statement about the role of the Zoning Board of Appeals and the procedure it follows
- VI. Variance Requests

**A. Request #1**

*2 Verona Ave.*

James Basham, owner

Area Variance:

Construction of a shed addition on the south side of the dwelling within the side yard clear space

- 1. Review application
- 2. Public hearing and discussion
- 3. Action by the board

**B. Request #2**

*23 Madison Ave.*

Adam Figlow, owner

Area Variance:

Placement of a 10' x 20' wood frame shed in the west side yard of this corner lot parcel

- 1. Review application
- 2. Public hearing and discussion
- 3. Action by the board

**C. Request #3**

*657 East Main St.*

Jennifer DeLong, owner

Area Variance:

Placement of a gas fueled 8 kW. electric generator at the northwest corner of the dwelling within the side yard clear space

1. Review application
2. Public hearing and discussion
3. Action by the board

**D. Request #4**

*23 Meadowcrest Dr.*  
Dennie Lounghed, owner

Area Variance: Widen an existing 20' wide driveway by placing 10' of Portland cement to the southwest side of the existing driveway

1. Review application
2. Public hearing and discussion
3. Action by the board

**E. Request #5**

*552, 554, and 556 East Main St.*  
Adam Driscoll (Home Leasing LLC), developer

Area Variance: Clear three parcels, merge the parcels, and erect a four story high rise apartment building

1. Review application
2. Public hearing and discussion
3. Action by the board

**F. Request #6**

*40-52 and 56-70 Ellicott St.*  
Samuel Savarino (Ellicott Station LLC), developer

Area Variance: Construction of a four story mixed use building

1. Review application
2. Public hearing and discussion
3. Action by the board

VII. Setting of Next Meeting: August 24, 2017

VIII. Adjournment





**GENESEE COUNTY PLANNING BOARD  
ZONING REFERRALS NOTICE OF FINAL  
ACTION**

GCDP Referral ID C-20-BAT-7-17  
Review Date 7/13/2017

Municipality  
Board Name  
Applicant's Name

BATAVIA, C.  
ZONING BOARD OF APPEALS  
James Basham

Referral Type  
Variance(s)  
Description:

Area Variance(s)  
Area Variance to build a shed for a single-family residence.  
  
Side Yard Setback  
Minimum required: 8 ft.  
Proposed shed: 0 ft.

Location  
Zoning District

2 Verona Ave., Batavia  
Residential (R-1A) District

**PLANNING BOARD DECISION**

**APPROVAL WITH MODIFICATION(S)**

**EXPLANATION:**

The required modification is that the shed be setback at least three feet from the property line in order to allow for maintenance of the shed and yard from within the applicant's property. Neighboring properties exhibit at least 3-foot setbacks for accessory uses. With this required modification, the proposed variance should pose no significant county-wide or inter-community impact.

Director

July 13, 2017

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.



**GENESEE COUNTY PLANNING BOARD  
ZONING REFERRALS NOTICE OF FINAL  
ACTION**

GCDP Referral ID C-19-BAT-7-17  
Review Date 7/13/2017

Municipality BATAVIA, C.  
Board Name ZONING BOARD OF APPEALS  
Applicant's Name Jennifer DeLong  
Referral Type   
Variance(s) Area Variance(s)  
Description: Area Variance to install an electric generator for a single-family residence.  
Side Yard Setback  
Minimum required: 15 ft.  
Existing home: 4 ft.  
Proposed generator: 8 ft.  
Location 657 E. Main St. (NYS Rt. 5), Batavia  
Zoning District Industrial (I-1) District

**PLANNING BOARD DECISION**

**APPROVAL**

**EXPLANATION:**

Given that the generator will not encroach into the side yard any further than the existing home, the proposed variance should pose no significant county-wide or inter-community impact.

Director

July 13, 2017

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.



**GENESEE COUNTY PLANNING BOARD  
ZONING REFERRALS NOTICE OF FINAL  
ACTION**

GCDP Referral ID C-18-BAT-7-17  
Review Date 7/13/2017

Municipality  
Board Name  
Applicant's Name

BATAVIA, C.  
ZONING BOARD OF APPEALS  
Dennie Lounghed

Referral Type  
Variance(s)  
Description:

Area Variance(s)  
Area Variance to widen a driveway for a single-family home.  
  
Driveway Width  
Maximum allowed (25% of lot frontage): 19.43 ft.  
Existing: 20 ft. (26%)  
Proposed: 30 ft. (38%)

Location  
Zoning District

23 Meadowcrest Dr., Batavia  
Residential (R-2) District

**PLANNING BOARD DECISION**

**APPROVAL**

**EXPLANATION:**

Given that neighboring properties exhibit similar size driveways, the proposed variance should pose no significant county-wide or inter-community impact.

Director

July 13, 2017

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.





**GENESEE COUNTY PLANNING BOARD  
ZONING REFERRALS NOTICE OF FINAL  
ACTION**

GCDP Referral ID **C-22-BAT-7-17**  
Review Date **7/13/2017**

Municipality  
Board Name  
Applicant's Name

**BATAVIA, C.**  
**CITY PLANNING AND DEVELOPMENT COMM.**  
**Adam Driscoll (Home Leasing LLC)**

Referral Type  
Variance(s)  
Description:

**Special Use Permit**

**Area Variance(s)**

**Special Use Permit and Area Variances to merge three parcels and construct a 4-story, 55-unit residential building.**

**Number of Elevators**

**Minimum required: 1 passenger and 1 service**

**Proposed: 1 dual purpose**

**Number of Parking Spaces**

**Minimum required: 83**

**Proposed: 48**

Location  
Zoning District

**552-556 E. Main St. (NYS Rts. 5 & 33), Batavia**  
**General Commercial (C-2) and Residential (R-3) Districts**

**PLANNING BOARD DECISION**

**APPROVAL WITH MODIFICATION(S)**

**EXPLANATION:**

The required modifications are: 1) The applicant obtain documentation from the State Historic Preservation Office (SHPO) as to the project's impacts on archaeological resources; and 2) The applicant obtain a driveway permit from NYS DOT before final approval. With these required modifications, the proposed development should pose no significant county-wide or intercommunity impact. It is recommended that the applicant submits the enclosed application for 9-1-1 Address Verification to the Genesee County Sheriff's Office to ensure that the address of the proposed residential use meets Enhanced 9-1-1 standards.

Director

July 13, 2017

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.



**GENESEE COUNTY PLANNING BOARD  
ZONING REFERRALS NOTICE OF FINAL  
ACTION**

GCDP Referral ID C-21-BAT-7-17  
Review Date 7/13/2017

Municipality BATAVIA, C.  
Board Name CITY PLANNING AND DEVELOPMENT COMM.  
Applicant's Name Samuel Savarino - Savarino Companies LLC  
Referral Type Downtown Design (Site Plan) Review  
Variance(s) \_\_\_\_\_  
Description: Downtown Design Review to renovate a portion of an existing building and construction of two new buildings (Ellicott Station Project).  
  
  
  
  
Location 40-52, 56-70 Ellicott St. (NYS Rt. 63), Batavia  
Zoning District Central Commercial (C-3) District

**PLANNING BOARD DECISION**

**ADDITIONAL INFO. NEEDED**

**EXPLANATION:**

Not enough information was received to properly conduct a Downtown Design Review. The applicant is encouraged to submit additional renderings of the buildings and sample materials for the next meeting of this Board.

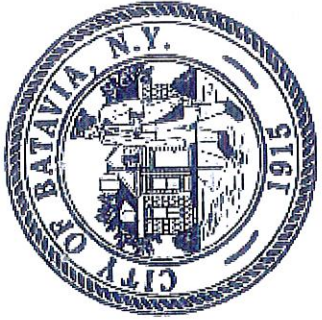
Director

July 13, 2017

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.





*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*  

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One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 6/27/17

Re: 2 Verona Ave.  
Tax Parcel No. 84.006-2-43

Zoning Use District: R-1A

The applicant, James Basham (owner), has filed an application to construct a shed addition on the south side of the dwelling within the side yard clear space.

**Note:** This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQ. 6 NYCRR Part 617.5 (c) (10).

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

**Zoning Board of Appeals-** Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances-	Area	BMC Sec. 190-29 A. and Schedule I	
		Required	Difference
		8'	0'
	Side yard clear space		8'



**GENESEE COUNTY PLANNING BOARD  
ZONING REFERRALS NOTICE OF FINAL  
ACTION**

GCDP Referral ID C-20-BAT-7-17  
Review Date 7/13/2017

Municipality

BATAVIA, C.

Board Name

ZONING BOARD OF APPEALS

Applicant's Name

James Basham

Referral Type

Variance(s)

Description:

Area Variance to build a shed for a single-family residence.

Side Yard Setback  
Minimum required: 8 ft.  
Proposed shed: 0 ft.

Location

2 Verona Ave., Batavia

Zoning District

Residential (R-1A) District

PLANNING BOARD DECISION

**APPROVAL WITH MODIFICATION(S)**

EXPLANATION:

The required modification is that the shed be setback at least three feet from the property line in order to allow for maintenance of the shed and yard from within the applicant's property. Neighboring properties exhibit at least 3-foot setbacks for accessory uses. With this required modification, the proposed variance should pose no significant county-wide or inter-community impact.

Director

July 13, 2017

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.



**SEND OR DELIVER TO:**

GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) 344-2580 Ext. 5467



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

DEPARTMENT USE ONLY:

GCDDP Referral # \_\_\_\_\_

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) Zoning Board of Appeals

Address One Batavia City CentreCity, State, Zip Batavia, NY 14020Phone (585) 345 - 6347 Ext. \_\_\_\_\_Name James BashamAddress 2 Verona Ave.City, State, Zip Batavia, NY 14020Phone (716) 228 - 2963 Ext. \_\_\_\_\_ Email phcebasham@gmail.comMUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia**3. TYPE OF REFERRAL:** (Check all applicable items)

- ☒ Area Variance  
☐ Use Variance  
☐ Special Use Permit  
☐ Site Plan Review

- ☐ Zoning Map Change  
☐ Zoning Text Amendments  
☐ Comprehensive Plan/Update  
☐ Other: \_\_\_\_\_

- Subdivision Proposal  
☐ Preliminary  
☐ Final

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**A. Full Address 2 Verona Ave.B. Nearest intersecting road Richmond Ave.C. Tax Map Parcel Number 84.006-2-43

D. Total area of the property \_\_\_\_\_ Area of property to be disturbed \_\_\_\_\_

E. Present zoning district(s) R-1A**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☒ NO ☐ YES If yes, give date and action taken \_\_\_\_\_

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

BMC 190-29 A. and Schedule IC. Please describe the nature of this request Approval to place a shed addition on the south side of the dwelling within the side yard clear space.**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- ☒ Local application  
☒ Site plan  
☐ Subdivision plot plans  
☐ SEQR forms

- ☐ Zoning text/map amendments  
☐ Location map or tax maps  
☐ Elevation drawings  
☐ Agricultural data statement

- ☐ New or updated comprehensive plan  
☒ Photos  
☒ Other: Cover letter

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.

Email to [planning@co.genesec.ny.us](mailto:planning@co.genesec.ny.us)**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)Name Douglas RandallTitle Code Enf. OfficerPhone (585) 345 - 6327

Ext. \_\_\_\_\_

Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020Email drandall@batavianewyork.com





CITY OF BATAVIA  
APPLICATION TO THE ZONING BOARD OF APPEALS

PAID

JUL 21 2017  
Application No. 17-10  
Hearing Date/Time:

APPLICANT:

JAMES BASHAM  
CITY OF BATAVIA  
CLERK-TREASURER  
E-Mail Address: jbasham@qmail.com

Name: JAMES BASHAM  
Street Address: 2 VERONA AVE  
City: BATAVIA

State: NY  
Zip: 14020  
Phone: (716) 228-2963  
Fax: 14020

STATUS: ☒ Owner ☐ Agent for Owner ☐ Contractor

OWNER: SAME AS ABOVE

Name: E-Mail Address:

Street Address: Phone: Fax:

City: State: Zip:

LOCATION OF PROPERTY: 2 VERONA AVE.

DETAILED DESCRIPTION OF REQUEST: USE EXISTING FENCE/ PROPERTY

LINE FOR SHED AS NO OTHER OPTIONS EXIST

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

J. L. Basham  
Applicant's Signature  
Date: 6/20/2017

Owner's Signature  
Date:

To be Filled out by Zoning Officer

TAX PARCEL: 84.006-2-43 ZONING DISTRICT: R-1A FLOOD PLAIN: No

TYPE OF APPEAL: ☒ Area Variance ☐ Use Variance ☐ Interpretation ☐ Decision of Planning Committee  
FEE: ☒ \$50 (One or Two Family Use) ☐ \$100 (All other Uses)

Provision(s) of the Zoning Ordinance Appealed: BME 190-29 A. and Schedule 1



## Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.  
IMPROVES THE PROPERTY APPEARANCE  

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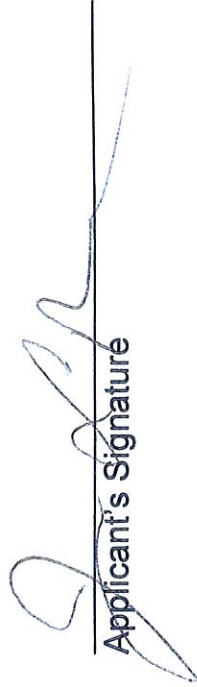
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2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. DUE TO PROPERTY LAYOUT NO OTHER  
ALTERNATIVE EXISTS. AREA WAS PREVIOUSLY USED TO  
STORE LAWN EQUIPT ETC. AND HAD A TARP WRAPPED OVER  
FENCE.  

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3. **Substantiality.** The requested area variance is not substantial. NOT SUBSTANTIAL  
AS AREA WAS PREVIOUSLY A MESS (PREVIOUS OWNERS) WE  
LANDSHAPED AND MADE LOOK NICE.  

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4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.  
IT WILL IMPROVE THE LOOKS BUT HAVE NO  
ADVERSE EFFECT.  

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5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title. NOT SELF-CREATED  

---

  
Applicant's Signature

6/20/17  
Date

## CITY OF BATAVIA

## BUILDING PERMIT APPLICATION

DATE: 6/12  
APPLICANT NAME & PHONE: JAMES BASHAM

Project Location and Information  
Permit #: \_\_\_\_\_ Fee: \_\_\_\_\_

Address of Project: 2 VERONA AVE.  
Owner & Address: SAME  
Phone: (716) 228-2963

Project Type/Describe Work  
Estimated cost of work: 3500 Start date: 7/1/17

Describe project:

- SHED USING EXISTING FENCE POSTS
- REPAIR ROOF AFTER APRIL WIND STORM
- RECOVER DECK TREX REPLACES WOOD

Contractor Information – Insurance certificates (liability & workers comp) required being on file

**GENERAL**

Name/Address: \_\_\_\_\_  
Phone: \_\_\_\_\_

**PLUMBING** (City of Batavia Licensed Plumber Required)

Name/Address: \_\_\_\_\_  
Phone: \_\_\_\_\_

**HEATING**

Name/Address: \_\_\_\_\_  
Phone: \_\_\_\_\_

**ELECTRICAL** (Third Party Electrical Inspection Required)

Name/Address: \_\_\_\_\_  
Phone: \_\_\_\_\_

**FOR OFFICE USE ONLY**

Zoning District: \_\_\_\_\_ Flood Zone: \_\_\_\_\_ Corner Lot: \_\_\_\_\_ Historic District/Landmark: \_\_\_\_\_  
Zoning Review: \_\_\_\_\_ Variance Required: \_\_\_\_\_ Site Plan Review: \_\_\_\_\_ Other: \_\_\_\_\_  
National Grid Sign Off (Pools): \_\_\_\_\_ Lot Size: \_\_\_\_\_  
Existing Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_

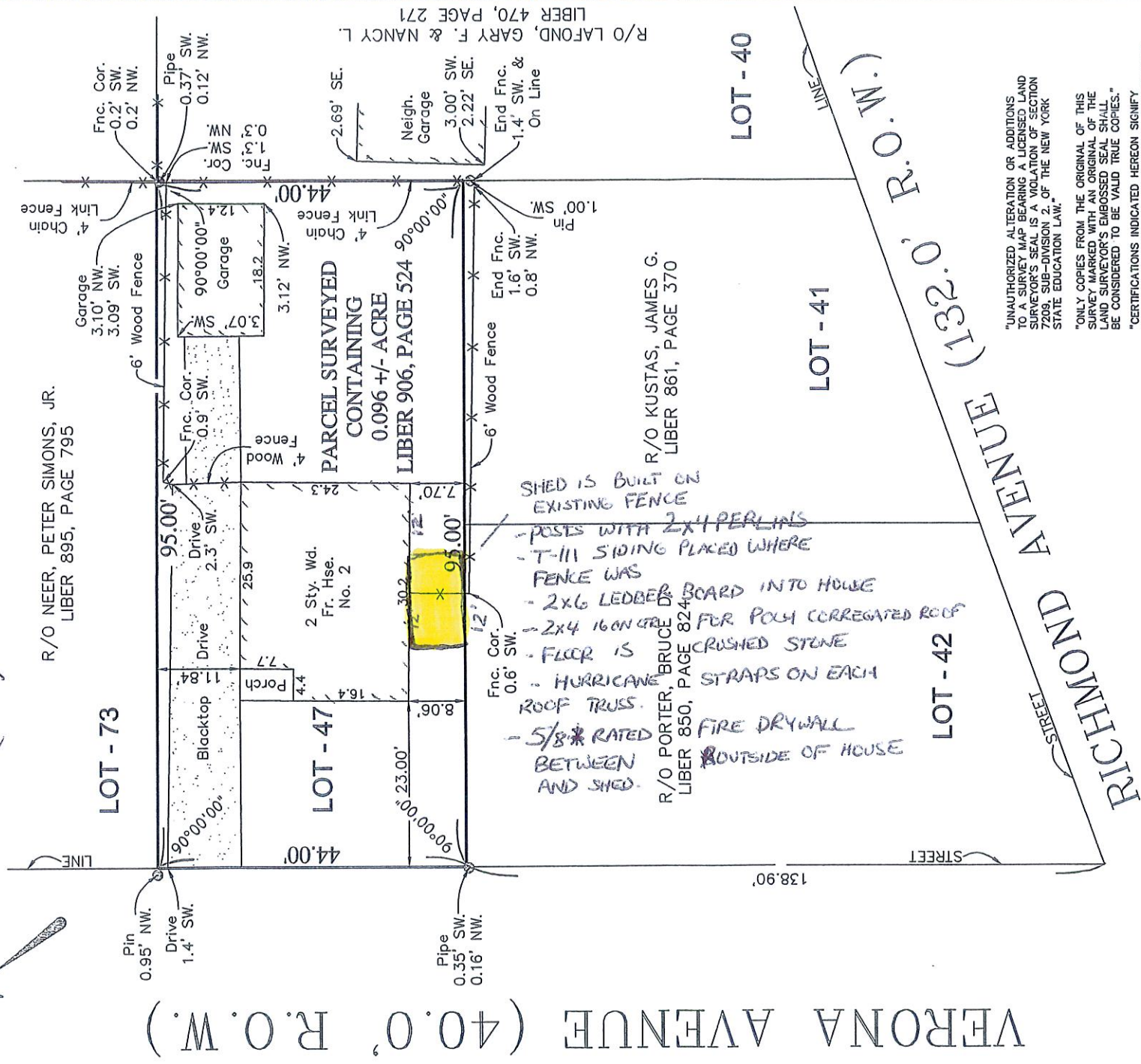






JAMES BASHAM  
2 VERONA AVE  
BATAVIA, NY 14020  
(716) 228-2963

GREGORY W. TOWNSEND  
Licensed Land Surveyor  
435 East Main Street  
Batavia, New York 14020  
Phone (585) 344-1331  
Fax (585) 219-4313



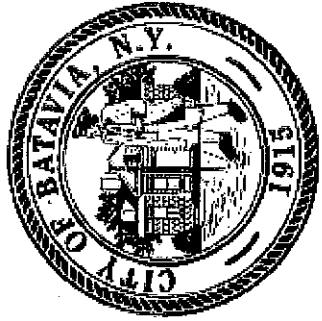
LEGEND  
● EXISTING IRON STAKE

REFERENCE  
HOLLAND PARK ADDITION SUBDIVISION FILED  
AT BOOK 2 OF MAPS, PAGE 71

BOUNDARY SURVEY SHOWING THE PARCEL  
TO BE CONVEYED BEING LOT 47 OF THE  
HOLLAND PARK ADDITION. SITUATE IN  
THE CITY OF BATAVIA, COUNTY OF  
GENESEE AND STATE OF NEW YORK

SEPTEMBER 10, 2015 SCALE 1" = 20'  
JOB NO. 15-319

09/15/2015  
DATE  
N.Y.S.R.L.S. No. 50249



*City of Batavia*  
**Department of Public Works**  
**Bureau of Inspections**

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
From: Doug Randall, Code Enforcement Officer  
Date: 6/27/17  
Re: 23 Madison Ave.  
Tax Parcel No. 84.046-1-4  
Zoning Use District: R-2

The applicant, Adam Figlow (owner), has applied for a permit to place a 10' x 20' wood frame shed in the west side yard of this corner lot parcel.

**Note:** This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (10).

**Review and Approval Procedures:**

**Zoning Board of Appeals-** Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) **BMC 190-35 D. - Accessory buildings are not permitted in any yard other than a rear yard.**





CITY OF BATAVIA  
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.: 17-06  
Hearing Date/Time: \_\_\_\_\_

APPLICANT: Adam Figlow

Name 23 Madison Ave E-Mail Address \_\_\_\_\_  
Street Address BATAVIA NY Phone 14026 Fax \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

STATUS: ☒ Owner \_\_\_\_\_ Agent for Owner \_\_\_\_\_ Contractor \_\_\_\_\_

OWNER:  
Name \_\_\_\_\_ E-Mail Address \_\_\_\_\_  
Street Address \_\_\_\_\_ Phone \_\_\_\_\_ Fax \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

LOCATION OF PROPERTY: 23 Madison Ave

DETAILED DESCRIPTION OF REQUEST: Approval to Construct a 10'x20' shed  
in side yard.

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Ad Fig 6/2/17  
Applicant's Signature \_\_\_\_\_ Date \_\_\_\_\_

Owner's Signature \_\_\_\_\_ Date \_\_\_\_\_

To be Filled out by Zoning Officer

TAX PARCEL: 84.046-1-4 ZONING DISTRICT: R-2 FLOOD PLAIN: AE  
TYPE OF APPEAL: ☒ Area Variance FEE: ☒ \$50 (One or Two Family Use)  
\_\_\_\_\_ Use Variance \_\_\_\_\_ \$100 (All other Uses)  
\_\_\_\_\_ Interpretation \_\_\_\_\_  
\_\_\_\_\_ Decision of Planning Committee

Provision(s) of the Zoning Ordinance Appealed: BMC 190-35 D. Accessory bldgs. may  
not occupy any space other than a rear yard.

CITY OF BATAVIA  
CLERK-TREASURER

JUN - 2 2017

PAID

## Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. Undesirable Change in neighborhood Character. The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties. N/A

2. Alternative Cure Sought. There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. N/A

3. Substantiality. The requested area variance is not substantial. N/A

4. Adverse Effect or Impact. The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community. N/A

5. Not Self-Created. The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title. N/A



Applicant's Signature

6/2/17

Date



## CITY OF BATAVIA

## BUILDING PERMIT APPLICATION

DATE: 6/2/17APPLICANT NAME & PHONE: Adam Figlow (585) 813 5774Project Location and Information

Permit #: \_\_\_\_\_ Fee: \_\_\_\_\_

Address of Project: 23 Madison AveOwner & Address: 23 Madison AvePhone: (585) 813 5774Project Type/Describe WorkEstimated cost of work: 3,500.00

Start date: \_\_\_\_\_

Describe project:

Per Build shedContractor Information – Insurance certificates (liability & workers comp) required being on fileGENERALName/Address: n/a

Phone: \_\_\_\_\_

PLUMBING (City of Batavia Licensed Plumber Required)Name/Address: n/a

Phone: \_\_\_\_\_

HEATING

Name/Address: \_\_\_\_\_

Phone: \_\_\_\_\_

ELECTRICAL (Third Party Electrical Inspection Required)Name/Address: n/a

Phone: \_\_\_\_\_

**FOR OFFICE USE ONLY**

Zoning District: \_\_\_\_\_ Flood Zone: \_\_\_\_\_ Corner Lot: \_\_\_\_\_ Historic District/Landmark: \_\_\_\_\_

Zoning Review: \_\_\_\_\_ Variance Required: \_\_\_\_\_ Site Plan Review: \_\_\_\_\_ Other: \_\_\_\_\_

National Grid Sign Off (Pools): \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_

Proposed Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_







MADISON AVENUE (50.0' R.O.W.)

DAVID S. LAMENDOLA  
GREGORY W. TOWNSEND  
Licensed Land Surveyors  
435 East Main Street  
Batavia, New York 14020  
Phone (585) 344-1331  
Fax (585) 343-2691

I, GREGORY W. TOWNSEND CERTIFY TO:  
- CHRISTINE M. LONG, AND CHRISTOPHER A. LONG;  
- M&T BANK, ITS SUCCESSORS AND/OR ASSIGNS;  
- TITLE INSURANCE COMPANY INSURING THE MORTGAGE;  
- THE WILLIAMS LAW FIRM, LLP;

JANUARY 14, 2008

JOB NO. 08-11

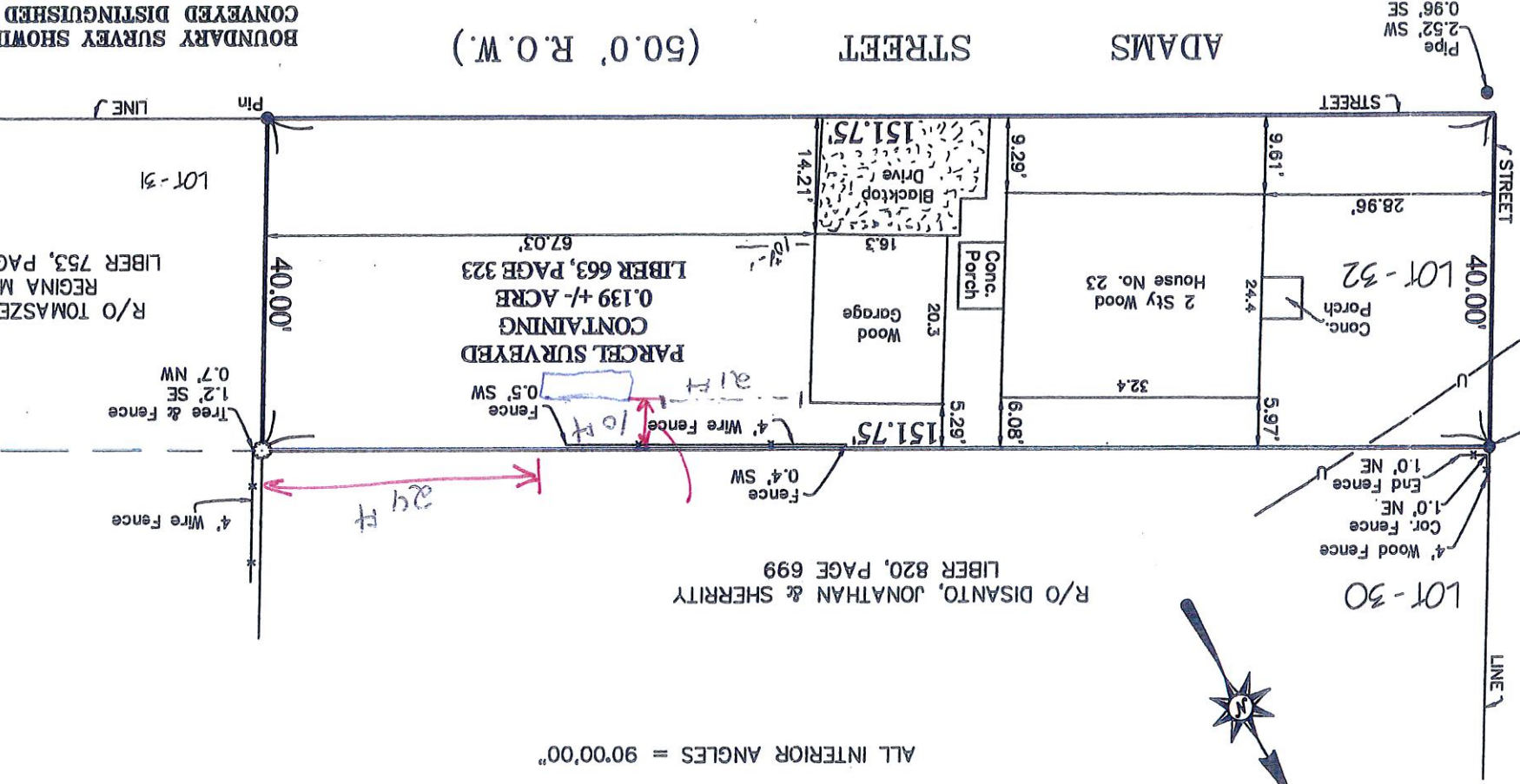
SCALE 1" = 20'

BOUNDARY SURVEY SHOWING THE PARCEL TO BE  
CONVEYED DISTINGUISHED AS SUBDIVISION LOT NO.  
32 AND BEING PART OF VILLAGE LOTS 61, 62 AND 63  
OF THE MILEHAM'S SUBDIVISION, SITUATE IN THE CITY  
OF BATAVIA, COUNTY OF GENESEE AND STATE OF  
NEW YORK.

R/O TOMASZESKI,  
REGINA M.  
LIBER 753, PAGE 270

R/O DISANTO, JONATHAN & SHERRITY  
LIBER 820, PAGE 699

REFERENCES:  
MILEHAM'S SUBDIVISION FILED AT  
BOOK 3 OF MAPS, PAGE 121.  
ALL INTERIOR ANGLES = 90°00'00"



"UNAUTHORIZED ALTERATION OR ADDITIONS  
TO A SURVEY MAP BEARING A LICENSED LAND  
SURVEYOR'S SEAL IS A VIOLATION OF SECTION  
7209, SUB-DIVISION 2, OF THE NEW YORK  
STATE EDUCATION LAW."  
"ONLY COPIES FROM THE ORIGINAL OF THIS  
SURVEY MARKED WITH AN ORIGINAL OF THE  
LAND SURVEYOR'S EMBOSSED SEAL SHALL  
BE CONSIDERED TO BE VALID TRUE COPIES."  
"CERTIFICATIONS INDICATED HEREON SIGNIFY  
THAT THIS SURVEY WAS PREPARED IN ACCORDANCE  
WITH THE EXISTING CODE OF PRACTICE FOR LAND  
SURVEYORS ADOPTED BY THE NEW YORK STATE  
ASSOCIATION OF PROFESSIONAL LAND SURVEYORS,  
AND ON HIS/HER BEHALF TO THE TITLE COMPANY,  
GOVERNMENTAL AGENCY AND LENDING INSTITUTION  
LISTED HEREON, AND TO THE ASSIGNEES OF THE  
LENDING INSTITUTION, CERTIFICATION ARE NOT  
TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR  
SUBSEQUENT OWNERS."

LEGEND  
● EXISTING IRON PIN/PIPE  
○ TREE AT CORNER  
U OVERHEAD UTILITY LINE

DATE  
N.Y.S.R.L.S. NO. 50249

**THE CITY OF BATAVIA  
PLANNING & DEVELOPMENT COMMITTEE  
ZONING RECOMMENDATIONS**

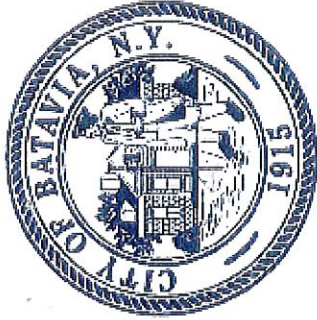
**Meeting Date: 7/18/17**

Applicant's Name	Dennie Loungheed (owner)
Location	23 Meadowcrest Dr.
Zoning District	R-2
Referral Type	
Variance(s)	Area
Description	Widen an existing 20' wide driveway by placing 10' of Portland cement to the southwest side of the existing driveway  Driveway width proposed 30' – width permitted 19.43' = Difference 10.57'

**PLANNING & DEVELOPMENT COMMITTEE RECOMMENDATION**

**APPROVAL**

**ZONING BOARD OF APPEALS DECISION**



*City of Batavia*  
**Department of Public Works**  
**Bureau of Inspections**  
One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee  
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 6/21/17

Re: 23 Meadowcrest Dr.  
Tax Parcel No. 84.009-1-91

Zoning Use District: R-2

The applicant, Dennie Loungheed (owner), has applied for a permit to widen an existing 20' wide driveway by placing 10' of portland cement to the southwest side of the existing driveway.

**Note:** This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (13).

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the boundary of the city.

**City Planning and Development Committee-** Pursuant to section 190-49 C. of the zoning ordinance, the Planning and Development Committee shall review and make recommendations to the ZBA for applications that include parking variances.

**Zoning Board of Appeals-** Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

**BMC Sec. 190-39 E (1) The width of driveways shall not exceed 25% of the lot frontage.**

	<u>Permitted</u>	<u>Proposed</u>	<u>Difference</u>
Driveway width	19.43' (25%)	30' (38%)	10.57' (13%)





CITY OF BATAVIA  
APPLICATION TO THE ZONING BOARD OF APPEALS

APPLICANT:

Name DENNIE LOUGHEED Application No. ALougheed@Rockstar.RR.com  
Street Address 23 Meadow Crest Drive Hearing Date/Time: \_\_\_\_\_  
City BATAVIA State NY Phone 14020 Fax 14020  
Zip \_\_\_\_\_

STATUS: ☒ Owner \_\_\_\_\_ Agent for Owner \_\_\_\_\_ Contractor \_\_\_\_\_

OWNER:

Name \_\_\_\_\_ E-Mail Address \_\_\_\_\_  
Street Address \_\_\_\_\_ Phone \_\_\_\_\_ Fax \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

LOCATION OF PROPERTY: 23 Meadow Crest Drive BATAVIA

DETAILED DESCRIPTION OF REQUEST: ADD on to Drive way

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

D- Rh  
Applicant's Signature \_\_\_\_\_ Date 6-15

Owner's Signature \_\_\_\_\_ Date \_\_\_\_\_

To be Filled out by Zoning Officer

TAX PARCEL: 84.009-1-91 ZONING DISTRICT: R-2 FLOOD PLAIN: NO

TYPE OF APPEAL: ☒ Area Variance FEE: ☒ \$50 (One or Two Family Use)  
\_\_\_\_\_ Use Variance \_\_\_\_\_ \$100 (All other Uses)  
\_\_\_\_\_ Interpretation \_\_\_\_\_  
\_\_\_\_\_ Decision of Planning Committee

Provision(s) of the Zoning Ordinance Appealed: BMC 190-39 E (1) Driveway width  
shall not exceed 25% of the lot frontage.

## Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. Undesirable Change in neighborhood Character. The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.

no

2. Alternative Cure Sought. There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance.

no

3. Substantiality. The requested area variance is not substantial.

no

4. Adverse Effect or Impact. The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.

no

5. Not Self-Created. The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title.

no

D. RA

Applicant's Signature

6-15-17

Date





Permit No. \_\_\_\_\_  
Date: \_\_\_\_\_

## DRIVEWAY AND PARKING SPACE PERMIT

\$10 fee – Please attach Survey / Illustration

ADDRESS OF PROPERTY: 23 MEADOW CREST DRIVE BATAVIA

OWNER:

Name DENNIE Loughheed Alongheed @ Rochester RR.  
E-mail Address com

Street Address 23 MEADOW CREST DRIVE 585-356-2439  
Phone \_\_\_\_\_

City BATAVIA N.Y. State 14020  
Zip \_\_\_\_\_

CONTRACTOR:

Name RS Concrete LLC. E-mail Address \_\_\_\_\_

Street Address \_\_\_\_\_

Phone \_\_\_\_\_

City \_\_\_\_\_

State \_\_\_\_\_

Zip \_\_\_\_\_

Owner/Contractor's Signature \_\_\_\_\_

Date \_\_\_\_\_

DIMENSIONS OF EXISTING DRIVEWAY:

Width 22-6 Length 44-68

DIMENSIONS OF NEW DRIVEWAY / ADDITION:

Width 10-8 Length 21-8

SURFACE MATERIAL: Existing \_\_\_\_\_ Proposed Concrete

To be filled out by Zoning Enforcement Officer

TAX PARCEL: 84-009-1-91 ZONING DISTRICT: R-2 SURVEY: \_\_\_\_\_

DIMENSIONS OF LOT: Lot Frontage 77.73' Front Yard \_\_\_\_\_

PERCENTAGE OF LOT FRONTAGE: 38% SURFACE MATERIAL: Asphalt + portland cem.

APPROVED: \_\_\_\_\_ AREA VARIANCE: \_\_\_\_\_

GRADE PLAN: \_\_\_\_\_

ISSUING OFFICER: \_\_\_\_\_

DATE: \_\_\_\_\_

19.43' wide Permit @ 25%  
30' Proposed @ 38%  
10.57' Over 13%





MEADOWCREST DR

Private prop.

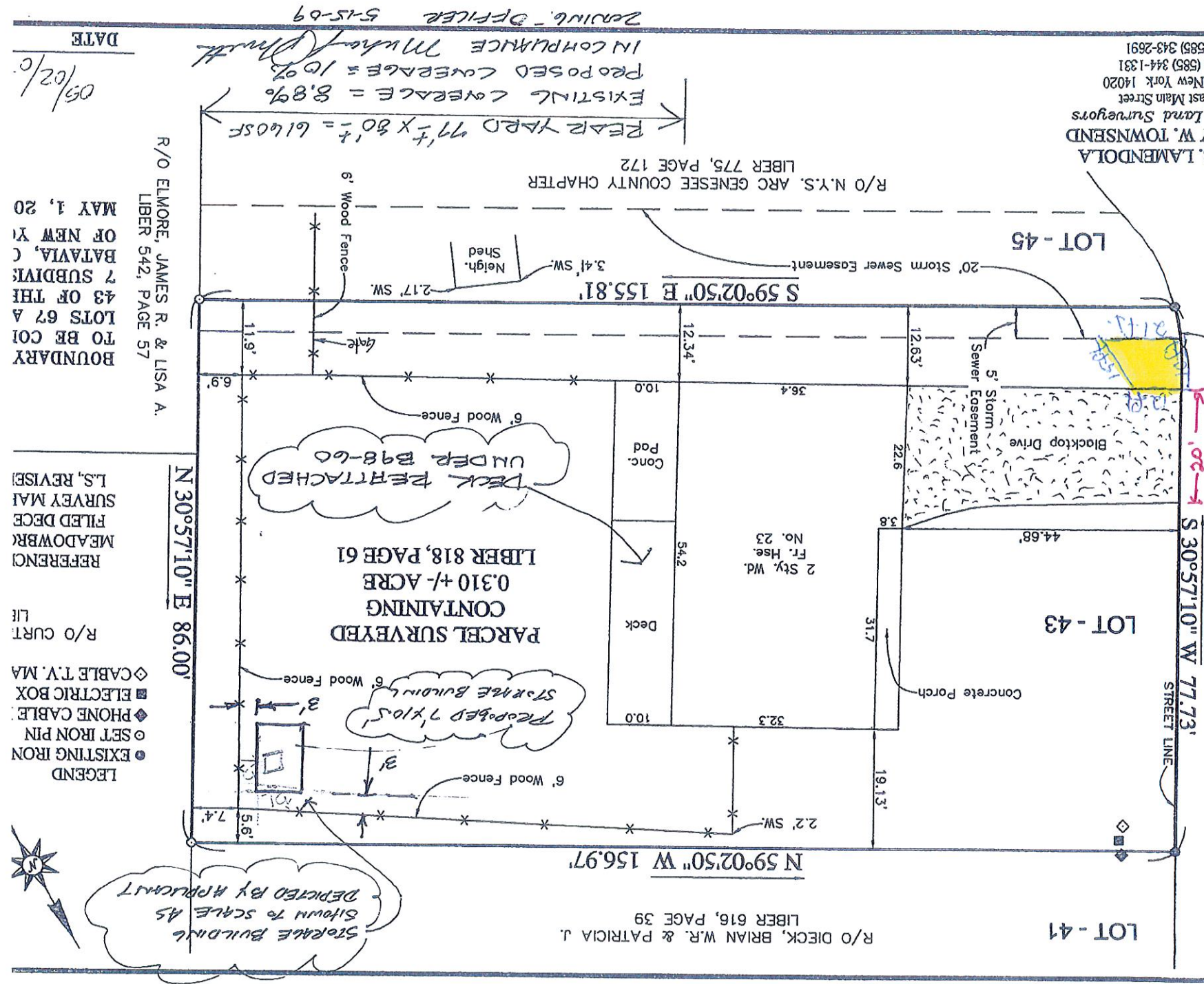
R.O.W.



MEADOWCREST DRIVE (66.0' R.O.W.)

R = 30.00', L = 8.38'

DAVID S. LAMENDOLA  
GREGORY W. TOWNSEND  
Licensed Land Surveyors  
206 East Main Street  
Batavia, New York 14020  
Phone (585) 344-1331  
Fax (585) 343-2691



- LEGEND
- EXISTING IRON
  - SET IRON PIN
  - ◆ PHONE CABLE
  - ELECTRIC BOX
  - ◇ CABLE T.V. MA
  - R/O CURT LI
  - REFERENCE MEADOWBRO
  - FILED DECE
  - SURVEY MA
  - L.S. REVISE

BOUNDARY TO BE CO  
LOTS 67 A  
7 SUBDIV  
BATAVIA, C  
OF NEW Y  
MAY 1, 20

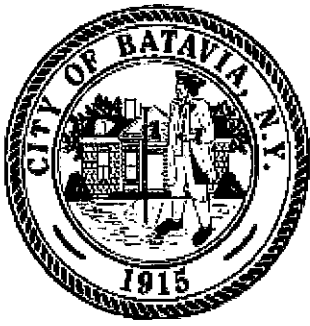
DATE 05/02/0

R/O ELMORE, JAMES R. & LISA A.  
LIBER 542, PAGE 57

R/O DIECK, BRIAN W.R. & PATRICIA J.  
LIBER 616, PAGE 39

R/O N.Y.S. ARC GENESEE COUNTY CHAPTER  
LIBER 775, PAGE 172

REAR YARD 77' x 80' = 6160 SF  
EXISTING COVERAGE = 8.89%  
PROPOSED COVERAGE = 10.9%  
IN COMPLIANCE WITH  
2006 OFFICE 5-15-09



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning  
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 6/27/17

Re: 657 East Main St.  
Tax Parcel No. 85.013-1-20.1

Zoning Use District: I-1

The applicant, Jennifer DeLong (owner), has applied for a permit to place a gas fueled 8 kw. elec. generator at the northwest corner of the dwelling within the side yard clear space.

**Note:** This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (12).

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

**Zoning Board of Appeals-** Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

1) **BMC 190-29 A and Schedule I -**

	<u>Permitted</u>	<u>Proposed</u>	<u>Difference</u>
Side yard clear space	15'	8'	7'

**SEND OR DELIVER TO:**

GENESEE COUNTY DEPARTMENT OF PLANNING

3837 West Main Street Road

Batavia, NY 14020-9404

Phone: (585) 344-2580 Ext. 5467

**DEPARTMENT USE ONLY:**

GCDP Referral # \_\_\_\_\_



**\* GENESEE COUNTY \***  
**PLANNING BOARD REFERRAL**

Required According to:

**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**

(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**Board(s) Zoning Board of AppealsAddress One Batavia City CentreCity, State, Zip Batavia, NY 14020Phone (585) 345 - 6347

Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**Name Jennifer DeLongAddress 657 East Main St.City, State, Zip Batavia, NY 14020Phone (585) 343 - 4944

Ext. \_\_\_\_\_

Email delongearl@yahoo.comMUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia**3. TYPE OF REFERRAL:** (Check all applicable items)

- ☒ Area Variance  
☐ Use Variance  
☐ Special Use Permit  
☐ Site Plan Review

- ☐ Zoning Map Change  
☐ Zoning Text Amendments  
☐ Comprehensive Plan/Update  
☐ Other: \_\_\_\_\_

- Subdivision Proposal  
☐ Preliminary  
☐ Final

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**A. Full Address 657 East Main St.B. Nearest intersecting road CedarC. Tax Map Parcel Number 85.013-1-20.1

D. Total area of the property \_\_\_\_\_ Area of property to be disturbed \_\_\_\_\_

E. Present zoning district(s) I-1**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☒ NO ☐ YES If yes, give date and action taken \_\_\_\_\_

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

BMC 190-29 A and Schedule IC. Please describe the nature of this request Approval to locate an electric generator within the side yard clear space**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- ☒ Local application  
☒ Site plan  
☐ Subdivision plot plans  
☐ SEQR forms

- ☐ Zoning text/map amendments  
☐ Location map or tax maps  
☐ Elevation drawings  
☐ Agricultural data statement

- ☐ New or updated comprehensive plan  
☒ Photos  
☒ Other: Cover letter

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.

Email to [planning@co.genesee.ny.us](mailto:planning@co.genesee.ny.us)**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)Name Douglas RandallTitle Code Enf. OfficerPhone (585) 345 - 6327

Ext. \_\_\_\_\_

Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020Email drrandall@batavianewyork.com





**CITY OF BATAVIA**  
**APPLICATION TO THE ZONING BOARD OF APPEALS**

Application No.: \_\_\_\_\_

Hearing Date/Time: \_\_\_\_\_

**APPLICANT:**

Jennifer DeLong delongearle@yahoo.com  
Name E-Mail Address  
657 East Main 343-4944  
Street Address Phone Fax  
Batavia NY 14020  
City State Zip

**STATUS:**

☒ Owner ☐ Agent for Owner ☐ Contractor

**OWNER:**

Same  
Name E-Mail Address  
Street Address Phone Fax  
City State Zip

**LOCATION OF PROPERTY:**

657 East Main St. Batavia

**DETAILED DESCRIPTION OF REQUEST:**

generator in side yard setback

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Applicant's Signature

Jennifer DeLong  
Jennifer DeLong

Date

10-22-17

Owner's Signature

Date

10-22-17

*To be Filled out by Zoning Officer*

**TAX PARCEL:** 85.013-1-20.1

**ZONING DISTRICT:** I-1

**FLOOD PLAIN:** NO

**TYPE OF APPEAL:**

- ☒ Area Variance  
☐ Use Variance  
☐ Interpretation  
☐ Decision of Planning Committee

**FEE:**

- ☒ \$50 (One or Two Family Use)  
☐ \$100 (All other Uses)

**Provision(s) of the Zoning Ordinance Appealed:**

BMC 190-29 A. and Sched. I and 190-33 F. (1)  
Required yards shall be open from ground to sky. Nothing may be placed within  
the side yard clear space.

## Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.  
No
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance.  
No
3. **Substantiality.** The requested area variance is not substantial.  
No
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.  
No
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title.  
No

Jennifer DeLong  
Applicant's Signature

10-22-17  
Date





# City of Batavia

One Batavia City Centre  
Batavia, NY 14020

Date: 6/7/2017

Expiration Date: 6/7/2018

Permit No. B17-000209

Applicant Delong, Earl G Address 657 East Main St, Batavia, NY 14020

Permit for Other \_\_\_\_\_ Story \_\_\_\_\_ Number of Dwelling Units 1

At (Location) 657 East Main

**Zoning District I-1 Industrial**

Parcel ID: 85.013-1-20.1

Lot Size: \_\_\_\_\_

Building is to be \_\_\_\_\_ Ft. wide by \_\_\_\_\_ Ft. long by \_\_\_\_\_ Ft. in height and shall conform in construction to type Other \_\_\_\_\_

Use Group \_\_\_\_\_ Basement Walls or Foundation \_\_\_\_\_

### Description of Work

**Install 8 kw. electric generator on this property at least 15' from side property lines. Contractor is to contact National Fuel to verify the service line and meter capacity are adequate to supply the existing equipment and the new generator.**

**Smoke and carbon monoxide alarms are required throughout the dwelling in compliance with NYS code, see attached.**

Area or Volume	Estimated Cost	\$6,100.00	Permit Fee	\$43.00
----------------	----------------	------------	------------	---------

Owner Delong, Earl G

Address 657 East Main St , Batavia, NY 14020

Issuing Officer

Q7 all

Minimum of three called inspections  
required for all construction work:

1. Foundations or Footings
2. Prior to covering structural members (ready for lath or finish covering)
3. Final inspection before occupancy

Approved plans must be retained on job until Final inspection is made. Where a Certificate of Occupancy is required such building shall not be occupied until Final Inspection has been made.

Where applicable separate permits are required for Electrical, Plumbing and Mechanical installations

## CITY OF BATAVIA

## BUILDING PERMIT APPLICATION

DATE: 16 May 2017APPLICANT NAME & PHONE: Jennifer DelongProject Location and Information

Permit #: \_\_\_\_\_

Fee: \_\_\_\_\_

Address of Project: 657 E Main StOwner & Address: Jennifer Delong 657 E MAIN StPhone: 585 343 4944Project Type/Describe WorkEstimated cost of work: 6100.00Start date: JUNE 16, 2017Describe project: 8 KW Briggs & Stratton Generator  
with 10 Space generator  
1216 BTU MAX LOADContractor Information - Insurance certificates (liability & workers comp) required to be on file OKGENERALName/Address: ISAAC HEATING : Air ConditioningPhone: 585 546 1400 PM JEFF 585 944 4096PLUMBING (City of Batavia Licensed Plumber Required) jheitzenrater@isaacheating.com

Name/Address: \_\_\_\_\_

Phone: \_\_\_\_\_

HEATING

Name/Address: \_\_\_\_\_

Phone: \_\_\_\_\_

ELECTRICAL

(Third Party Electrical Inspection Required)

Name/Address: \_\_\_\_\_

Phone: \_\_\_\_\_

**FOR OFFICE USE ONLY**Zoning District: I-1 Flood Zone: NO Corner Lot: NO Historic District/Landmark: NO

Zoning Review: \_\_\_\_\_ Variance Required: \_\_\_\_\_ Site Plan Review: \_\_\_\_\_ Other: \_\_\_\_\_

National Grid Sign Off (Pools): NA

Lot Size: \_\_\_\_\_

Existing Use: 1 family

NYS Building Code Occupancy Class: \_\_\_\_\_

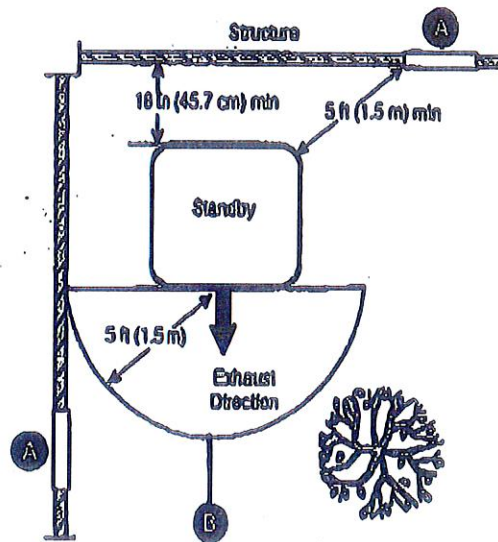
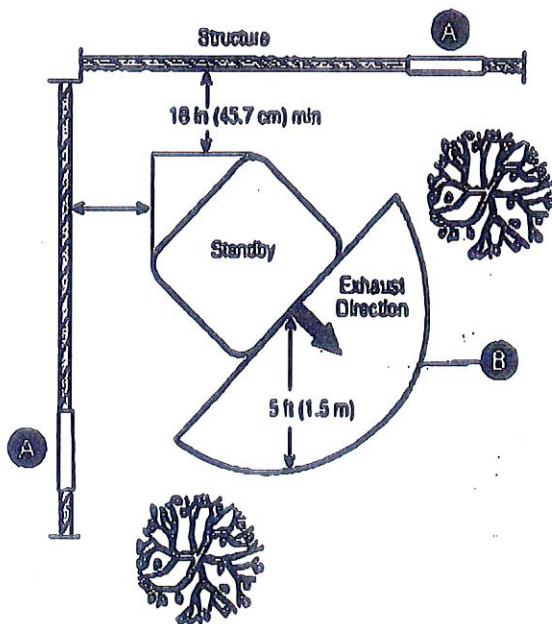
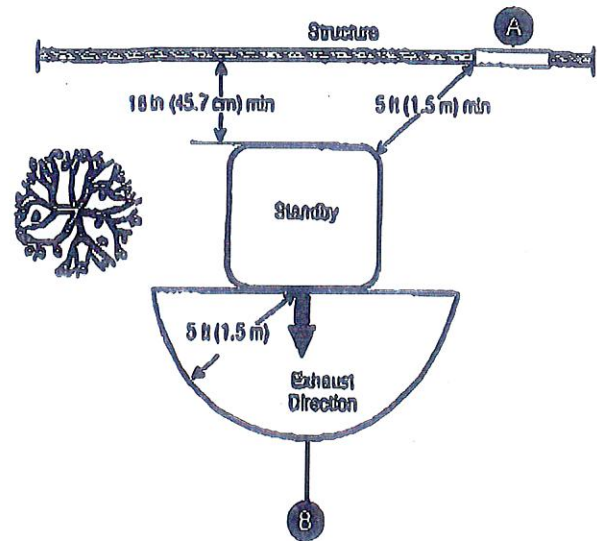
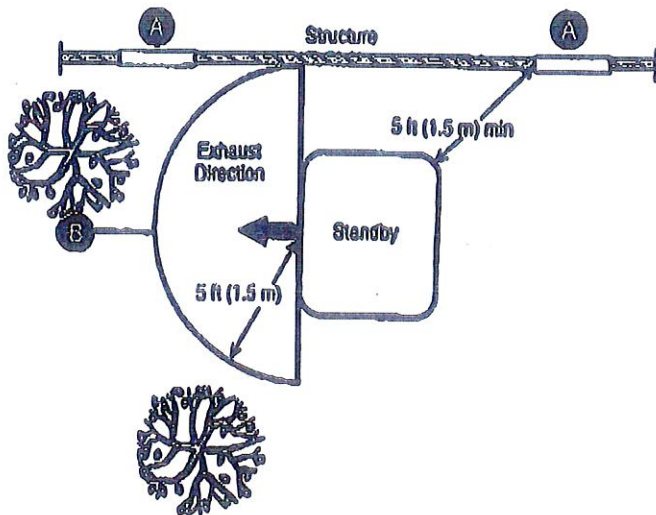
Proposed Use: same

NYS Building Code Occupancy Class: \_\_\_\_\_



## Generator Installations

**NOTICE** The figures below show the minimum installation distances allowed to structures and items listed in legend.



- A** Standby weatherproof enclosure must be at least 5 ft (1.5 m) from windows, doors, any wall opening, shrubs or vegetation over 12 inches (30.5 cm) in height.
- B** Exhaust outlet side of weatherproof enclosure must have at least 5 ft (1.5 m) minimum clearance from any structure, shrubs, trees or any kind of vegetation.
- C** Standby weatherproof enclosure must have a minimum of 5 feet (1.5 m) overhead clearance from any structure, overhang or trees.

**NOTICE DO NOT** place weatherproof enclosure under a deck or other type of covered structure that may confine airflow.

FORMERLY  
NEW YORK, LAKE ERIE & WESTERN  
RAILROAD

I HEREBY CERTIFY TO:  
THE PAULSON STATE BANK  
ITS SUCCESSORS AND/OR ASSIGNS  
STEWART TITLE INSURANCE COMPANY  
ROBERT FUSSELL, A PROFESSIONAL LAWYER  
THAT THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE  
CLAUDE CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY  
THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND  
SURVEYORS AND AS AMENDED BY THE NEW YORK STATE LAND  
SURVEYORS ASSOCIATION OF THE COUNTY OF NEW YORK.  
THIS CERTIFICATION DOES NOT EXTEND TO SUBSEQUENT QUANTITY,  
IDENTIFICATION, OR TITLE OF THE LANDS SURVEYED. THIS SURVEY HAS  
BEEN PREPARED FOR THE PURPOSES BY THE SURVEYOR.  
DATE OF CERTIFICATION: OCT. 28, 1996

WARNING: IT IS A VIOLATION OF THE STATE EDUCATION LAW TO ALTER THIS DOCUMENT

SURVEY

PART OF LOT 10, SECTION 8, TOWNSHIP 12, RANGE 1

CITY OF BATAVIA, GENESEE COUNTY, NEW YORK

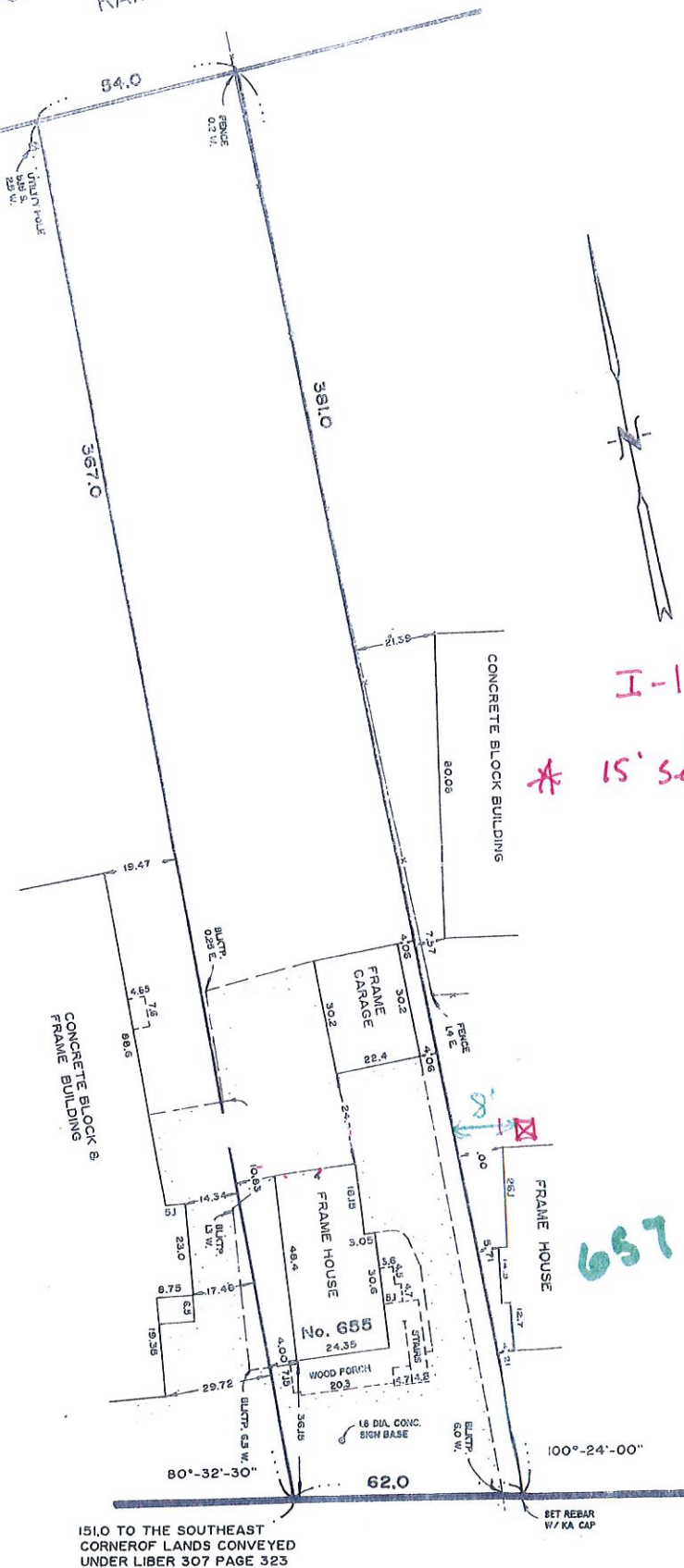
KREHBIEL ASSOCIATES

ENGINEERS - SURVEYORS

1470 NIAGARA FALLS BLVD. TONAWANDA, N.Y. 14150

PHONE: 716-693-9300

NO. D-2364  
FD 125-65  
SCALE 1" = 30'  
DATE 4-9-96



151.0 TO THE SOUTHEAST  
CORNER OF LANDS CONVEYED  
UNDER LIBER 307 PAGE 323

EAST MAIN STREET  
(FORMERLY GENESEE ROAD)

I-1 zoning dist.  
\* 15' setback (side) or ZBA.

657 East main





Generator

657



**THE CITY OF BATAVIA  
PLANNING & DEVELOPMENT COMMITTEE  
ZONING RECOMMENDATIONS**

**Meeting Date: 7/18/17**

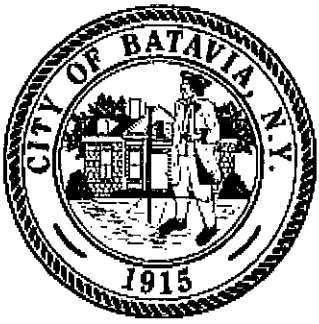
Applicant's Name	Adam Driscoll (Home Leasing, LLC)
Location	552, 554, and 556 East Main St.
Zoning District	C-2 and R-3
Referral Type	
Variance(s)	Area
Description	Clear three parcels, merge the parcels, and erect a four story high rise apartment building

**PLANNING & DEVELOPMENT COMMITTEE RECOMMENDATION**

**APPROVAL**

**ZONING BOARD OF APPEALS DECISION**





*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee  
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 6/30/17

Re: 552, 554 and 556 East Main St.  
Tax Parcel No. 84.060-1-19, 84.060-1-20 and 84.060-1-21

Zoning Use District: C-2 and R-3

The applicant, Adam Driscoll, (Home Leasing LLC), has submitted a project that requires Site Plan review, Special Use Permit review and area variances. The project involves the clearing of three parcels, merger of the parcels and erection of a four story high rise apartment building.

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

**City Planning and Development Committee-** Pursuant to section 190-44 B of the zoning ordinance, the Planning and Development Committee shall review site plans. Also, per 190-37 the PDC may authorize special use permits.

190-13 C (2) High rise apartment buildings are permitted in the C-2 and R-3 use districts with the issuance of a Special Use Permit.

190-37 C (1-9) and 190-37 K (1-14) Special use permits are subject to the conditions of these sections.

**Zoning Board of Appeals-** Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) BMC Sec. 190-37 C(8) A minimum of 1 Passenger elevator and 1 Service elevator are required for highrise buildings. This project is proposed with 1 elevator to serve both purposes.
- 2) BMC 190-39 A(2)(b) 1.5 off street parking spaces are required for each dwelling unit. 83 spaces are required 48 are proposed.

**The Planning and Development Committee will be the lead agency to conduct SEQR.**

**SEND OR DELIVER TO:**

GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) 344-2580 Ext. 5467

**DEPARTMENT USE ONLY:**

GCDP Referral # \_\_\_\_\_



**\* GENESEE COUNTY \***  
**PLANNING BOARD REFERRAL**

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) PDC and ZBA  
Address One Batavia City Centre  
City, State, Zip Batavia, NY 14020  
Phone (585) 345 - 6347 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name Adam Driscoll  
Address 180 Clinton Sq.  
City, State, Zip Rochester, NY 14064  
Phone (585) 329 - 0232 Ext. \_\_\_\_\_ Email adamr@homeleasing.net

MUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |  |  |   |
|--|--|---|
| <input checked="" type="checkbox"/> Area Variance      | <input type="checkbox"/> Zoning Map Change         | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance                  | <input type="checkbox"/> Zoning Text Amendments    | <input type="checkbox"/> Preliminary          |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final                |
| <input checked="" type="checkbox"/> Site Plan Review   | <input type="checkbox"/> Other: _____              |   |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

- A. Full Address 552, 554, and 556 East Main St.  
B. Nearest intersecting road Clinton St.  
C. Tax Map Parcel Number 84.060-1-19, 84.060-1-20 and 84.060-1-21  
D. Total area of the property 1.22 acres Area of property to be disturbed \_\_\_\_\_  
E. Present zoning district(s) C-2 and R-3

**5. REFERRAL CASE INFORMATION:**

- A. Has this referral been previously reviewed by the Genesee County Planning Board?  
☒ NO ☐ YES If yes, give date and action taken \_\_\_\_\_
- B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
BMC 190-44 B, BMC 190-37, and BMC 190-49
- C. Please describe the nature of this request Approval to merge and clear these three parcels and construct a high-rise residential structure

**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |   |  |   |
|---|--|---|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments    | <input type="checkbox"/> New or updated comprehensive plan      |
| <input checked="" type="checkbox"/> Site plan         | <input type="checkbox"/> Location map or tax maps      | <input checked="" type="checkbox"/> Photos                      |
| <input type="checkbox"/> Subdivision plot plans       | <input checked="" type="checkbox"/> Elevation drawings | <input checked="" type="checkbox"/> Other: <u>Cover letters</u> |
| <input checked="" type="checkbox"/> SEQR forms        | <input type="checkbox"/> Agricultural data statement   |   |

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.  
Email to [planning@co.genesee.ny.us](mailto:planning@co.genesee.ny.us)

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. \_\_\_\_\_  
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drrandall@batavianewyork.com





39 Cascade Drive / Rochester, NY 14614 / Phone (585) 458-7770

June 29, 2017

Douglas Randall  
City of Batavia  
One City Centre  
Batavia NY 14020

Re: Home Leasing Apartment Project  
552, 554, 556 East Main Street  
City of Batavia, Genesee County, New York

Dear Doug,

On behalf of our client, Home Leasing, LLC, we are submitting plans for the above referenced project for your consideration. We request that this project be placed on the agenda for the Planning and Development Committee (PDC) meeting of July 18, 2017 for Subdivision, Site Plan, and Special Use Permit Approval and on the agenda for the Zoning Board of Appeals meeting of July 27, 2017 for Variance approvals. In addition, we request this project be referred for placement on the agenda for the Genesee County Planning Board meeting of July 13, 2017.

The 1.2+/- acre project site is on the south side of East Main St (NYS Route 5) and is comprised of three tax parcels:

Address	Tax ID	Current Zoning
552 E Main St	84.060-1-19	Primarily C-2 with the southern portion R-3
554 E Main St	84.060-1-20	C-2
556 E Main St	84.060-1-21	C-2

This \$12,000,000 development will create 55 new mixed-income apartments and is planned in partnership with Eagle Star Housing, Inc. to set aside at least 25% of the apartments for supportive housing for homeless vets. This development will create 4 new permanent jobs and 150 construction jobs for 12-15 months.

Plans include 8 studio, 39 one-bedroom and 8 two-bedroom apartments targeting households between 60% of Area Median Income and 90% of Area Median Income. Amenities will include a community room, fitness center, on-site laundry, raised garden beds, laptops for resident use, and private outdoor space for every apartment. Rent will include all utilities and residents will have access to an onsite community leader and 24/7 emergency maintenance services.

*Going the distance for you.*

We have met with the PDC on two occasions, and based upon input received, we have revised the layout so that no setback variances will be required. The parking facility will have one ingress/egress point from East Main St, with a drop-off area near the main entrance. We have reviewed the revised site plan with the Fire Chief, who expressed no concerns. We are enclosing an AutoTURN analysis demonstrating a 100-foot ladder truck can enter the site, turn-around, and exit.

Two variances will be required:

Item	Required	Proposed
Number of parking spaces	83	48
Number of elevators	2	1

48 parking spaces are proposed, which, based on the applicant's experience with similar projects, will provide more than adequate parking. Three of these spots are double-stacked spots, which will be designated for use by employees or by occupants of a 2-bedroom unit.

For the proposed size and height of this project, there is no NYS building code requirement for having more than one elevator. The architect, SWBR, has designed numerous multi-family apartment projects of 100 or less units, with only one elevator and the applicant owns and operates multiple facilities with one elevator; there have been no issues for excessive waiting or from emergency personnel.

Enclosed is the following information to aid in your review:

Planning and Development Committee

- 7 copies of this Letter of Intent
- 7 copies of the Special Use Permit Application
- 7 copies of the Building Permit Application
- 7 copies of the Short Environmental Assessment Form
- 7 copies of the Colorized Renderings (11x17)
- 7 copies of the Site Plans (11x17)
- 7 copies of the AutoTURN Analysis Plan AT-1 (11x17)
- 1 copy of the Site Plans (full size)
- 2 copies of the Engineers Report
- 2 copies of the Stormwater Pollution Prevention Plan (SWPPP)



Home Leasing Apartment Project  
552, 554, 556 East Main Street  
City of Batavia  
06/29/2017

Zoning Board of Appeals

- 1 check for the \$100 ZBA fee
- 7 copies of this Letter of Intent
- 7 copies of the Zoning Board of Appeals Application
- 7 copies of the Criteria to Support Area Variance – Number of Parking Spaces
- 7 copies of the Criteria to Support Area Variance – Number of Elevators
- 7 copies of the Short Environmental Assessment Form
- 7 copies of the Colorized Renderings (11x17)
- 7 copies of the Site Plans (11x17)
- 1 copy of the Site Plans (full size)

We look forward to presenting this project to the Planning and Development Committee and the Zoning Board of Appeals. If you have any questions, please do not hesitate to contact our office.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'Matt Tomlinson', with a long horizontal flourish extending to the right.

Matt Tomlinson CPESC  
MARATHON ENGINEERING

cc: Adam Driscoll, Home Leasing  
Tim Zigarowicz, SWBR Architects

## CITY OF BATAVIA

## BUILDING PERMIT APPLICATION

DATE: 6/29/2017

APPLICANT NAME &amp; PHONE: Adam Driscoll, Home Leasing, LLC 585-329-0232

**Project Location and Information**

Permit #: \_\_\_\_\_ Fee: \_\_\_\_\_

Address of Project: 552,554,556 East Main Street, City of Batavia, NY 14604

Owner &amp; Address: Home Leasing, LLC, 180 Clinton Square, Rochester, NY 14604

Phone: 585-329-0232

**Project Type/Describe Work**

Estimated cost of work: TBD

Start date: TBD

Describe project: Home Leasing is proposing a 4-story apartment project on 1.2 acres. This \$12,000,000 development, will create 55 new mixed-income apartments and is planned in partnership with Eagle Star Housing, Inc. to set aside at least 25% of the apartments for apartments for supportive housing for homeless vets. This development will create 4 new permanent jobs and 150 construction jobs for 12-15 months. Plans include 8 studio, 39 one-bedroom and 8 two-bedroom apartments targeting households between 60% of Area Median Income and 90% of Area Median Income. Amenities will include a community room, fitness center, on-site laundry, laptops for resident use, and private outdoor space for every apartment.

**Contractor Information – Insurance certificates (liability & workers comp) required to be on file****GENERAL**

Name/Address: TBD

Phone: \_\_\_\_\_

**PLUMBING (City of Batavia Licensed Plumber Required)**

Name/Address: TBD

Phone: \_\_\_\_\_

**HEATING**

Name/Address: TBD

Phone: \_\_\_\_\_

**ELECTRICAL (Third Party Electrical Inspection Required)**

Name/Address: TBD

Phone: \_\_\_\_\_

**FOR OFFICE USE ONLY**

Zoning District: \_\_\_\_\_ Flood Zone: \_\_\_\_\_ Corner Lot: \_\_\_\_\_ Historic District/Landmark: \_\_\_\_\_

Zoning Review: \_\_\_\_\_ Variance Required: \_\_\_\_\_ Site Plan Review: \_\_\_\_\_ Other: \_\_\_\_\_

National Grid Sign Off (Pools): \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_

Proposed Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_



PERMIT NO. \_\_\_\_\_



# SPECIAL USE PERMIT

## CITY OF BATAVIA, NEW YORK

LOCATION: 552,554,556 East Main Street, Batavia, NY 14020  
OWNER: Home Leasing, LLC  
Address: 180 Clinton Square, Rochester NY 14604

Application Date: 06/29/2017  
Tax Parcel No.: 84.060-1-19, 84.060-1-20, 84.060-1-21  
Phone No. 585-329-0232

<u>  x  </u> COUNTY PLANNING REVIEW	<u>  x  </u> ZONING VARIANCE REQUIRED
<u>C-2+R3</u> ZONING DISTRICT	<u>No</u> HISTORIC DISTRICT
<u>No</u> FLOOD ZONE	<u>No</u> HISTORIC LANDMARK
<u>No</u> CORNER LOT	<u>No</u> CITY ENGINEER REVIEW
<u>  x  </u> SITE PLAN REVIEW	<u>No</u> CITY COUNCIL REVIEW
<u>No</u> BID	<u>  —  </u> OTHER

### PROJECT DESCRIPTION:

Home Leasing is proposing a 4-story apartment project on 1.2 acres. This \$12,000,000 development, will create 55 new mixed-income apartments and is planned in partnership with Eagle Star Housing, Inc. to set aside at least 25% of the apartments for apartments for supportive housing for homeless vets. This development will create 4 new permanent jobs and 150 construction jobs for 12-15 months. Plans include 8 studio, 39 one-bedroom and 8 two-bedroom apartments targeting households between 60% of Area Median Income and 90% of Area Median Income. Amenities will include a community room, fitness center, on-site laundry, laptops for resident use, and private outdoor space for every apartment.

EXISTING USE: Commercial/single-family residential

PROPOSED USE: Residential

N.Y.S. BLDG. CODE OCC. CLASS: B

N.Y.S. BLDG. CODE OCC. CLASS: R-2

LOT SIZE: +/- 1.2 acres

LOT AREA: +/- 1.2 acres

### CITY PLANNING & DEVELOPMENT REVIEW:

   APPROVAL AS PRESENTED    DISAPPROVAL    APPROVAL WITH CONDITIONS

CHAIRMAN SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

Applicant Signature	Date	Issuing Officer
Permit Fee: _____		Issue Date: _____

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

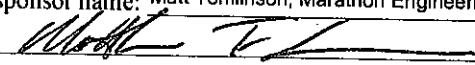
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: Home Leasing - Batavia							
Project Location (describe, and attach a location map): 552, 554, 556 East Main Street, City of Batavia, Genesee County, New York							
Brief Description of Proposed Action: Home Leasing is proposing a 4-story apartment project on 1.2 acres in the City of Batavia. This \$12,000,000 development, will create 55 new mixed-income apartments and is planned in partnership with Eagle Star Housing, Inc. to set aside at least 25% of the apartments for supportive housing for homeless vets. This development will create 4 new permanent jobs and 150 construction jobs for 12-15 months. Plans include 8 studio, 39 one-bedroom, and 8 two-bedroom apartments targeting households between 60% of Area Median Income and 90% of Area Median Income. Amenities will include a community room, fitness center, on-site laundry, laptops for resident use, and private outdoor space for every apartment. Rent will include all utilities and residents will have access to an onsite community leader and 24/7 emergency maintenance services.							
Name of Applicant or Sponsor: Adam Discroll, Home Leasing, LLC		Telephone: 585-329-0232					
		E-Mail: adamdr@homeleasing.net					
Address: 180 Clinton Square							
City/PO: Rochester		State: NY	Zip Code:				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		1.21 acres					
b. Total acreage to be physically disturbed?		1.21 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.21 acres					
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							



5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ Sheet flow discharge will mimic existing conditions. _____	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES		

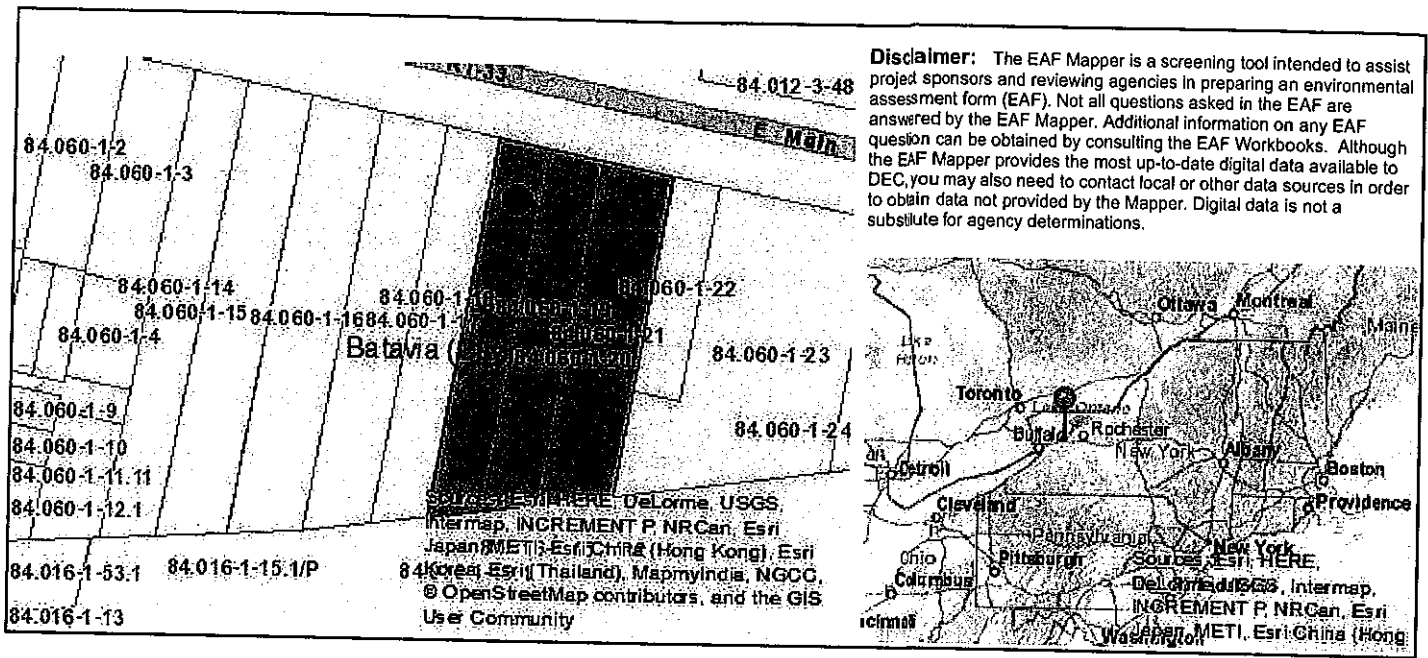
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: <u>+/- 0.25 acre-feet bioretention pond for stormwater management</u>	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <u>Subject property is located ~1000' northwest of DEC Remediation Site 819008. The site has been delisted due to an absence of hazardous waste. DEC Remediation Site 819006 is located ~2000' west of subject property. Site has been properly closed and is still being monitored. DEC Remediation Site V00667 is located ~2000' northeast of subject **</u>	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Matt Tomlinson, Marathon Engineering, as agent</u>		Date: <u>6/29/17</u>
Signature: <u></u>		

\*\*property. The site has interim remediation measurements in place and is restricted to employees only.



## EAF Mapper Summary Report

Thursday, June 22, 2017 4:08 PM



Part 1 / Question 7 [Critical Environmental Area] No

Part 1 / Question 12a [National Register of Historic Places]

Part 1 / Question 12b [Archeological Sites] Yes

Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
---	----

Part 1 / Question 15 [Threatened or Endangered Animal]

Part 1 / Question 16 [100 Year Flood Plain] Digital mapping data are not available or are incomplete. Refer to EAF Workbook.

Part 1 / Question 20 [Remediation Site] Yes

Project:

Date:

***Short Environmental Assessment Form***  
***Part 2 - Impact Assessment***

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>



Project: Date: 

### ***Short Environmental Assessment Form***

#### ***Part 3 Determination of Significance***

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**



**CITY OF BATAVIA**  
**APPLICATION TO THE ZONING BOARD OF APPEALS**

Application No.: \_\_\_\_\_

Hearing Date/Time: \_\_\_\_\_

**APPLICANT:** Adam Driscoll, Home Leasing, LLC

adamr@homeleasing.net

Name

E-Mail Address

180 Clinton Square

585-329-0232

Street Address

Phone

Fax

Rochester

NY

14604

City

State

Zip

**STATUS:** ☒ Owner ☐ Agent for Owner ☐ Contractor

**OWNER:** Home Leasing, LLC

adamr@homeleasing.net

Name

E-Mail Address

180 Clinton Square

585-329-0232

Street Address

Phone

Fax

Rochester

NY

14064

City

State

Zip

**LOCATION OF PROPERTY:** 552, 554, 556 East Main Street, Batavia, Genesee County, NY

**DETAILED DESCRIPTION OF REQUEST:** 48 parking spaces versus the required 83 parking spaces and one elevator versus two elevators. Please refer to the Letter of Intent for more detailed information.

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Matt Tomlinson for Adam Driscoll  
Applicant's Signature

6/29/17  
Date

\*See copy of purchase contract.  
Owner's Signature

Date

(552) 84.060-1-19  
(554) 84.060-1-20  
TAX PARCEL: 84.060-1-21

To be Filled out by Zoning Officer

ZONING DISTRICT: C-2 + R-3 FLOOD PLAIN: No

**TYPE OF APPEAL:** ☒ Area Variance

**FEE:** ☐ \$50 (One or Two Family Use)

☐ Use Variance

☒ \$100 (All other Uses)

☐ Interpretation

☐ Decision of Planning Committee

Provision(s) of the Zoning Ordinance Appealed: BMC 190-37 c.(2) one pass. Elevator and one Service elevator  
Reg. per Highrise. BMC 190-39 A(2)(b) 1.5 parking space reg. per dwelling unit.



## Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.  
See Attached  
\_\_\_\_\_  
\_\_\_\_\_
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. See Attached  
\_\_\_\_\_  
\_\_\_\_\_
3. **Substantiality.** The requested area variance is not substantial. See Attached  
\_\_\_\_\_  
\_\_\_\_\_
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.  
See Attached  
\_\_\_\_\_  
\_\_\_\_\_
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title. See Attached.  
\_\_\_\_\_  
\_\_\_\_\_

Matt Toulinson for Adam Driscoll  
Applicant's Signature

6/29/17  
Date

## Overview

Home Leasing, LLC is proposing to construct a 4-story, 55-unit apartment building on 1.2+/- acres.

We are requesting approval of the following variance from the Zoning Board of Appeals (ZBA):

- 48 parking spaces versus the required 83 parking spaces

## Tests for Granting Area Variances

- A. *Explain how your variance request will not result in a substantial change in character to the neighborhood, or detrimentally affect surrounding properties.*

The number of parking spaces is adequate for this project – see attached memo from the applicant, Home Leasing, regarding their experiences at other projects. Having fewer parking spaces on-site increases the attractiveness of this project, thus positively affecting surrounding properties. In addition, stormwater runoff is minimized which reduces the impact to the environment.

- B. *Explain why the difficulty necessitating your variance request can't be solved in another manner not requiring a variance.*

Increasing the number of parking spaces would necessitate reducing the footprint of the building, resulting in fewer units, making the project economically unfeasible.

- C. *How substantial is your variance request in relation to the Code's requirements?*

*Code requires:*

83 parking spaces

*Request:*

48 parking spaces, which is adequate to serve the needs of the project.



*D. Describe how your variance request is the minimum necessary to grant relief from your difficulty.*

The number of planned parking spaces correlates to actual experience of the applicant at similar properties – therefore this request is the minimum necessary.

*E. Explain how the proposed variance is consistent with surrounding properties so as not to have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.*

East Main St is a four-lane State Highway; nearby properties include retail and commercial plaza parking facilities. The parking for the proposed apartment building is to the side and rear of the building, minimizing the visual impact. There are no adverse effects or impacts on the physical or environmental conditions in the neighborhood.

*F. Describe how the difficulty which leads to this variance request was not self-created.*

The applicant has extensive experience at other, similar facilities. The requirement in the City Code, which does not adequately reflect the parking needs of this particular project, is not a self-created difficulty.

**The Project:** Home Leasing is proposing a 55-unit apartment community with 48 parking spaces at 556 East Main Street, Batavia. Of the 55 units, HL is planning to set aside a minimum of 30% of the units for supportive housing for homeless veterans served by Eagle Star Housing. The 556 East Main Street site was specifically selected because of its walkability and proximity to a wide variety of community amenities including (grocery, pharmacy, banking services, library, faith communities, restaurants, etc), and access to public transit. Additionally, the community will include indoor bike storage, a well-used amenity. Finally, Eagle Star Housing is planning to provide transportation to all Eagle Star clients who reside in the supportive housing.

**Parking Data:** Home Leasing conducts an annual audit of parking because on-site property management staff have determined that the properties typically have excess parking – beneficial to neither development and operating budgets nor the environment (run off, heat, less green space). Home Leasing currently operates 18 properties and has an additional 2 under construction. Of the 18 existing properties, 4 are general occupancy, as proposed for Batavia. The properties, located in Elmira, Rochester, Baltimore, and Auburn, range in size from 75 units to 252 units and have a mix of one, two and three bedrooms apartments and/or townhomes.

#### Home Leasing Parking Audit – December 2016

	Elmira	Rochester I*	Baltimore	Auburn	Total	Rochester II**	Rochester III**
# of Units	102	75	252	150	579	72	50
# of Spaces	100	71	250	223	644	60	19
# Residents (12/16)	184	92	416	145	837	**	**
# Registered Cars (12/16)	47	35	175	79	336	**	**
Avg # Occupied spaces	31	33	108	82	260	**	**
Avg # Unoccupied spaces	69	38	136	141	384	**	**
<b>% Parking Utilization</b>	<b>31%</b>	<b>53%</b>	<b>43%</b>	<b>37%</b>	<b>40%</b>	<b>**</b>	<b>**</b>

*\* Rochester I also includes 8 commercial businesses, property management staff, and staff for supportive housing program*

*\*\*Projects with site plan approval*

Based on historic data, Home Leasing anticipates that no more than 40% of residents will have cars. The Elmira, Baltimore and Auburn projects were all existing apartment communities with parking in place when acquired. **Applying HL's historic percentage of 40% of parking utilization to the Batavia property with 55 apartments yields 32 parking spaces.** HL's benchmark is slightly higher than Eagle Star's benchmark of 33% of residents with automobiles. **The proposed parking easily accommodates 3 parking spaces for staff and an additional 10 spaces for visitors/flex.**

DePaul's supportive housing community, across East Main Street from the proposed HL site, provides 32 spaces for 42 units for a ratio of about 3:4 – less than one per unit. HL's project proposes 48 spaces for 55 units, for a ratio of 4:5.

We feel confident that the current proposed number of parking spaces will be sufficient. Additionally, there will be approximately 8-10 on-street parking spaces available in front of the property.



PURCHASE AND SALE CONTRACT  
FOR REAL PROPERTY

TO: WILLIAM MOSMAN, JR. & PAULA MOSMAN  
562 East Main Street  
Batavia, NY 14020  
Seller

FROM: HOME LEASING LLC  
180 Clinton Square  
Rochester, NY 14604  
Buyer

OFFER TO PURCHASE

Buyer offers to purchase the property described below from Seller on the following terms:

1. **PROPERTY DESCRIPTION.** Property known as 562 East Main Street, Batavia, NY 14020 ("Property") Tax Account No. 84.080-1-19) including all buildings and any other improvements and all rights which the Seller has in or with the property.

Description of Buildings on Property: 1780 square foot residential home on approximately .4 acres.

2. **OTHER ITEMS INCLUDED/EXCLUDED IN PURCHASE.** It is the Buyer's intent to demolish this building. Seller may remove any fixtures, appliances, HVAC and landscaping items, etc. from the premises prior to closing.

Seller shall provide any site plans, surveys, designs, blue prints, engineering studies, architectural drawings or other documents or plans in their possession.

3. **PURCHASE PRICE: AMOUNT AND HOW IT WILL BE PAID.** The purchase price is \$100,000.00 Dollars (\$100,000.00) and shall be paid as follows: All in cash, bank cashier's check, attorney's trust check, or certified check at time of closing. Buyer shall receive credit for any deposit made in accordance with paragraph 16 below.

4. **CONTINGENCIES.** This Contract is subject to the contingencies set forth below. If any of these contingencies is not satisfied by the dates specified, then either Buyer or Seller may cancel this contract by written notice to the other.

- A. **Due Diligence Period.** Buyer shall have 180 days from Seller acceptance to conduct inspections, examine title and perform a feasibility study. During this period of time, Buyer shall have the right to cancel the contract upon written notice to the Seller and the Buyer's full deposit shall be returned. Seller agrees to permit access to the Property for inspections provided buyer provides evidence of General Liability Insurance in an amount not less than \$1,000,000.00 per occurrence and gives Seller 72 hours advance written notice. Buyer shall have access to the Premises during the term of this Contract for purposes of inspections, development approval and engineering studies.
- B. **Mortgage Contingency.** This Offer is subject to Buyer obtaining, accepting and closing on financing for development of this parcel as a mixed income general occupancy housing development.
- C. **Environmental Audit.** This Contract is contingent upon Buyer accepting an environmental inspection satisfactory to Buyer in Buyer's sole discretion. All testing to be done at Buyer's expense. Environmental inspection to be completed within Due Diligence Period.
- D. **Conditional Use Permit, Zoning and Site Plan Approval.** This Contract is contingent upon Buyer obtaining, and accepting the terms of, such permits and approvals from the City of Batavia as shall permit Buyers to occupy and use the Premises for purposes of an apartment building and associated parking. Such approvals shall be obtained by Buyers at Buyers' sole expense; provided, however, that Seller hereby agrees that it shall authorize Buyers to apply for such approvals as Seller's agent, and Seller execute such applications, authorizations or other documentation as shall permit Buyers to make any such application, and Seller shall otherwise cooperate with and assist Buyers in such manner as shall facilitate the approval process.
- E. **Attorney Approval.** This Contract is subject to attorney approval by Buyer's and Seller's attorney within 10 days of the acceptance of this Offer.
- F. **Contracts and Conveyance of 3 Contiguous Properties.** The proposed development requires acquisition of 3 contiguous parcels - 562 E. Main, 564 E. Main and 566 E. Main. In the event Buyer is unable to enter into binding contracts for the sale of all 3 parcels, Buyer shall have the right to cancel this contract.

5. **CLOSING DATE AND PLACE.** The transfer of title shall take place on or before December 15, 2018 at the Genesee County Clerk's Office, or at such other place and time as may be agreed by the Parties (the "Closing"). In the event of a Buyer funding delay, Sellers agree to extend the closing date for up to 2 additional 1 year extensions upon receipt of written request to extend from the Buyers together with a non-refundable Extension fee of Three Thousand Dollars (\$3,000) payable directly to Seller for each year the Contract is extended. Any extension fees shall NOT be credited against the Purchase Price at closing and refundable to Buyer only in the event Seller is unable to deliver good title.
6. **BUYER'S POSSESSION OF THE PROPERTY; INSPECTION.** Buyer shall have access to this property during the term of this contract for purposes of inspections, development approval and engineering studies.
7. **TITLE DOCUMENTS.** Seller shall provide the following documents in connection with the sale:
  - A. Deed. Seller will deliver to Buyer at closing a properly signed and notarized Warranty Deed with Lien Covenant.
  - B. Abstract, bankruptcy and tax searches. Seller will furnish and pay for and deliver to Buyer or Buyer's attorney, within sixty (60) days of the date of this Contract, fully guaranteed tax, title and United States Court searches dated or re-dated after the date of this Contract, with a local tax certificate. Buyer shall be responsible for obtaining the instrument survey at its expense. Buyer shall be responsible for continuing such searches in connection with the Closing on this Contract.
8. **MARKETABILITY OF TITLE.** The deed and other documents delivered by Seller shall be sufficient to convey good marketable title in fee simple to the property, free and clear of all liens and encumbrances, including but not limited to real property taxes. However, Buyer agrees to accept title to the property subject to restrictive covenants of record common to any tract or subdivision of which the property is a part, provided these restrictions have not been violated, or, if they have been violated, that the time for anyone to complain of the violations has expired. Buyer also agrees to accept title to the property subject to public utility easements along lot lines as long as those easements do not interfere with any buildings now on the property or with any improvements Buyer may construct in compliance with all present restrictive covenants of record and zoning and building codes applicable to the Property.
9. **OBJECTIONS TO TITLE.** If, within ten (10) business days of receipt of the documents described in Section 7 above, Buyer ~~raises a valid written objection to Seller's title which means that the title to the property is unmarketable. Seller may cancel this Contract by giving prompt written notice of cancellation to Buyer. Buyer's deposit shall be returned immediately and if Buyer makes a written request for it, Seller shall reimburse Buyer for the reasonable cost of having the title examined.~~ However, if Seller giving written notice within five (5) days that Seller will cure the problem prior to the date of Closing, then this Contract shall continue in force until the closing date subject to Seller performing as promised. If Seller fails to cure the problem within such time, Buyer will not be obligated to purchase the property and his deposit shall be returned together with reimbursement for the reasonable cost of having the title examined.
10. **RECORDING COST, MORTGAGE TAX, TRANSFER TAX AND CLOSING ADJUSTMENTS.** Seller will pay the real property transfer tax and special additional mortgage recording tax, if applicable. Buyer will pay for recording the deed and the mortgage, and for mortgage tax. The following, as applicable, will be prorated and adjusted between Seller and Buyer as of the date of closing: current taxes computed on a fiscal year basis, excluding any delinquent items, interest and penalties; fuel oil on premises; water charges; pure water charges, sewer charges. If there is a water meter at the property, and Seller is then paying water and sewer charges, Seller shall furnish an actual reading to a date not more than three (3) days before the closing date. In such case, at closing the water charges and any sewer rent shall be apportioned on the basis of such actual reading.
11. **ZONING.** Seller represents that the property is currently zoned: C-2 and R-3.
12. **RISK OF LOSS.** Risk of loss or damage to the property by fire or other casualty until transfer of title shall be assumed by the Seller. If damage to the property by fire or such other casualty occurs after the date of this Contract but prior to transfer, Buyer may cancel this contract without any further liability to Seller. If Buyer does not cancel but elects to close, then Seller shall transfer to Buyer any insurance proceeds, or Seller's claim to insurance proceeds payable for such damage. Seller shall provide satisfactory evidence to Buyer that the Premises are insured against casualty and liability.
13. **CONDITION OF PROPERTY.** Buyer agrees to purchase the property "as is" except as provided in paragraph 2, subject to reasonable use, wear, tear and natural deterioration between now and the time of closing.
14. **SERVICES.** Seller represents that property is serviced by: ☒ Public Water ☒ Public Sewers ☐ Septic System ☐ Private Well.
15. **REAL ESTATE BROKER.** It is understood and agreed by both Buyer and Seller that no broker secured this contract. Seller shall be solely responsible for payment of any broker's commission or charges, and shall indemnify and hold the Buyer harmless from and against any claim for any real estate commission, brokerage fee or finder's fee made by any person, firm or corporation, claiming by, through or under the Seller. This warranty and representation shall survive the Closing.



16. Deposits. Deposit: Upon mutual execution of the Purchase Agreement by Seller and Buyer, Buyer will make payment of Three Thousand Dollars (\$3,000.00) (the "Initial Deposit") which Deposit shall be held by Seller's Attorney in their escrow account. Upon closing, the Initial Deposit shall be credited to the Buyer.

At the conclusion of the Due Diligence Period, Buyer may terminate the Purchase Agreement for any reason or no reason whatsoever and Buyer's deposit shall be returned or (b) elect to continue with the contract subject to the remaining contingencies in Paragraph 4. If Buyer elects to continue the \$3,000 deposit becomes non-refundable.

If Buyers are unable to secure satisfactory financing by the closing date or any Extended Closing date, Buyers shall provide written notice of cancellation of the contract to Sellers and Sellers shall retain the Initial Deposit and Extension Fees in full satisfaction of Buyers' obligations under this contract.

17. **INDEMNIFICATION**. The Seller shall indemnify and hold the Buyer harmless from and against any and all liabilities, claims, demands, costs and expenses of any kind or nature, including but not limited to, reasonable attorneys' fees, arising out of or incurred in connection with any breach of the representations and warranties of Seller set forth in this Agreement. This indemnity and Seller's representations and warranties herein shall survive Closing.

18. **SELLER'S REPRESENTATIONS AND WARRANTIES**. Seller, jointly and severally, represents and warrants:

- A. There are no pending or threatened, condemnation or similar proceedings affecting the Premises, or any portion thereof. Seller has not received any written notice that any such proceeding is contemplated, and no part of the Premises has been destroyed or damaged by any casualty.
- B. There are no contracts, agreements or options to purchase, rights of first refusal or other similar agreements with respect to the Premises which give anyone the right to purchase the Premises or any part thereof. There are no contracts or agreements which affect or cover the Premises. There are no unpaid bills or claims in connection with the construction, repair or replacement of the Premises.
- C. With respect to the Premises, the Sellers have duly filed in a timely manner all federal, state, county and local income, franchise, excise, withholding, sales, occupancy, payroll, property (real, personal and intangible), and any other tax returns and reports required to have been filed up to the date hereof, and has paid all taxes, interest, penalties and all assessments that have become due. No liens for taxes, federal, state or local, have been filed against the Premises, the Sellers or their assets.
- D. The Sellers have received no notice of violation from any governmental agencies pertaining to the use or occupancy of the Premises.
- E. The Seller has not performed an environmental inspection and is has no obligation under this contract to do so. The Sellers have not received any notice of violations of and to the best of Sellers' knowledge, the Sellers and the Premises have not been charged with, or are not under investigation for failure to comply with, any and all statutes, laws, ordinances, rules, regulations, orders and directives of any Governmental Agency or Agencies pertaining to the use, generation, dumping, releasing, burying or disposing of or emitting of any particles, materials, substances, or emissions that are now or have heretofore been determined by any Governmental Agency or Agencies to be of a hazardous, toxic, palliative, or ecologically or environmentally damaging nature, including but not limited to asbestos ("Hazardous Materials"). To the best of Sellers' knowledge, except in compliance with applicable laws, Sellers have not previously disposed of any Hazardous Materials at the property. Sellers have never received any notice of claim from a Governmental Agency concerning the alleged release or threatened release of Hazardous Materials at the Premises.
1. For purposes of this Agreement, the term "Hazardous Material" shall include, but not be limited to, those materials or substances now or heretofore defined as "hazardous substances," "hazardous materials," "hazardous waste," "toxic substances," or other similar designations under the Comprehensive Environmental Response, Compensation and Liability Act of 1980, as amended, 42 U.S.C., Section 9601, et seq., the Resource Conservation and Recovery Act, 42 U.S.C., Section 6901, et seq., the Hazardous Materials Transportation Act, 49 U.S.C., Section 1801, et seq., and all analogous laws enacted, promulgated or lawfully issued by the United States, any State of the United States or any political subdivision of any such state.
2. For purposes of this Agreement, the term "Governmental Agency or Agencies" means, whether of the United States of America, of any state or territory thereof or of any foreign jurisdiction, any government, political subdivision, court, agency, or other entity, body, organization or group exercising any executive, legislative, judicial, regulatory or administrative function of government.
- F. There are no causes of action, actions, or proceedings which are pending, or to Sellers' knowledge, threatened, relating to the Premises or any interest therein.

- G. Buyers may waive any condition to close or breach of any representation or warranty provided for herein or any Title or Survey Defect, and in such event, this transaction shall be consummated as if such condition, representation, warranty or defect was satisfied. All of the representations and warranties contained in this Agreement shall survive the Closing. The representations and warranties set forth above shall be true, correct and accurate on the date hereof and as of the date of Closing and shall survive the Closing for a period of two (2) years, provided that (i) the representations set forth in this Section shall survive for any applicable statute of limitations with respect to the payment of taxes, (ii) the representations set forth in paragraphs D and E of this section shall survive for all applicable statute of limitation periods applicable to environmental matters or claims, and (iii) all warranties contained in the General Warranty Deed, Bill of Sale and other transfer documents shall survive the Closing.
- H. Seller certifies that he owns the property and has the power to sell the property.
19. **ASSIGNABILITY.** This contract is personal to the parties and may not be assigned by either without the other's consent; provided, however, that this contract may be assigned by or to a corporation or limited liability company having as shareholders at least one of the named Buyers.
20. **ENTIRE CONTRACT.** This contract when signed by both Buyer and Seller will be the record of the complete agreement between the Buyer and the Seller concerning the purchase and sale of the property. No verbal agreements or promises will be binding.
21. **NOTICES.** All notices given pursuant to any provision of this Agreement shall be in writing and shall be effective only if delivered personally, or sent by registered or certified mail, postage prepaid, sent by a national overnight carrier, or by fax with confirmation of receipt, to the addresses below:
- To Buyer: Home Leasing, LLC  
Attn: Kimberly Russell, Esq.  
180 Clinton Square  
Rochester, NY 14604  
(585) 270-5028
- To Seller: Mary Mosman Jr.  
554 E. Main St.  
Batavia, NY 14020
- With copy to Sellers' attorneys: Richard Slisz, Esq.  
14 Lafayette Square  
Suite 1700  
Buffalo, NY 14203  
(716) 854-4400
22. **COUNTERPARTS:** This Agreement may be executed in counterparts, each of which shall be deemed an original, and all of which, when taken together, shall constitute one and the same agreement with the same effects as if both of the parties had signed the same signature page.
23. **LIFE OF OFFER.** This Offer shall expire on December 21<sup>st</sup>, 2016 at noon.

Dated: 12/12/16

Witness: K Russell

Home Leasing, LLC

By: Nelson Leenhouts  
Nelson Leenhouts, Chairman & CEO  
Buyer

**CONTRACT ACCEPTANCE:**

Dated: 12-15-16

Witness: Mary E. Mosman

1-14-16

By: William L. Mosman Jr.  
~~Mary Mosman, Seller~~

William L. Mosman Jr.

Paula A. Mosman  
Paula A. Mosman





030-1-27

84106-1-03

84106-1-19

84106-1-29

84106-1-01

84106-1-23

84106-1-15-1





**SWBR**

Batavia Apartments  
Conceptual Rendering



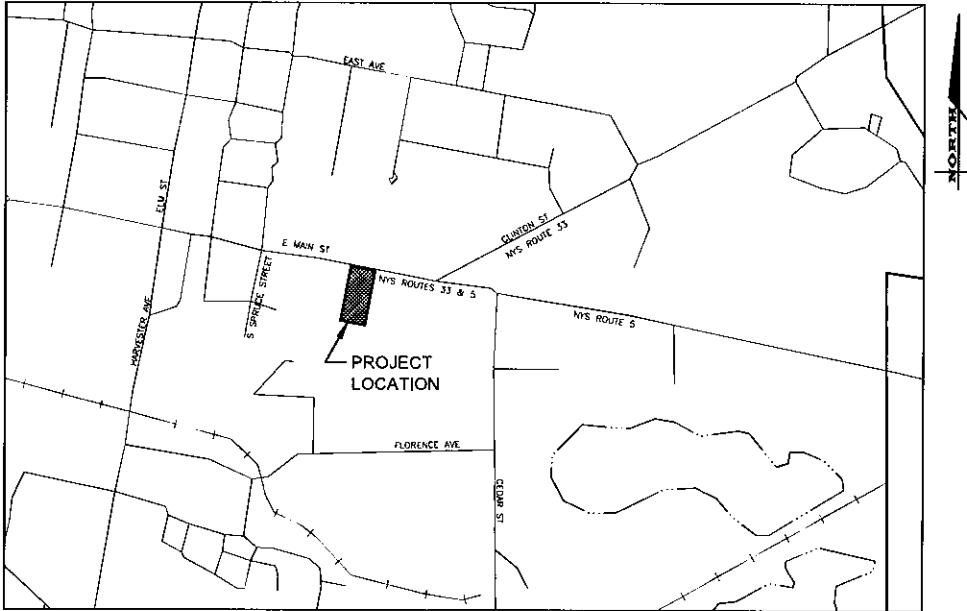
**HOME  
LEASING**



**PRELIMINARY/FINAL PLANS**  
**for**  
**HOME LEASING - BATAVIA**

**552, 554, 556 MAIN STREET**

SITUATE IN:  
**CITY OF BATAVIA - GENESEE COUNTY - STATE OF NEW YORK**



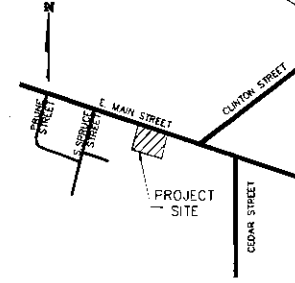
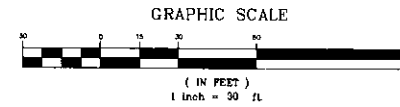
**LOCATION MAP**  
NOT TO SCALE

  
**MARATHON**  
ENGINEERING  
39 CASCADE DRIVE  
ROCHESTER, NY 14614  
PHONE 585-458-7770  
[www.marathoneng.com](http://www.marathoneng.com)

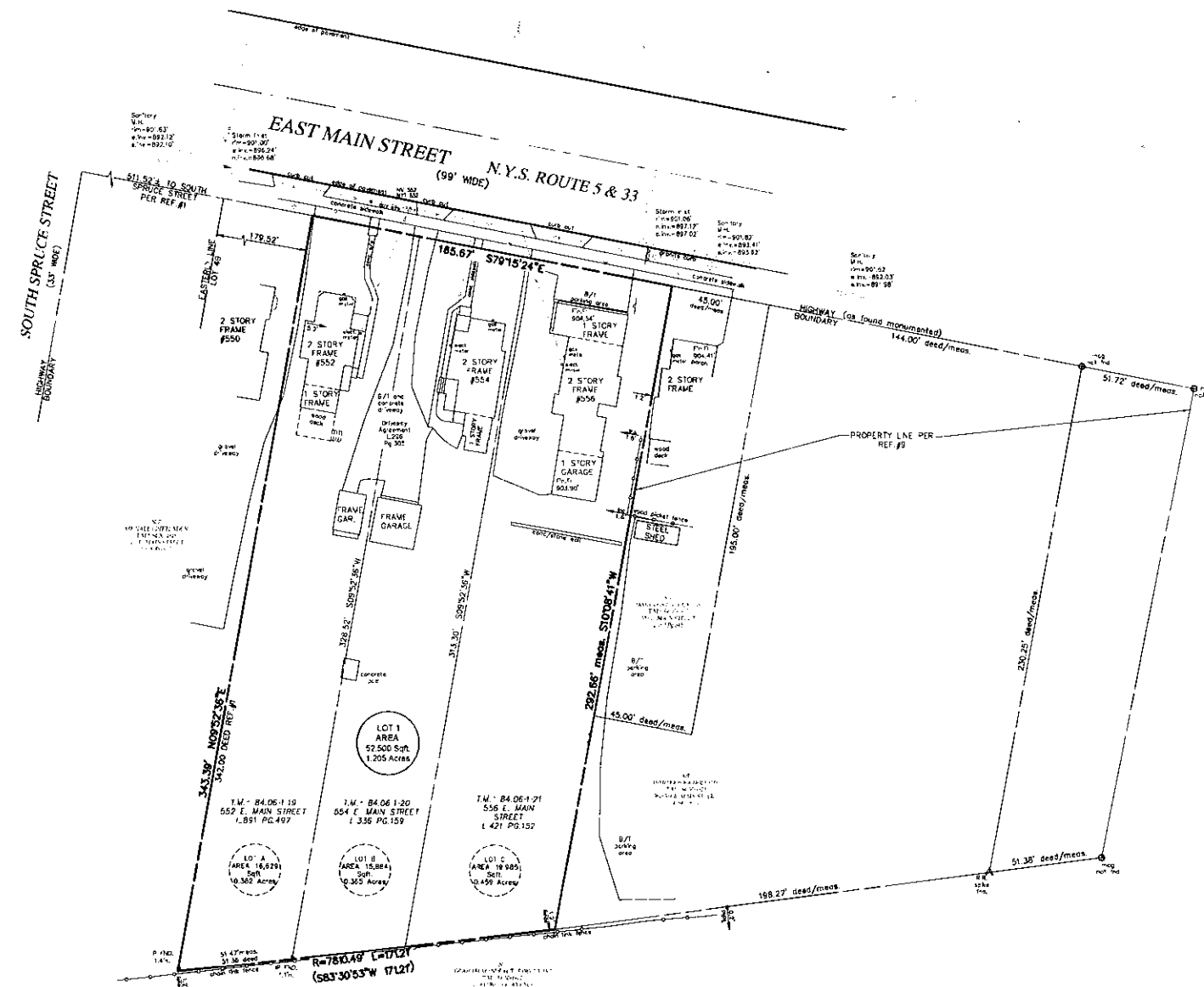
LIST OF DRAWINGS		
No.	DWG. No.	Description
1	V1.0	EXISTING FEATURES & DEMOLITION
2	C1.0	SUBDIVISION PLAN
3	C2.0	LAYOUT PLAN
4	C3.0	UTILITY PLAN
5	C4.0	GRADING & EROSION CONTROL PLAN
6	C5.0	LIGHTING & LANDSCAPING PLAN
7	C6.1	CONSTRUCTION DETAILS 1
8	C6.2	CONSTRUCTION DETAILS 2
9	C6.3	CONSTRUCTION DETAILS 3
10	C7.0	NYSDOT PLAN
11	C7.1	NYSDOT DETAILS

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MARATHON ENGINEERING  
OF ROCHESTER, P.C.

DESIGNER CONTACT STATEMENT  
MARATHON ENGINEERING IS RESPONSIBLE FOR THE DESIGN OF THIS PROJECT. MATT TOMLINSON IS THE DESIGNER AND IS FAMILIAR WITH NYSDOT STANDARDS AND REQUIREMENTS AND SHALL BE CONTACTED AT 585-458-7770 TO RESOLVE ISSUES OR PROBLEMS DURING CONSTRUCTION. ALL REVISIONS INCLUDING REVISIONS NECESSARY DUE TO FIELD CONDITIONS SHALL BE APPROVED BY THE NYSDOT.



CITY OF BATAVIA  
LOCATION SKETCH  
N.T.S.



- REFERENCES:
1. WILLIAM L. & MARY ELLEN MOSMAN TO WILLIAM L. MOSMAN JR. & PAULA A. MOSMAN BY DEED FILED AS UBER BPL PAGE 497 (T.M. #54-06-1-19)
  2. HUDNELL & ALVA LARSON TO WILLIAM L. & MARY ELLEN MOSMAN BY DEED FILED AS UBER 336 OF DEEDS, PAGE 159 (T.M. #54-06-1-20)
  3. ANNA M. LANC TO WILLIAM L. MOSMAN BY DEED FILED AS UBER 421 OF DEEDS, PAGE 159 (T.M. #54-06-1-21)
  4. THE GENESEE COUNTRY ABSTRACT COMPANY ABSTRACT #3725 LAST DATED NOVEMBER 12, 1980
  5. STEWART TITLE INSURANCE COMPANY ORDER #52523501 LAST DATED FEBRUARY 24, 2012
  6. "SURVEY & SUBDIVISION MAP OF LANDS OF GRAHAM MANUFACTURING CO. INC.", FILED 1/22/1989 AS MAP #1572, SIDE 42
  7. BOUNDARY SURVEY OF A PARCEL TO BE CONVEYED PREPARED BY GREGORY W. TOWNSEND, JOB #12-27, DATED 1/25/2012
  8. MAP OF A SURVEY OF PART OF VILLAGE LOT 49 PREPARED BY OTTNEY & MILLER, L.S.P.C., FB# 53-45, JOB #4735A, DATED 12/21/1992
  9. MAP OF A SURVEY OF "THREE WATERS" PREPARED BY WELCH & O'DONOGHUE LAND SURVEYORS, P.C., JOB 690-3645, LAST DATED 7/29/16

WE, MAGDE LAND SURVEYING, P.C., HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF A FIELD SURVEY COMPLETED ON FEBRUARY 2, 2017 AND FROM THE REFERENCES LISTED HEREON. SUBJECT TO ANY FACTS AN UPDATED ABSTRACT OF TITLE MAY REVEAL.

DOUGLAS W. MAGDE, L.S. LIC. #049357

SURVEY NOTES:  
THE HORIZONTAL DATUM (NAD 1983) TO THE N.Y.S. PLANE COORDINATE SYSTEM, WESTERN ZONE, TRANSVERSE MERCATOR SYSTEM, BEARINGS SHOWN HEREON ARE REFERENCED TO GRID. DISTANCE SHOWN ARE GROUND. SURVEY WORK FOR THIS MAP WAS COMPLETED TO AN ACCURACY OF 1 PART IN 10,000 (1:10,000) OR BETTER.

DESIGNED BY:  
DOUGLAS W. MAGDE, L.S.  
MAGDE LAND SURVEYING, P.C.  
4460 CULVER ROAD  
ROCHESTER, NEW YORK 14622  
(585) 654-5897  
FAX: (585) 654-6149  
EMAIL: dmagde@magdesurvey.com

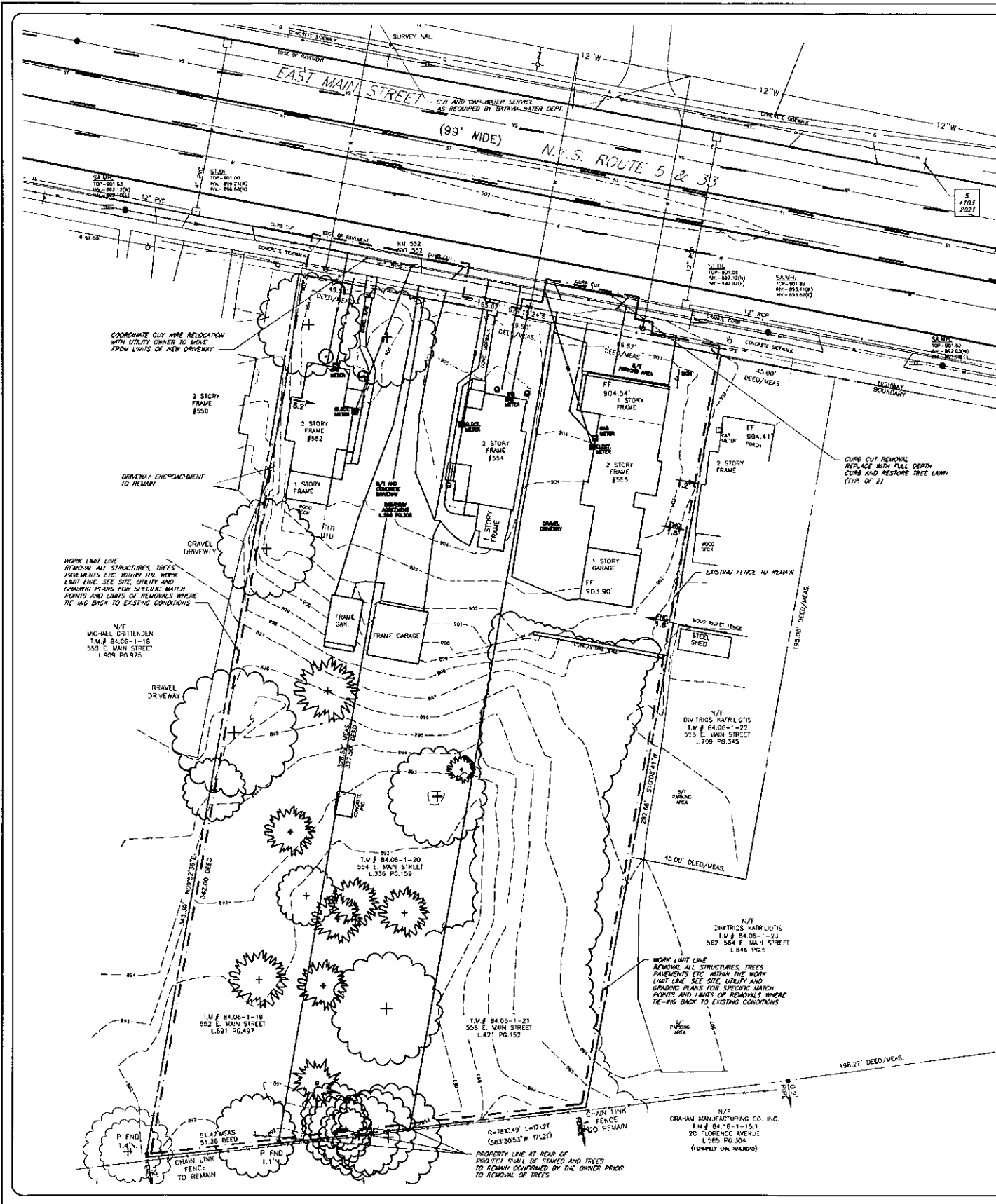
HOME LEASING - BATAVIA SUBDIVISION  
PREPARED FOR  
#552, #554 & #556 E. MAIN STREET  
CITY OF BATAVIA, GENESEE COUNTY, NEW YORK

MAGDE LAND SURVEYING, P.C.  
4460 CULVER ROAD  
ROCHESTER, NEW YORK 14622  
(585) 654-5897  
(585) 654-6149 (FAX)  
email: dmagde@magdesurvey.com





File: Z: Engineering\Job Files\0810-17\Drawings\0810 Topo (Marathon)\wp, Last saved: 6/28/2017, Plt Date: 6/28/2017, By: MTD/MLSON, Plot Style: -----



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39 CASCADE DRIVE  
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PHONE 585-458-7770  
www.marathoneng.com

**TOPOGRAPHIC MAP**  
for  
**HOME LEASING - BATAVIA**  
**#552, #554, AND #556 EAST MAIN STREET**

STATE OF NEW YORK

GENESEE COUNTY

CITY OF BATAVIA

JOB NO: 0810-17  
SCALE: 1"=20'  
DRAWN: RLB  
DESIGNED:  
DATE: 06/28/17

REVISIONS  
DATE BY REVISION

DATE	BY	REVISION

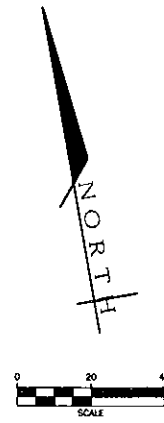
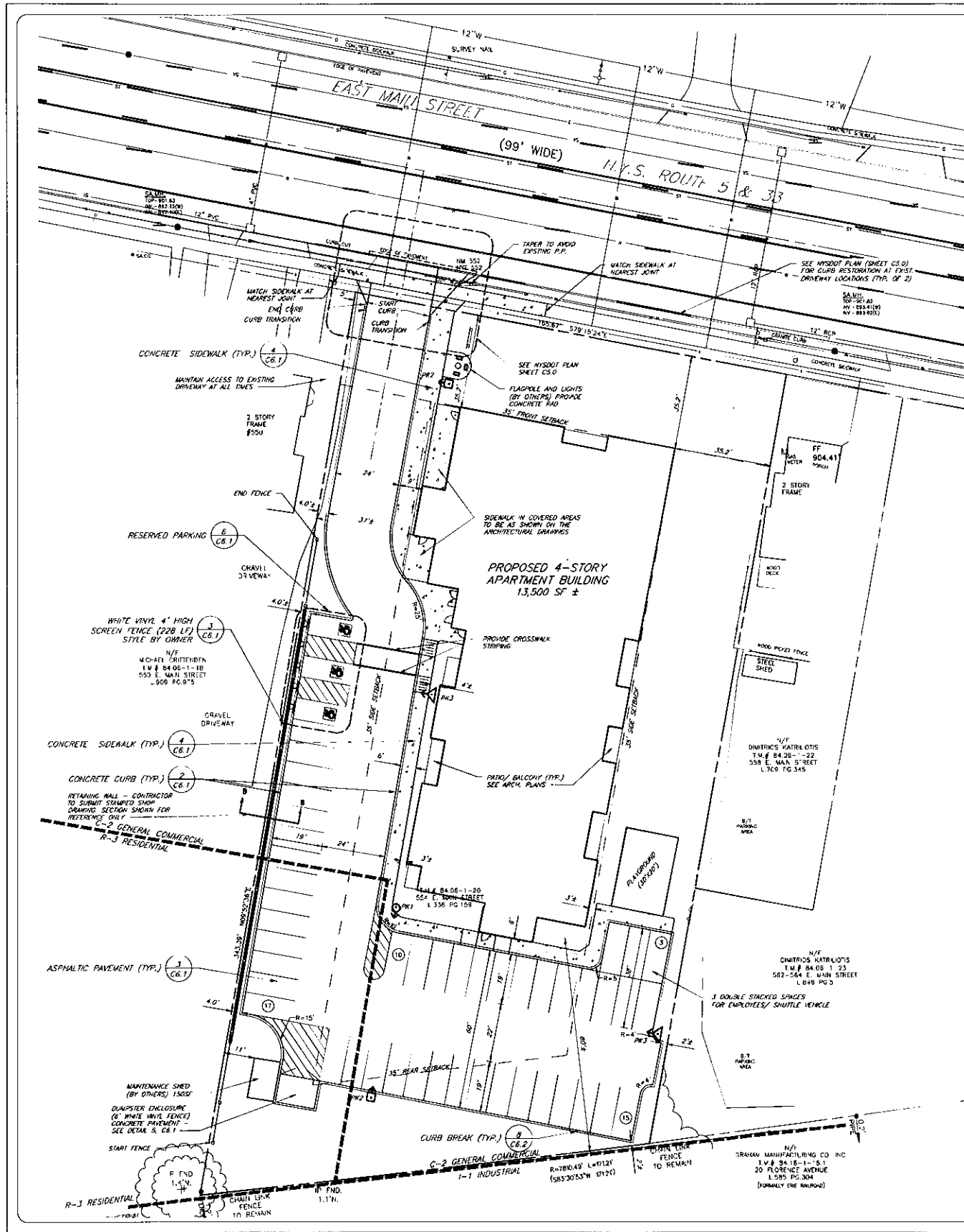
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ROBERT P. BRINGLEY

DRAWING TITLE:  
**EXISTING FEATURES AND DEMOLITION PLAN**

1 of 15  
SHEET No: **V1.0**  
0810-17  
JOB No: DRAWINGS No:



GENERAL NOTES:

- 1. **APPLICABILITY** - THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED INFORMATION OUTSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN 5' OUTSIDE OF THE BUILDING'S EXTERIOR WALL.
- 2. **MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
- 3. **STAKEOUT** - THE CONTRACTOR SHALL NOTIFY THE SAFELY NEW YORK (1-800-943-7803) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- 4. **PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWN, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- 5. **ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES PRIVATE ROADS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- 6. **SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION THE CONTRACTOR SHALL POST STORAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 7. **EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- 8. **MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE KEPT CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- 9. **CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- 10. **PERMITS** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER'S CONTRACT AGREEMENT.
- 11. **INTERIM CONDITIONS** - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT, ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONSTRUCTION NOTES:

- 1. **STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "LAYOUT PLAN". THE BUILDING FOOTPRINT(S) DATED 08/01/17 WERE PROVIDED BY SVAR ARCHITECTS. DISCREPANCIES WITH BUILDINGS, CONTROL POINTS, AND/OR THE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO THE INSTALLATION OF IMPROVEMENTS FOR COORDINATION AND CLARIFICATION.
- 2. **BOUNDARY** - EQUIVOCAL INFORMATION WAS TAKEN FROM SITE SURVEY MAP - 555, 556, 558 EAST MAIN STREET, BATAVIA, NY PREPARED BY NADCO LAND SURVEYING DATED 03/22/2017 AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.
- 3. **LAYOUT** - DIMENSIONS SHOWN WHERE APPLICABLE, SHALL BE FROM THE FACE OF CURB UNLESS SPECIFICALLY CALLED OUT OTHERWISE.
- 4. **DEMOLITION** - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT LINE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.
- 5. **COORDINATION** - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS), TO AVOID POTENTIAL INSTALLATION CONFLICTS.
- 6. **STAGING** - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREA/METHOD IS NOT SPECIFICALLY CALLED OUT IN THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.
- 7. **CLOSE-OUT** - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:
  - REMOVAL OF ANY CONSTRUCTION DEBRIS.
  - CLEARING PAVEMENT AND WALKWAY SURFACES.
  - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS.
  - PROMISING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS.
  - PROMISING A RECORD DRAWING.
  - COMPLETION OF FINAL PUNCH LIST ITEMS.

PROJECT STATISTICS

1. GENERAL:

- 1.1 PROPERTY APPLICANT - HOME LEASING
- 1.2 PROPERTY ADDRESS - 555,556,558 EAST MAIN STREET, BATAVIA, NY
- 1.3 TAX ACCOUNT - 24 065-1-19 24 065-1-20 24 065-1-21

2. ZONING REGULATIONS:

- 2.1 ZONING DISTRICT - C-2: GENERAL COMMERCIAL & R-3 RESIDENTIAL
- 2.2 CODE REQUIREMENTS:

	REQUIRED	PROPOSED	VARIANCE/MAINDER REQ'D
MAXIMUM LOT AREA	35,750 SF	53,366 SF	NO
MAXIMUM LOT FRONTAGE	100 FT	182 FT	NO
MAXIMUM LOT COVERAGE (FOR HIGH RISE)	40%	28%	NO
BUILDING SETBACKS			
FRONT	35 FT	35 FT	NO
SIDE	35 FT	35 FT	NO
TOTAL SIDE	35 FT	70 FT	NO
REAR	35 FT	80 FT	NO
BUILDING HEIGHT			
NUMBER OF STORIES (MIN)	3	4	NO
PARKING			
STANDARD SPACES	83	73	-
ACCESSIBLE SPACES	7	3	NO
TOTAL NUMBER OF SPACES	83	48	YES
PARKING SPACE SIZE	8'x12'	8'x19'	NO

- \* MINIMUM LOT AREA PER DWELLING UNIT (D.U.) IS 5500 SF OF LOT AREA (D.U. IS 55 D.U. 45000 SF U-35 7300 SF)
- \*\* REQUIREMENT FOR HIGH RISE APARTMENTS IN THE CITY OF BATAVIA ZONING CODE HAS BEEN MET. THE PROPOSED FOUR (4) STORIES IS GREATER THAN THE REQUIRED THREE (3) STORIES TO BE CONSIDERED HIGH RISE APARTMENTS.
- \*\*\* REQUIRED PARKING:
  - 1.5 SPACES REQUIRED FOR EVERY DWELLING UNIT.
  - 1.5 SPACES - 33 UNITS - 49 REQUIRED.
- \*\*\*\* A VARIANCE WILL BE REQUESTED FOR 3 DOUBLE STACKED SPACES FOR 3 BEDROOM - DOUBLE CAR UNITS OR EMPLOYEES ARE PROVIDED.
- \*\*\*\*\* A VARIANCE WILL BE REQUESTED FOR THE BUFFER FOR THE SMALL PORTION OF PARKING LOT THAT ADJUTS TO RESIDENTIAL IN THE SOUTHWEST CORNER OF THE PROPERTY. A WHITE VINYL FENCE WILL BE PROVIDED AS MITIGATION.
- \*\*\*\*\* A VARIANCE WILL BE REQUESTED FOR RELIEF FROM THE REQUIREMENT FOR A HIGH-RISE BUILDING TO HAVE 2 ELEVATORS. ONLY ONE ELEVATOR IS PROPOSED.

3. PARCEL STATISTICS:

- 3.1 AREA - 17.21 ACRES (AFTER LOT COMBINATION)
- 3.2 EXISTING CONDITIONS: SINGLE-FAMILY DWELLING/COMMERCIAL
- 3.3 PROPOSED CONDITIONS: HIGH RISE APARTMENT IS AN ALLOWED USE BY SPECIAL PERMIT IN BOTH THE C-2 DISTRICT AND IN THE R-3 RESIDENTIAL DISTRICT.

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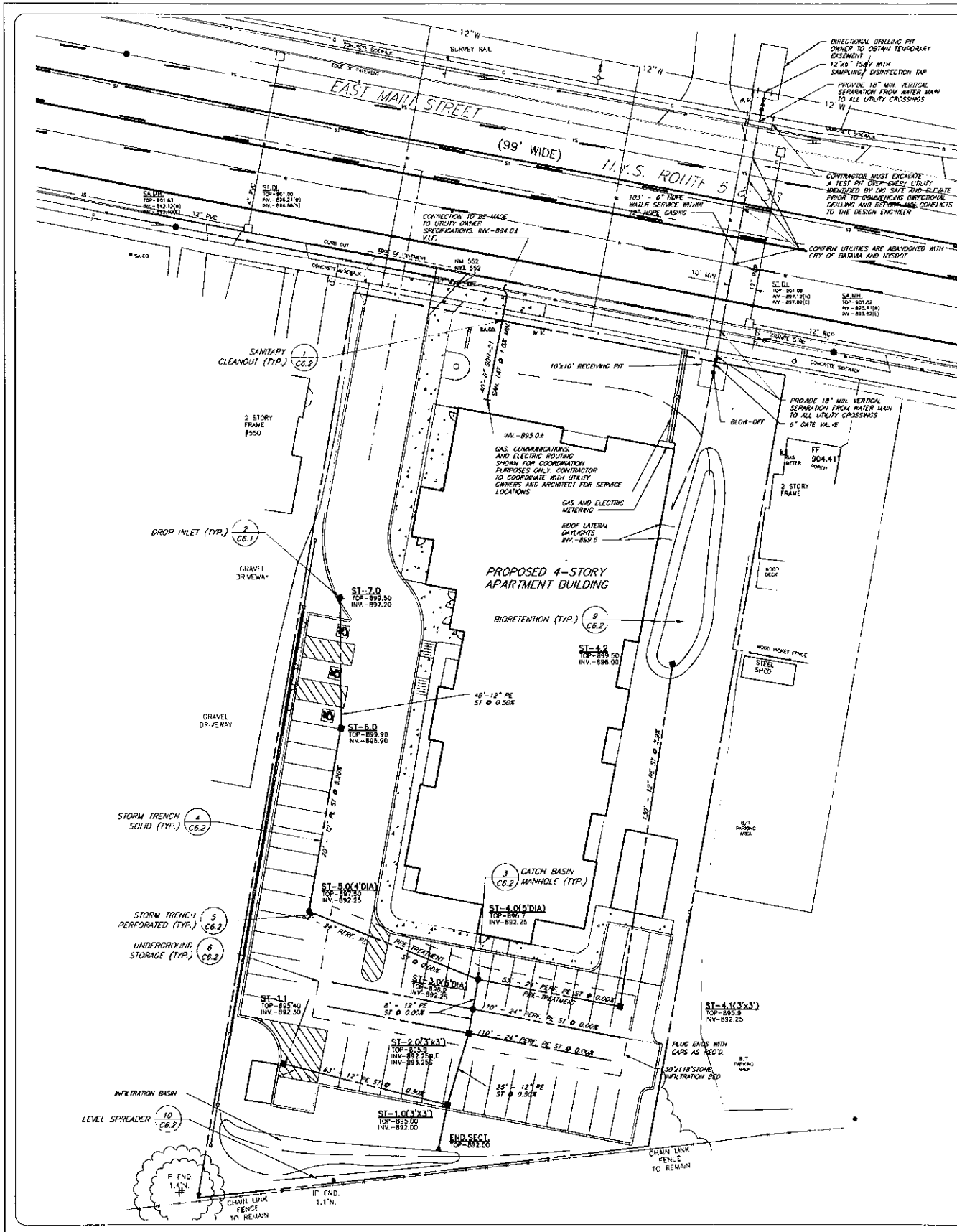
JOB NO:	0810-17
SCALE:	1"=20'
DRAWN:	MPT
DESIGNED:	RPB
DATE:	06/29/17
REVISIONS	
DATE	BY REVISION



DRAWING TITLE:  
**LAYOUT PLAN**

3 of 11 SHEET No	<b>C2.0</b>
0810-17 JOB No	DRAWING No





# UTILITIES

## 1. SANITARY

### 1.1 MATERIALS

- LATERAL - PIPING SHALL BE POLYETHYLENE GLYCOL (PE) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF 0.020 IN. (0.001 IN. THICKNESS SHALL BE USED FOR THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION D-3034) ENTITLED PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).

### 1.2 INFILTRATION/EXFILTRATION

- MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER HUNDRED FEET OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION D-3034 ENTITLED PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).

### 1.3 FLOOR DRAINS

- FLOOR DRAINS IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL SEWER USE LAW.

### 1.4 TESTING

- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANHOLE. IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

### 1.5 SEPARATION

- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSS. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT COMPACTED SELECTED FILL SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER LINES, INCLUDING MANHOLES AND VAULTS, SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

## 2. STORM

### 2.1 REGULATIONS

- STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY.

### 2.2 MATERIALS

- THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDED THAT THE RIGIDNESS COEFFICIENT (N FACTOR) IS 0.01 OR BETTER:
  - REINFORCED CONCRETE PIPE (RCP) CLASS III
  - CORRUGATED STEEL PIPE (CSP) 18 GAUGE - ASPHALT COATED
  - HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (HDPE) AASHTO M-29 TYPE S, ASTM D-3500.

### 2.3 ROOF DRAINAGE

- ALL ROOF DRAINAGE SHALL BE COLLECTED AND PIPED TO THE STORM SEWER SYSTEM UNLESS SPECIFIED OTHERWISE.

### 2.4 TESTING

- UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLOWED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

## 3. WATER

### 3.1 SPECIFICATIONS

- WATER SERVICE LINES (WATER MAINS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE PURVEYOR OF WATER.

### 3.2 COVER

- WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.

### 3.3 SEPARATION

- WATER SERVICE LINES SHALL BE SEPARATED AT LEAST 18 INCHES, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.

### 3.4 MATERIALS

- WATER SERVICE LINES SHALL BE IDENTIFIED AS:

DESCRIPTION	SIZE	MATERIAL (a)	TYPE (b)
DEDICATED PORTION FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE PROPERTY/SEWER LINE	6"	HDPE	CMB
PRIVATE PORTION FROM THE CONTROL VALVE TO THE METER	6"	HDPE	CMB

### 3.5 SERVICE TYPES

- (a) SERVICE TYPES INCLUDE DOMESTIC-HOUS, FIRE-FIGHT, OR COMBINED-CMB

### 3.6 INSTALLATION

- THE DEDICATED PORTION OF THE WATER SERVICE LINE SHALL BE INSTALLED PRIOR TO THE PRIVATE PORTION OF THE SERVICE LINE.

### 3.7 METER

- WATER METERS SHALL BE LOCATED ON THE INTERIOR OF EXTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING. RESIDENTIAL SERVICES: A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE INSTALLATION OF METER THROUGH EXTERIOR WALLS. NON RESIDENTIAL SERVICES: THE INSTALLATION OF AN 11/2-INCH METER OR LARGER REQUIRES A BY-PASS ASSEMBLY AROUND THE METER.

### 3.8 TESTING

- PRESSURE TESTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE PURVEYOR OF WATER. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.

- DISINFECTED BY USING THE CONTINUOUS FEED METHOD ACCORDING TO AWWA STANDARD SPECIFICATIONS. AFTER RUSHING AND DISINFECTING THE SERVICE LINE, WATER SAMPLES SHALL BE COLLECTED BY THE GENESSEE COUNTY DEPARTMENT OF HEALTH. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT MUST BE RECEIVED BEFORE THE LATERAL IS PLACED IN SERVICE.

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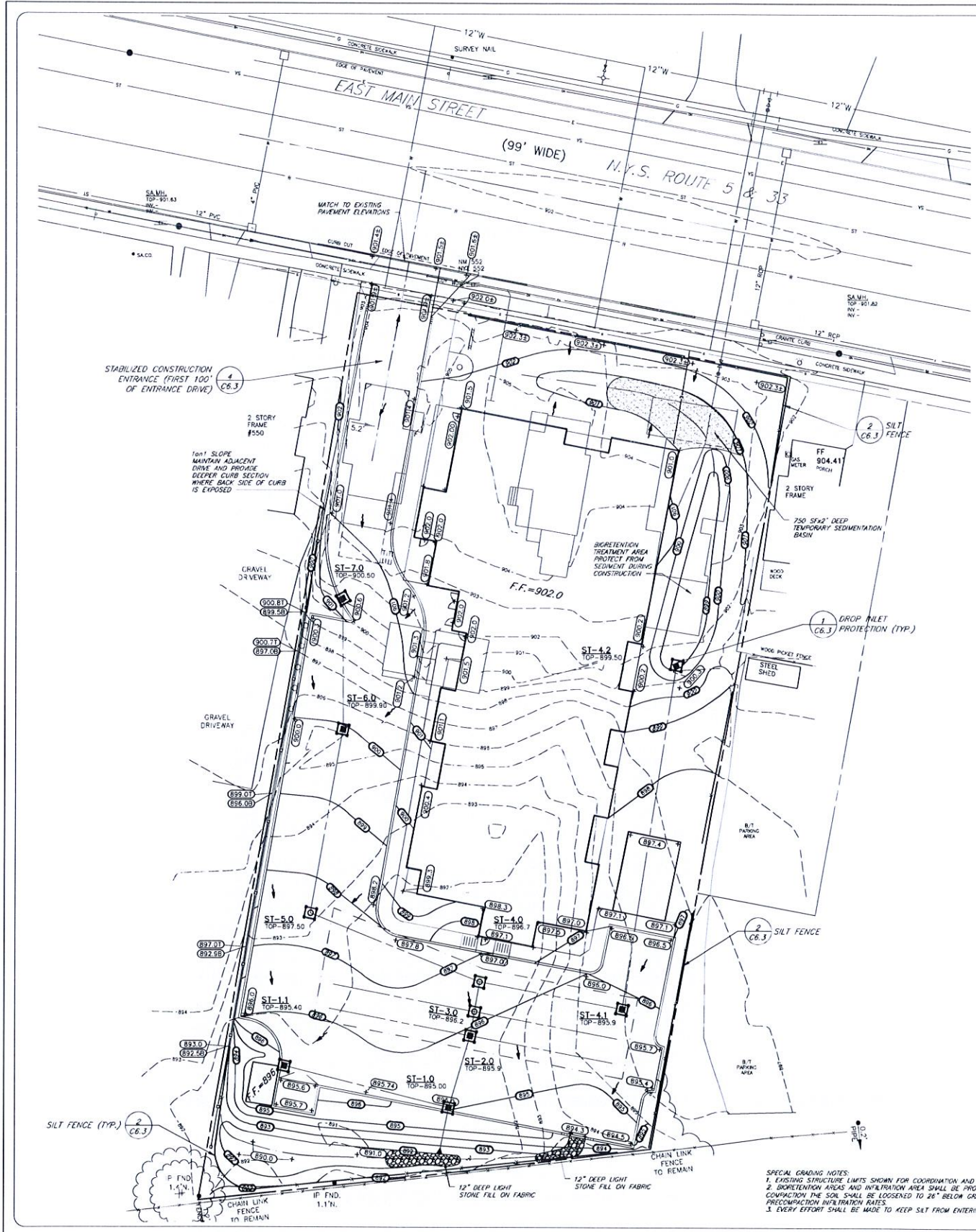
**PRELIMINARY/ FINAL PLANS**  
FOR  
**HOME LEASING - BATAVIA**  
**#552,554,556 EAST MAIN STREET**  
CITY OF BATAVIA  
COUNTY OF GENESSEE  
STATE OF NEW YORK

JOB NO. 0810-17  
SCALE: 1"=20'  
DRAWN: MPT  
DESIGNED: RPB  
DATE: 06/28/17  
REVISIONS  
DATE BY REVISION

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DRAWING TITLE:  
**UTILITY PLAN**  
4 of 11  
SHEET No. **C3.0**  
0810-17  
JOB No. DRAWING No.





- EARTHWORK NOTES:**  
NOTE: THESE RECOMMENDATIONS ARE SUPERCEDED BY THE GEOTECHNICAL REPORT OF RECORD IF PROVIDED AS PART OF THE CONTRACT DOCUMENTS. THE FOLLOWING ARE A GENERAL GUIDE ONLY.
- PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:
    - **DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER, TREES, BRUSH, STUMPS, ETC.
    - **CLEARING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER, TREES, BRUSH, STUMPS, ETC.
    - **TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
  - RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR:
    - **ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND CORRELATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
    - **GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTYTHREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
    - **COMPACTION** - ACHIEVING THE SPECIFIED MINIMUM COMPACTION VALUES FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND "EMBANKMENT" ARE INTERCHANGEABLE.
    - **CUTS** - ONCE EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE NOT SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHOICE TO THE BASE CONTRACT.
  - TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557:
    - 95% UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
    - 85% IN REMAINING AREAS
  - LIFT THICKNESS** - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILL SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.
  - PROOF ROLLING** - THE OWNER'S REPRESENTATIVE MAY REQUEST A PROOF ROLL (B.E. LOADED TEN WHEELER) OF SUBGRADE AREAS PRIOR TO PLACEMENT OF SUBGRADE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.
- EROSION CONTROL NOTES:**
- CERTIFICATION** - THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE "GRADING PLAN," "EROSION CONTROL PLAN," "EROSION CONTROL NOTES," ALONG WITH THE "DRAINAGE REPORT," DEFINES AND MEETS THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LATEST STORMWATER REGULATIONS.
  - CONTRACTOR RESPONSIBILITY** - ALL CONTRACTORS AND SUB-CONTRACTORS SHALL CERTIFY WITHIN THE SWPPP THAT THEY WILL IMPLEMENT AND MAINTAIN STORMWATER MANAGEMENT PRACTICES.
  - INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MUNICIPALITY, DESIGN ENGINEER, NYSDEC, AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (E.G., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
  - NOTIFICATION** - AS DESIGN ENGINEER, OUR OFFICE HAS NOTIFIED THE OWNER OF THE INSPECTION REQUIREMENTS UNDER SP-015-002, DISTURBANCES OF 1.0 ACRE OR GREATER REQUIRE THAT THE OWNER FILE A NOTICE OF INTENT (NOI) AND A SWPPP WITH THE NYSDEC UNDER STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT #SP-015-002. THE REGULATIONS REQUIRE THAT A LICENSED PROFESSIONAL COMPLETE A WEEKLY INSPECTION (THROUGHOUT THE PERIOD OF LAND DISTURBANCE).
  - PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
  - TOPSOIL** - UPON COMPLETION OF THE STOCKPILE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDEC REGULATIONS.
  - SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND MULCHED OR TREATED AS SPECIFIED ON CONTRACT DRAWINGS.
  - DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
  - OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME OF SLOTTED FERTILIZED AREAS IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.
  - WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 31 DAYS MUST BE SEEDED WITHIN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
  - SEQUENCE** - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING:
    - INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING.
    - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
    - PROTECT VEGETATION TO REMAIN.
    - CLEAR/GRUB AND CONSTRUCT DR. EROSIONARY SHALES AND SEDIMENT BASINS.
    - COMPLETE CLEARING AND GRUBBING OPERATION.
    - PLACE EROSION CONTROL MEASURES AT TOPSOIL, STOCKPILES AND STRIP TOPSOIL.
    - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
    - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
    - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
    - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.

Type of Soil Disturbance	Soil Restoration Requirements	Common Examples
No soil disturbance	Restoration not permitted	Preservation of Natural Features
Minimal soil disturbance	Restoration not required	Clearing and grubbing
Areas where topsoil is stripped only - no change in grade	HSG A & B Apply 4 in. topsoil HSG A & B Apply 6 in. topsoil	Perfect area from any ongoing construction activities
Areas of cut or fill	Apply full Soil Restoration Apply full Soil Restoration +	
Heavy traffic areas on site (especially as a zone 2-2' feet around buildings but not within a 5 foot perimeter around foundation walls)	Apply full Soil Restoration (de-compact and compact subgrade)	
Areas where Runoff Reduction and/or Infiltration practices are applied	Restoration not required, but may be required to enhance the reduction specified for appropriate practices.	Any construction equipment area crossing these areas. To protect newly installed practices from any ongoing construction activities construct a stable plan system across area
Re-developed projects	Soil Restoration is required on undeveloped projects in areas where existing impervious area will be converted to pervious area	

\* Avoids include the use of machines such as tractor driven implements with rollers, making a smooth site and soil, and/or with many spikes making indentations in the soil, or groups which function like a roller.   
\*\* For "Deep Ripping and De-compaction, DEC 2002"

**NYSDEC SOIL RESTORATION REQUIREMENTS:**  
SOIL TYPES ON-SITE SHALL BE RESTORED AS "A" TYPE SOILS.

**SPECIAL GRADING NOTES:**  
1. EXISTING STRUCTURE LIMITS SHOWN FOR COORDINATION AND BACKFILL PURPOSES ONLY.  
2. DISCONTINUATION AREAS AND INFILTRATION AREA SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC. IN THE EVENT OF SOIL COMPACTION THE SOIL SHALL BE LOOSENEED TO 26" BELOW GRADE AND THEN LIGHTLY TAMPED TO RESTORE TO PRECONSTRUCTION INFILTRATION RATES.  
3. EVERY EFFORT SHALL BE MADE TO KEEP SILT FROM ENTERING THE INFILTRATION PRACTICES.

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SCALE: 1"=20'  
DRAWN: MPT  
DESIGNED: RPB  
DATE: 06/29/17

REVISIONS

DATE	BY	REVISION

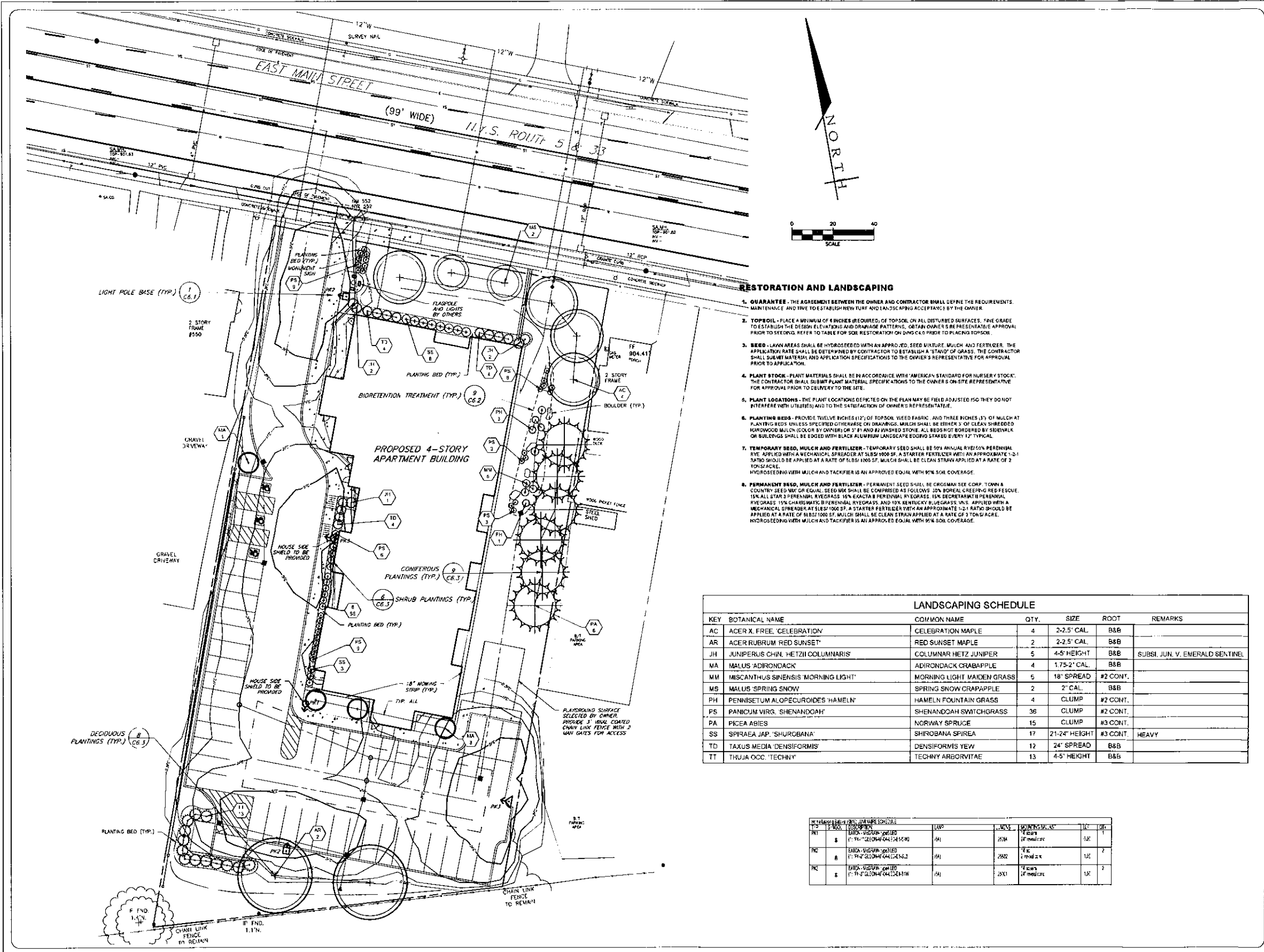
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DRAWING TITLE:  
**GRADING AND  
E.C. PLAN**

5 of 11  
SHEET No: **C4.0**  
0810-17  
JOB No: DRAWING No





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PHONE 585-458-7770  
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**PRELIMINARY/ FINAL PLANS**  
FOR  
**HOME LEASING - BATAVIA**  
**#552,554,556 EAST MAIN STREET**  
CITY OF BATAVIA  
COUNTY OF GENESEE  
STATE OF NEW YORK

JOB NO: 0810-17  
SCALE: 1"=20'  
DRAWN: MPT  
DESIGNED: RPB  
DATE: 05/29/17

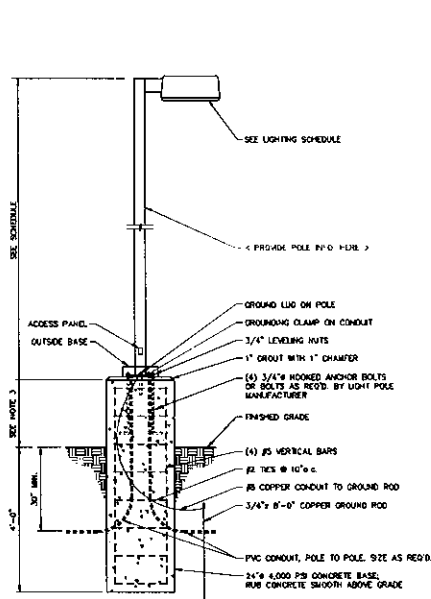
REVISIONS		
DATE	BY	REVISION



DRAWING TITLE:  
**LIGHTING AND LANDSCAPING PLAN**

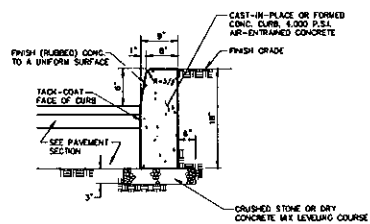
5 of 11  
SHEET No  
0810-17  
JOB No

**C5.0**  
DRAWING No



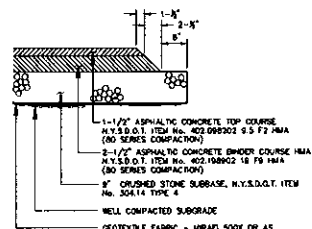
- NOTES:**
1. POLE BASE MAY BE PRECAST BY LANDLORDS (L&R).
  2. LIGHT POLE MANUFACTURER TO SUPPLY ANCHOR BOLTS, OUTSIDE BASE, AND BOLT PATTERN W/PLATES.
  3. IN PAVEMENT AREAS CONCRETE BASE SHALL EXTEND 24" MINIMUM ABOVE ASPHALT, IN PROTECTED LANDSCAPE AREAS (ROUND CURBS) BASES SHALL HAVE A MINIMUM OF 1" REVEAL ABOVE FINISHED GRADE.

#### 1 LIGHT BASE



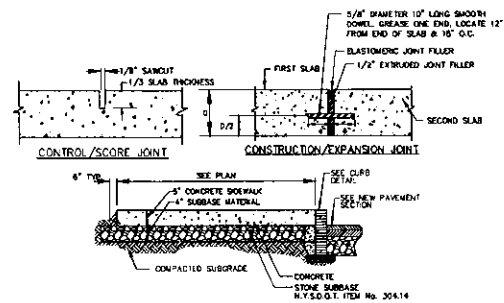
- NOTES:**
1. PROVIDE 1" REVEAL AT DRAIN INLETS.
  2. PROVIDE CONSTRUCTION JOINTS WITH AT 30' INTERVALS AND EXPANSION JOINTS AT 80' MAXIMUM SPACING. EXPANSION JOINTS SHALL BE FORMED WITH PRE-ADJUSTED CONTINUOUS JOINT FILLER.

#### 2 CONCRETE CURB



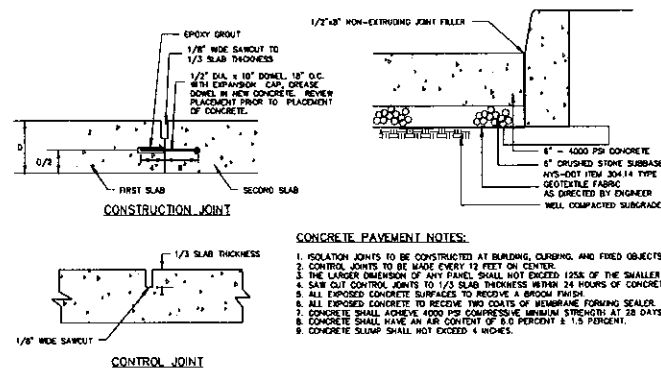
#### 3 PAVEMENT SECTION

NOTE: CONTRACTOR TO CLEAN AND TACK COAT BEFORE PLACING TOP COAT IF BINDER IS CONTAMINATED OR GREATER THAN 30 DAYS PASSES BETWEEN PLACEMENT OF BINDER AND TOP

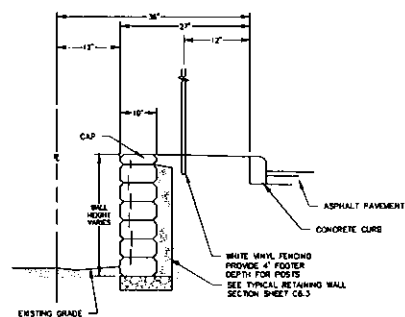


- NOTES:**
1. CONCRETE SHALL BE 4000 PSI AIR-ENTRAINED MIX.
  2. CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH (IF NOT SPECIFIED AS EXPOSED AGGREGATE CONCRETE) AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
  3. EXPANSION JOINTS SHALL BE PROVIDED AT FIXED STRUCTURES.
  4. CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH A.C.I. 309-1R. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
  5. SCORE PATTERNS - SCORING PATTERN SHALL BE 2" X 5" SQUARE, MAY VARY IN CERTAIN AREAS - COORDINATE WITH OWNER'S DESIRE. REP PRIOR TO SCORING.
  6. SIDEWALKS SHALL HAVE A MINIMUM 0.5% AND MAXIMUM 2.0% CROSS SLOPE TO PROVIDE POSITIVE DRAINAGE. CROSS SLOPE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ENTRANCES.
  7. GRADING ADJACENT TO SIDEWALKS SHALL PROVIDE POSITIVE DRAINAGE AND NOT CREATE POOLING OR FLOODING.

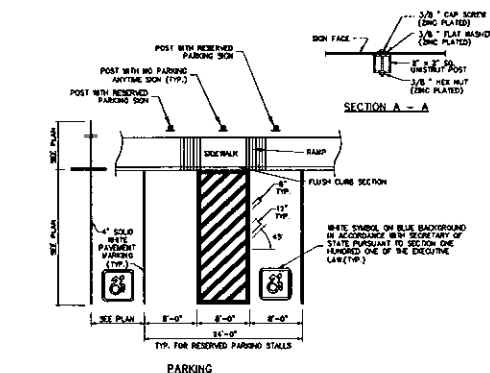
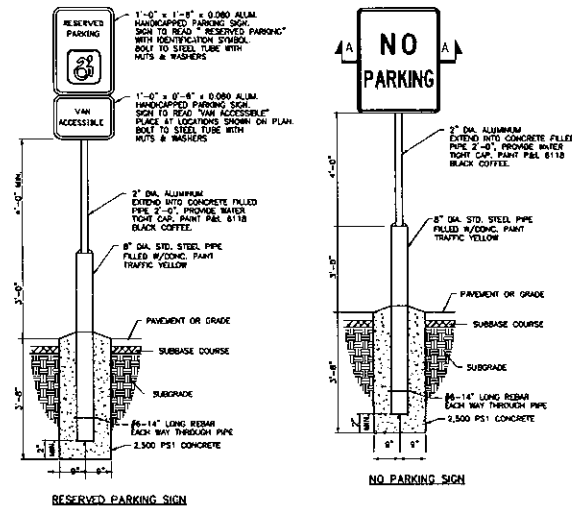
#### 4 CONCRETE SIDEWALK



#### 5 CONCRETE PAVEMENT



#### 6 SECTION A-A RETAINING WALL



#### 7 RESERVED PARKING AND SIGNAGE

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## PRELIMINARY/FINAL PLANS FOR HOME LEASING - BATAVIA #552,554,556 EAST MAIN STREET

CITY OF BATAVIA  
COUNTY OF GENESEE  
STATE OF NEW YORK

JOB NO: 0810-17  
SCALE: N.T.S.  
DRAWN: MPT  
DESIGNED: RPB  
DATE: 06/29/17

#### REVISIONS

DATE	BY	REVISION

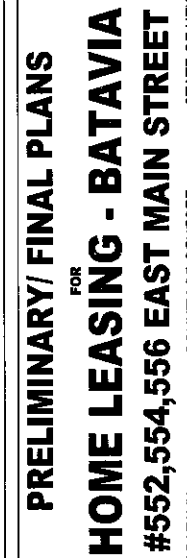
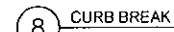
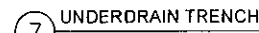
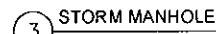
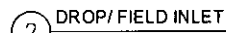
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#### DRAWING TITLE: CONSTRUCTION DETAILS

7 of 11  
SHEET NO: C6.1  
0810-17  
JOB NO: DRAWING NO

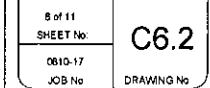


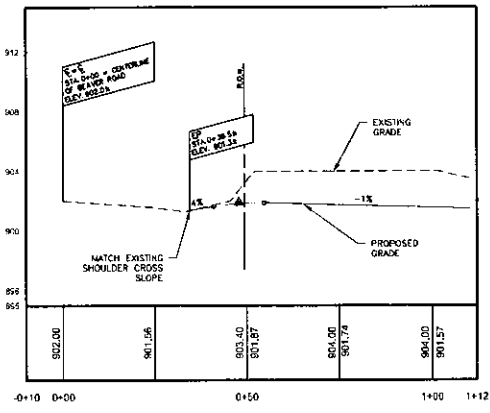
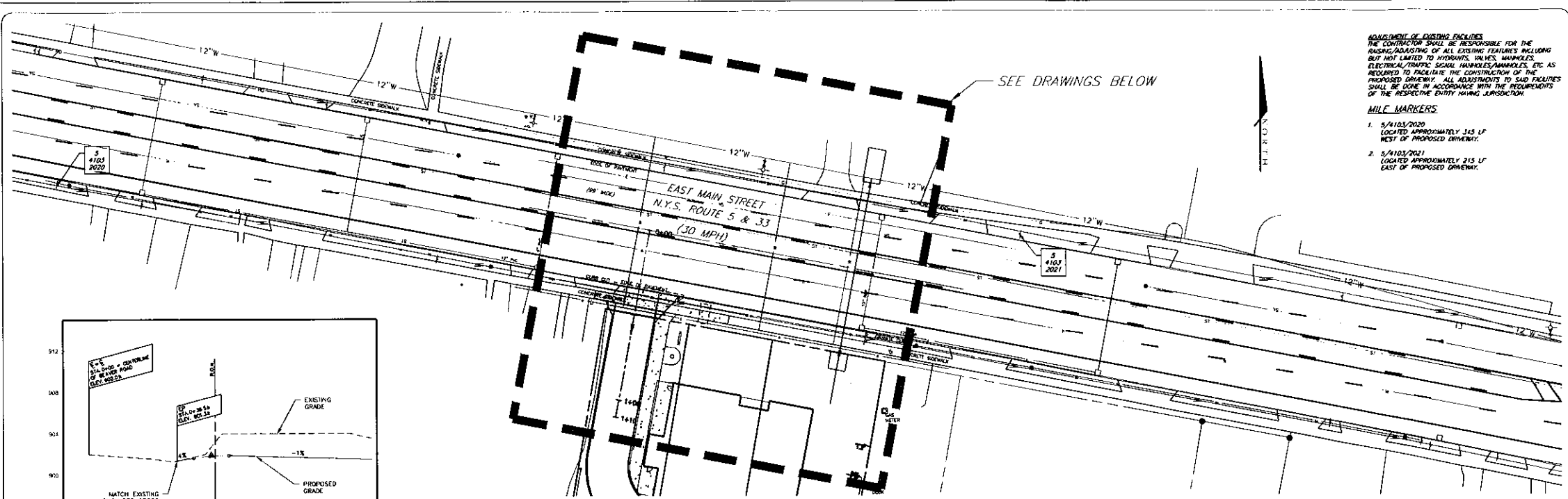


CITY OF BATAVIA                      COUNTY OF GENESEE                      STATE OF NEW YORK

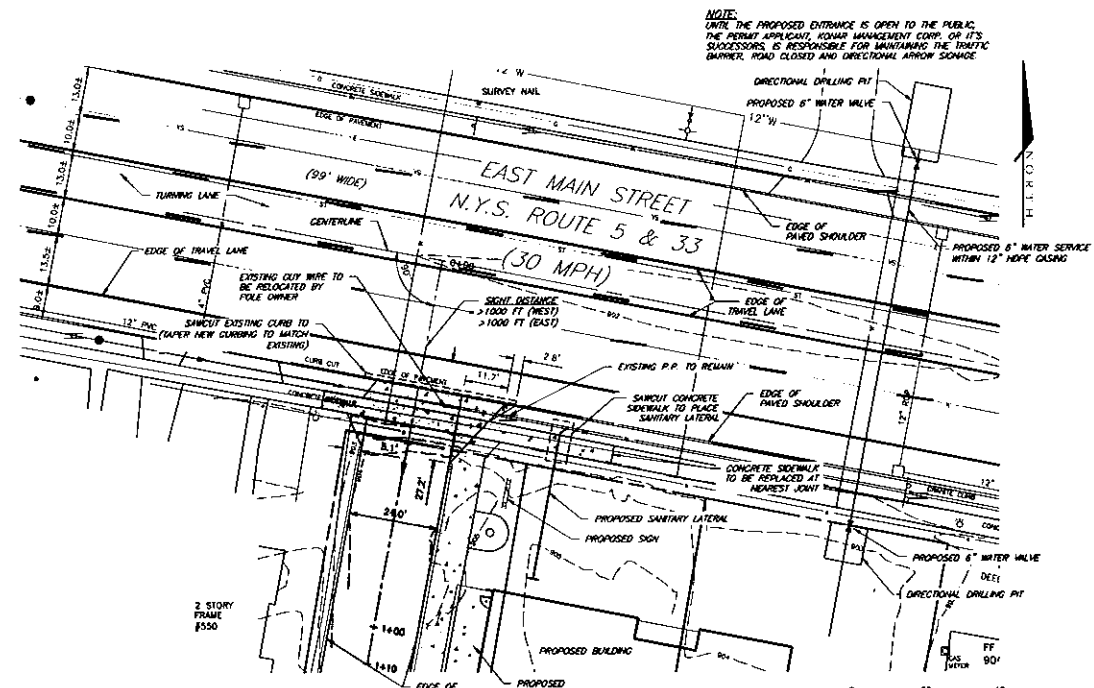
## REVISIONS

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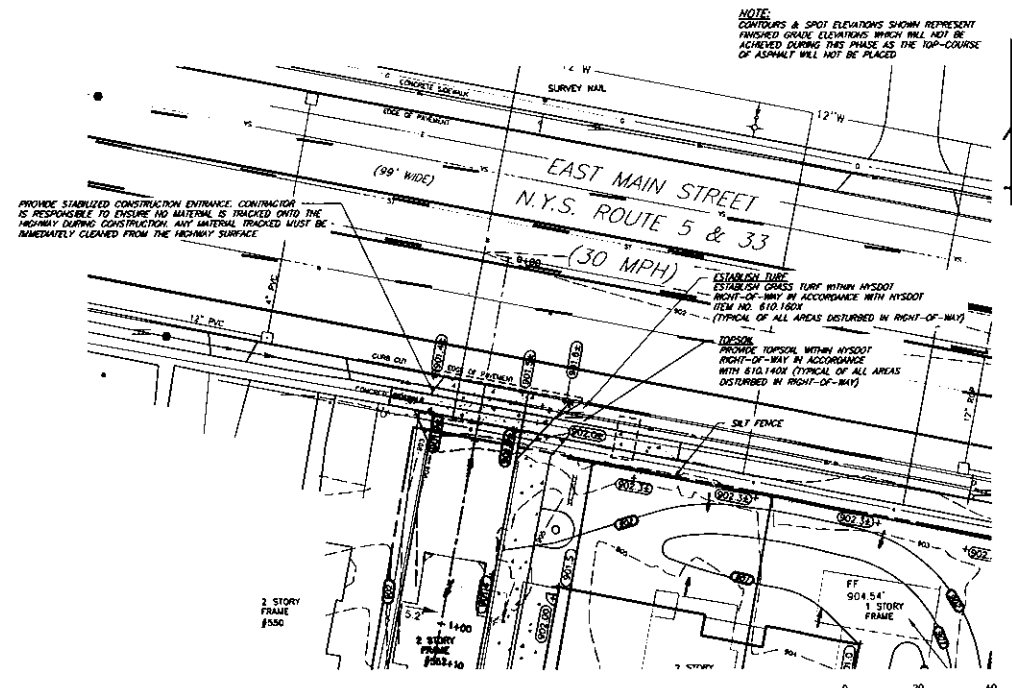




ENTRANCE PROFILE  
SCALE: 1"=20' HORIZONTAL  
1"=5' VERTICAL



DRIVEWAY LAYOUT PLAN  
SCALE: 1"=20'



DRIVEWAY GRADING & DRAINAGE PLAN  
SCALE: 1"=20'

ADJUSTMENT OF EXISTING FACILITIES  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE  
REPAIR/ADJUSTMENT OF ALL EXISTING FEATURES INCLUDING  
BUT NOT LIMITED TO HYDRANTS, VALVES, MANHOLES,  
ELECTRICAL, TRAFFIC SIGNAL, MANHOLES, ETC. AS  
REQUIRED TO FACILITATE THE CONSTRUCTION OF THE  
PROPOSED DRIVEWAY. ALL ADJUSTMENTS TO SAID FACILITIES  
SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS  
OF THE RESPECTIVE ENTITY HAVING JURISDICTION.

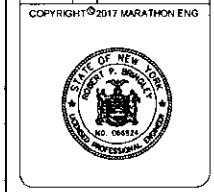
MILE MARKERS  
1. 5/10/2020  
LOCATED APPROXIMATELY 315 LF  
WEST OF PROPOSED DRIVEWAY.  
2. 5/10/2021  
LOCATED APPROXIMATELY 315 LF  
EAST OF PROPOSED DRIVEWAY.

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PRELIMINARY/FINAL PLANS  
FOR  
**HOME LEASING - BATAVIA**  
**#552,554,556 EAST MAIN STREET**  
CITY OF BATAVIA  
COUNTY OF GENESEE  
STATE OF NEW YORK

JOB NO: 0810-17  
SCALE: AS NOTED  
DRAWN: MPT  
DESIGNED: RPB  
DATE: 06/29/17

REVISIONS		
DATE	BY	REVISION



DRAWING TITLE:  
**NYSDOT PLAN**

10 of 11  
SHEET No  
0810-17  
JOB No

**C7.0**  
DRAWING No



— **WILLIAM J. BAKER**

4-27-2007 11:11 AM

470-571-5555 • Fax: 470-571-5556

अनुसूची: ६४



ROAD TO BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES.

- THE PERMITTEE IS ADVISED THAT THE NYSOJ IS NOW REVIEWING ALL

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## OF

REVISIONS
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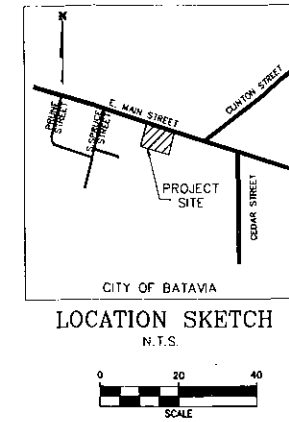
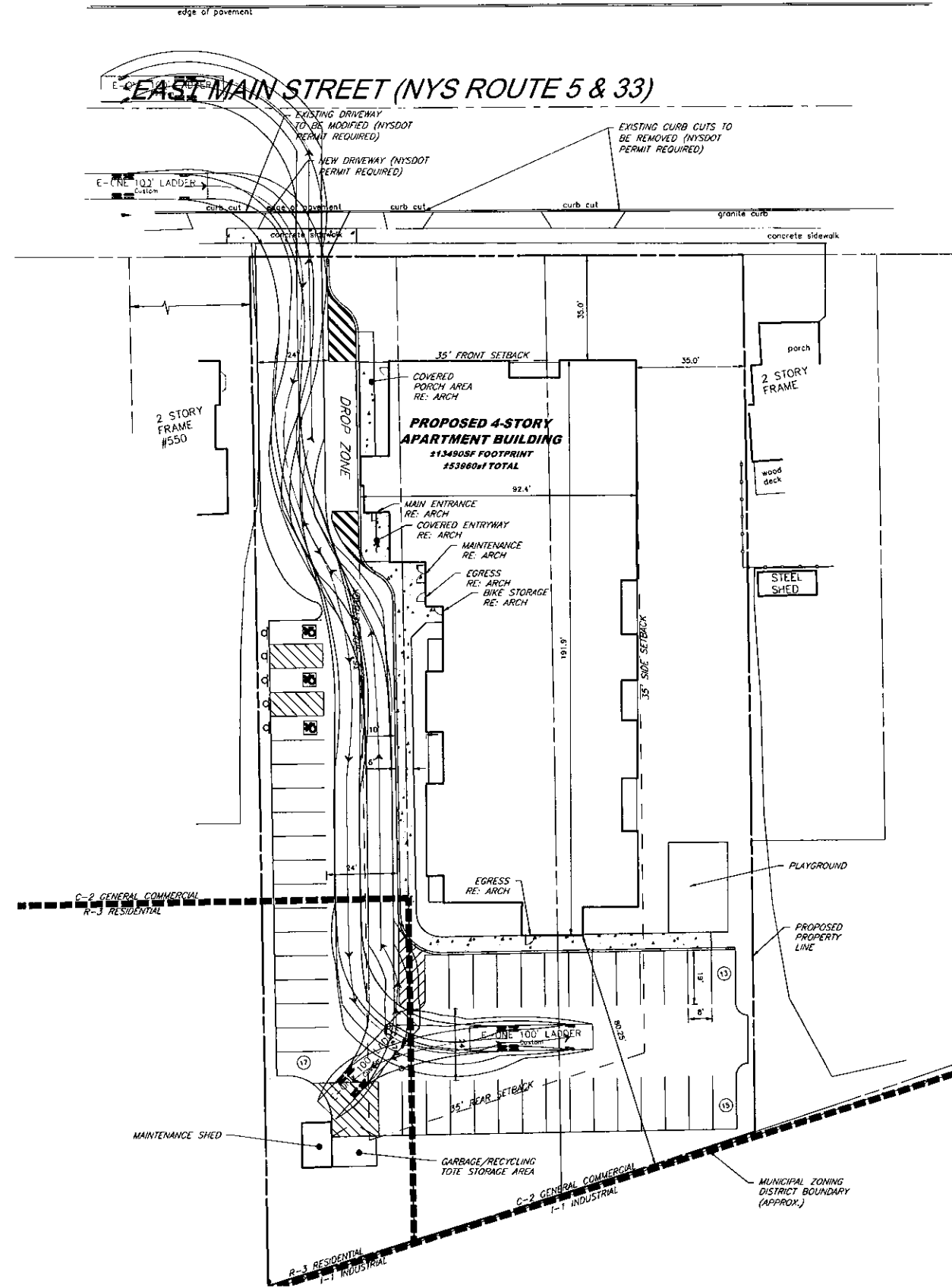
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www.marathoneng.com

**CONCEPT SKETCH**  
FOR  
**HOME LEASING - BATAVIA**  
CITY OF BATAVIA      COUNTY OF GENESEE      STATE OF NEW YORK

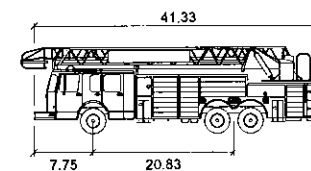
JOB NO: 0810-17  
SCALE: N.T.S.  
DRAWN: T.J.M.  
DESIGNED: AMF  
DATE: 03/27/17

REVISIONS		
DATE	BY	REVISION
04/18/17	MT	LAYOUT MODIFICATIONS

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DRAWING TITLE:  
**AUTOTURN  
ANALYSIS**

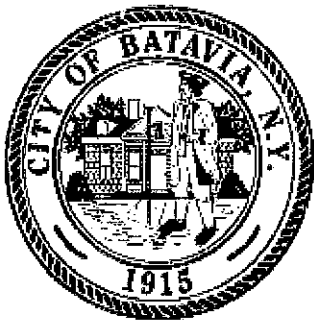
1 of 1  
SHEET No. **AT-1**  
JOB No. 0810-17  
DRAWING No.



**E-ONE 100' LADDER - BATAVIA LADDER TRUCK**

Width	: 41.33
Track	: 7.75
Lock to Lock Time	: 20.83
Steering Angle	: 33.3





*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee  
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 6/30/17

Re: 40-52 and 56-70 Ellicott St. and parcels 84.015-1-4, 84.015-1-37.312 and 84.015-1-37.311  
Tax Parcel No. 84.015-1-2, 84.015-1-5, 84.015-1-4, 84.015-1-37.312 and 84.015-1-37.311

Zoning Use District: C-3, C-2 and I-1

The applicant, Samuel J. Savarino (developer), has filed an application to merge and re-develop these five parcels by selective demolition, renovation of a portion of an existing building and construction of two new mixed use buildings.

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of a NYS road or highway.

**City Planning and Development Committee-** Pursuant to section 190-44 B(1) and C(1)(a, b and c) of the zoning ordinance, the Planning and Development Committee shall review and approve site plans and Special Use Permits prior to building permit issuance.

- |                     |  |
|---------------------|--|
| 1) BMC 190-44 C (1) | <b>Site Plan Review-</b> The PDC shall review site plans in compliance with this section.  |
| 2) BMC 190-14 C(2)  | <b>Special Use Permit-</b> Restricted residential uses are permitted within the C-3 (Central Commercial District) with the issuance of a Special Use Permit by the PDC in compliance with 190-37 I(1-9) and 190-37 K(1-14). <b>NOTE:</b> The proposed residential use building is located within the C-3 use district. |

**Zoning Board of Appeals-** Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) **BMC 190-37 I(3)**      **The maximum number of stories permitted is four. Five stories are proposed.**
- 2) **BMC 190-29 A and Schedule 1**      **The permitted maximum height in feet is forty-five. Sixty foot height above grade is proposed.**

The Planning and Development Committee will be the lead agency to conduct SEQR.





500 Seneca Street Suite 508  
Buffalo, New York 14204  
Phone: (716) 332-5959  
Fax: (716) 332-5968

May 25, 2017

City of Batavia - Building & Zoning  
One Batavia City Centre  
Batavia, NY 14020

Dear Building & Zoning Members:

**RE: Ellicott Station 40-70 Ellicott Street Batavia, NY**

**Project Summary**

Savarino Companies, on behalf of the owner Ellicott Station Development LLC, would like to submit the attached package for site plan approval for the mixed-use development Ellicott Station in Batavia, NY.

Ellicott Station Development LLC is comprised of experienced real estate investors and developers from Buffalo, NY. The development team is led by Savarino Companies, a Buffalo, NY based builder and developer with extensive experience in commercial construction and real estate development. Savarino Companies has successfully executed many adaptive reuse projects throughout Western New York.

With an approximate \$17.6MM project cost, the Ellicott Station project will adaptively reuse an environmentally contaminated site in downtown Batavia. The project includes the renovation of an existing 8,800 square foot building into a locally themed restaurant and brewhouse as well as the construction of a combined 64,300 square feet of mixed-use buildings featuring an anticipated 16,300 square feet of professional office space and 51 market rate apartments with covered parking. Additionally, in support of Batavia's commitment to the proposed rails-to-trails project, the Ellicott Station project will include trail improvements along the southern periphery of the property. Pending approvals, the project will begin in later-summer to early-fall 2017 and will be completed within 15 months.

**Community Need**

Ellicott Station is a direct response to the City of Batavia's Brownfield Opportunity Area Plan "BOA Plan" that calls for the site to act as the link between a low-income community and Batavia's historic retail district. The project is in a neighborhood that meets the highly distressed conditions under the Federal New Markets program. Savarino Companies, the developer, was selected via a competitive RFP process because its plan directly addressed the goals outlined in the plans and by local stakeholders. Savarino Companies will remediate the contaminated site through the NYS Brownfield Cleanup Program and return it to productive use, thereby eliminating blight from the neighborhood. Additionally, Ellicott Station will create approximately 85 permanent and 136 construction jobs.

We thank you for your consideration.

Sincerely,

A handwritten signature in blue ink, appearing to read "Samuel J. Savarino", with a long horizontal line extending to the right.

Samuel J. Savarino  
President & CEO

CC: ELLICOTT STATION DEVELOPMENT LLC

**construction | development**

[www.SavarinoCompanies.com](http://www.SavarinoCompanies.com)

1. Cover Letter / Narrative
2. Building Permit Application
3. Special Use Permit Application
4. ZBA Application for Area Variance
5. SEQR Part 1 (Long-Form)
6. Site & Civil Plans
7. Building Plans



## CITY OF BATAVIA

## BUILDING PERMIT APPLICATION

DATE: 05/25/2017

APPLICANT NAME &amp; PHONE: Samuel J. Savarino 716-332-5959

**Project Location and Information**

Permit #: \_\_\_\_\_ Fee: \_\_\_\_\_

Address of Project: 40-52 Ellicott Street, Batavia, NY 14020

Owner &amp; Address: Ellicott Station Development LLC, 500 Seneca Street, Suite 508 Buffalo, NY 14204

Phone: 716-332-5959

**Project Type/Describe Work**

Estimated cost of work: \$17,645,803

Start date: August 2017

Describe project: An adaptive reuse of an environmentally contaminated site in downtown Batavia, including the renovation of an existing 8,800 SF building into a locally themed restaurant and production brewhouse as well as the construction of a combined 64,300 SF of mixed-use buildings featuring an anticipated 16,300 SF of professional office and business space and 51 market rate apartments.

**Contractor Information – Insurance certificates (liability & workers comp) required to be on file****GENERAL**

Name/Address: Savarino Companies, LLC - 500 Seneca Street, Suite 508 Buffalo, NY 14204

Phone: 716-332-5959

**PLUMBING (City of Batavia Licensed Plumber Required)**

Name/Address: EBS Engineering / 4050 Ridge Lea Rd., Suite C Buffalo, NY 14228

Phone: 716-876-7147

**HEATING**

Name/Address: EBS Engineering / 4050 Ridge Lea Rd., Suite C Buffalo, NY 14228

Phone: 716-876-7147

**ELECTRICAL (Third Party Electrical Inspection Required)**

Name/Address: EBS Engineering / 4050 Ridge Lea Rd., Suite C Buffalo, NY 14228

Phone: 716-876-7147

**FOR OFFICE USE ONLY**

Zoning District: \_\_\_\_\_ Flood Zone: \_\_\_\_\_ Corner Lot: \_\_\_\_\_ Historic District/Landmark: \_\_\_\_\_

Zoning Review: \_\_\_\_\_ Variance Required: \_\_\_\_\_ Site Plan Review: \_\_\_\_\_ Other: \_\_\_\_\_

National Grid Sign Off (Pools): \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_

Proposed Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_

### REQUIRED INSPECTIONS

Contact the Bureau of Inspection at (585) 345-6345 twenty-four (24) hours in advance to schedule all inspections.

IT IS THE RESPONSIBILITY OF THE OWNER AND/OR AGENT TO CONTACT THIS OFFICE & BE PRESENT FOR ALL INSPECTIONS

☐ Site ☐ Water Service ☐ Sewer Service  
☐ Footing before Placing Concrete  
☐ Foundation before backfill  
☐ Framing before enclosing (After mechanical inspection)  
☐ Electrical before enclosing (Third Party Electrical Inspection Agency)  
☐ Plumbing before enclosing (City of Batavia Licensed Plumber Required)  
☐ Insulation before enclosing ☐ Ice/Water Shield ☐ Final Completion

In consideration of the granting of the permit hereby petitioned for, the undersigned hereby agrees to: 1) comply with the terms thereof, the laws of the State of New York, the Ordinance of the City of Batavia, and the Regulations of the various departments of the County of Genesee and the State of New York; 2) preserve the established building line; 3) request all the necessary inspections and authorize and provide the means of entry to the premises and building to the Bureau of Inspection, and 4) will not use or permit to be used the structure or structures covered by the permit until sanitary facilities are completely furnished and either a Certificate of Occupancy or Certificate of Completion is issued. The undersigned hereby certifies that all of the information in this petition is correct and true.

[Signature]  
Applicant Signature

05/25/2017  
Date

### Roofing Disclaimer - Per the Residential & Building Code of New York State

#### R907.3 Recovering versus Replacement

New roof coverings shall not be installed without first removing existing roof coverings where any of the following conditions occur:

1. Where the existing roof or roof coverings is water-soaked or has deteriorated to the point that the existing roof or roof covering is not adequate as a base for additional roofing.
2. Where the existing roof covering is wood shake, slate, clay, cement or asbestos-cement tile.
3. Where the existing roof has two or more applications of any type of roof covering.

#### Exceptions:

1. Complete and separate roofing systems, such as standing-seam metal roof systems, that are designed to transmit the roof loads directly to the building's structural system and that do not rely on existing roofs and roof coverings for support shall not require the removal of existing roof coverings.
2. Metal panel, metal shingle, and concrete and clay tile roof coverings shall be permitted to be installed over existing wood shake roofs when applied in accordance with Section R907.4.

I, Courtesy S. Cox owner and/or agency of the property located at 40-70 Elliott St. Batavia, NY for Building Permit No. \_\_\_\_\_ have reviewed and understand the requirements of Section 907.3 Recovering versus Replacement.

[Signature]  
Applicant Signature

05/25/2017  
Date

### Fence Disclaimer

I understand Section 190-33.B Fences, Walls and Hedges of the City of Batavia Zoning Ordinance regulated the installation of fences as follows:

"Fences, hedges and walls in Residential Districts shall not exceed three (3) feet above ground level when located within fifteen (15) feet of the property line abutting any street and shall not exceed six (6) feet above ground level when located elsewhere on the property. However, there shall be no height limit for hedges in rear yards within residential zones. In commercial and Industrial Districts, fences, hedges, and walls shall not exceed eight (8) feet in height unless permitted by a special use permit from the Planning & Development Committee. A fence designed to be structurally supported by posts, cross members or rails on one (1) side only shall be erected with the posts, cross members or rails on the fence owner's side, and the finished side of the fence shall face adjacent properties."

I, Courtesy S. Cox owner and/or agent of the property located at 40-70 Elliott St. Batavia, NY for Permit No. \_\_\_\_\_ understand that this permit is issued based on information supplied by owner/agent and that the City of Batavia accepts no responsibility for inaccurate documentation or information supplied to secure the permit.

[Signature]  
Applicant Signature

05/25/2017  
Date



PERMIT NO. \_\_\_\_\_



# SPECIAL USE PERMIT

## CITY OF BATAVIA, NEW YORK

LOCATION: 40-70 Ellicott Street Batavia, NY 14020  
OWNER: Ellicott Station Development LLC  
Address: 500 Seneca Street, Suite 508 Buffalo, NY 14204

Application Date: 05/25/2017  
Tax Parcel No.: 84.015-1-2 / 84.015-1-5  
Phone No. 716-332-5959

X COUNTY PLANNING REVIEW  
C-3, C-2 and I-1  
ZONING DISTRICT

AE FLOOD ZONE

56-70 CORNER LOT

X SITE PLAN REVIEW

Yes BID

Yes ZONING VARIANCE REQUIRED (area)

NO HISTORIC DISTRICT

NO HISTORIC LANDMARK

\_\_\_\_ CITY ENGINEER REVIEW

NO CITY COUNCIL REVIEW

NO OTHER

### PROJECT DESCRIPTION:

An adaptive reuse of an environmentally contaminated site in downtown Batavia, NY including the renovation of an existing 8,800 SF building into a locally themed restaurant and production brewhouse as well as the construction of a combined 64,300 SF of mixed-use buildings featuring an anticipated 16,300 SF of professional office and business space and 51 market rate apartments.

EXISTING USE: Vacant Automobile Garage & Repair Shop /  
Vacant Masonry Building

N.Y.S. BLDG. CODE OCC. CLASS: F-1 / F-2

LOT SIZE: approx. 3.0 acres

PROPOSED USE: Brewery & Restaurant / Multifamily  
Residential / Commercial Office

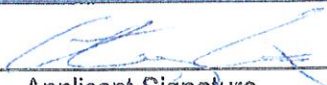
N.Y.S. BLDG. CODE OCC. CLASS: F-2 / R2 / B / A-2

LOT AREA: approx. 84,000 SF

### CITY PLANNING & DEVELOPMENT REVIEW:

APPROVAL AS PRESENTED DISAPPROVAL APPROVAL WITH CONDITIONS

CHAIRMAN SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

	<u>05/25/2017</u>	_____
Applicant Signature	Date	Issuing Officer
Permit Fee: <u>\$200.00</u>	Issue Date: _____	



**CITY OF BATAVIA**  
**APPLICATION TO THE ZONING BOARD OF APPEALS**

Application No.: \_\_\_\_\_

Hearing Date/Time: \_\_\_\_\_

**APPLICANT:** Samuel J. Savarino

sams@savarinocompanies.com

Name	E-Mail Address		
500 Seneca Street, Suite 508	716-332-5959	716-332-5968	
Street Address	Phone	Fax	
Buffalo	New York	14204	
City	State	Zip	

**STATUS:** \_\_\_\_\_ Owner ☒ Agent for Owner \_\_\_\_\_ Contractor

**OWNER:** Ellicott Station Development LLC sams@savarinocompanies.com

Name	E-Mail Address		
500 Seneca Street, Suite 508	716-332-5959	716-332-5968	
Street Address	Phone	Fax	
Buffalo	New York	14204	
City	State	Zip	

**LOCATION OF PROPERTY:** <sup>-52</sup> 40-70 Ellicott Street, Batavia, New York 14020

**DETAILED DESCRIPTION OF REQUEST:** Ellicott Station Development LLC is seeking a height variance to allow for the construction of a 5-story mixed-use building located at one of the five Strategic Redevelopment Areas within the Batavia Opportunity Area. (Designated by NYS DOS)

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Applicant's Signature

Date

05/25/2017

Owner's Signature

Date

05/25/2017

*To be Filled out by Zoning Officer*

**TAX PARCEL:** 84.015-1-2 **ZONING DISTRICT:** C-3 **FLOOD PLAIN:** AE

**TYPE OF APPEAL:** ☒ Area Variance  
☐ Use Variance  
☐ Interpretation  
☐ Decision of Planning Committee

**FEE:** ☐ \$50 (One or Two Family Use)  
☒ \$100 (All other Uses)

**Provision(s) of the Zoning Ordinance Appealed:** BMC 190-37 I. (3) Max. height shall be 4 stories.



## Criteria to Support Area Variance

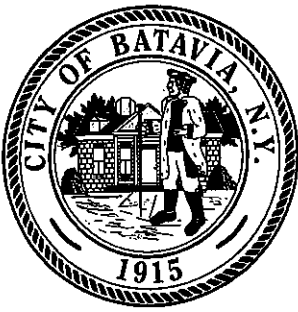
In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.  
Granting the variance will permit the construction of a brand-new multifamily structure with 51 market rate apartments and covered parking. The new structure will increase density, enhance vitality and create curb-appeal on a currently contaminated and blighted site in downtown Batavia, NY.
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. The proposed Ellicott Station project includes a strategic mix of uses that directly addresses the community goals/needs that were established in the City of Batavia's Brownfield Opportunity Area (BOA) Plan and by local stakeholders; the 5-story residential building is required to fit all of the desired uses within the boundaries of the BOA site.
3. **Substantiality.** The requested area variance is not substantial. The 5-story residential building will be built on property that is currently zoned C-2 & C-3 which allow for commercial and residential uses. We are unsure of any height limitations associated with the above reference zoning classifications.
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.  
The requested variance will not have any adverse effect or impact, physically or environmentally in the neighborhood or greater community. The implemented design standards with respect to energy and environmental efficiency/impact will meet or exceed NYS standards.
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title.  
The current zoning regulations and height restrictions were established prior to the proposed construction.

  
Applicant's Signature


05/25/2017  
Date



# City of Batavia

## Memorandum

To: Planning and Development Committee

From: Jason Molino, City Manager 

Date: July 13, 2017

Subject: Conditions on Site Plan approval

Please see the attached memo from Matt Worth, Director of Public Works regarding the proposed solution for the storm water issue of the current "Grand Canal" as it relates to the proposed Ellicott Station development project. After a review of the submittal from Marks Engineering (included in the PDC agenda), the City is in concurrence with the proposed precast box culvert replacing the current conduit under the new building. The City has no objection to the solution proposed with the conditions that: 1) the City will first review and approve a detailed design of the proposed improvement, and 2) the City Council and developer will have to approve a permanent easement for City access to the storm water utility. All conditions must be completed prior to building permit issuance. The City will need to file the permanent easement prior to the start of construction. It should be noted that installation of the storm water utility improvement will have to be inspected by the City's engineers and the City will need to accept dedication of the improved utility and the entire storm line on the property. This approach has also been reviewed by the City Attorney.

Also attached is a July 13<sup>th</sup> memo from Mr. Worth outlining several observations with respect to other utilities regarding the site plan submittal. It is recommended that these be additional conditions to site plan approval.

All comments from City staff regarding the site plan review have been discussed with Savarino Companies and Marks Engineering.

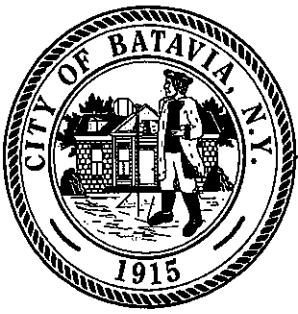
We look forward to working with Savarino Companies in seeing this project come to fruition, bringing a significant investment to the community.

This institution is an equal opportunity provider and employer. If you wish to file a Civil Rights program complaint of discrimination, complete the USDA Program Discrimination Complaint Form, found online at [http://www.ascr.usda.gov/complaint\\_filing\\_cust.html](http://www.ascr.usda.gov/complaint_filing_cust.html), or at any USDA office, or call (866) 632-9992 to request the form. You may also write a letter containing all of the information requested in the form. Send your completed complaint form or letter to us by mail at U.S. Department of Agriculture, Director, Office of Adjudication, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410, by fax (202) 690-7442 or email at [program.intake@usda.gov](mailto:program.intake@usda.gov)

**Office of the City Manager  
One Batavia City Centre  
Batavia, New York 14020**

**TDD 800-662-1220  
Phone: 585-345-6330  
Fax: 585-343-8182  
[www.batavianewyork.com](http://www.batavianewyork.com)**





# City of Batavia

## Memorandum

To: Jason Molino, City Manager

From: Matt Worth, Director of Public Works *MW*

Date: July 11, 2017

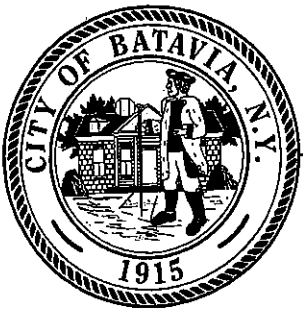
Subject: Ellicott Station Storm Water Submission on the Grand Canal

On July 10, 2017 I received, via email, a submittal from Marks Engineering as to their proposal for the storm sewer issue of the current "Grand Canal" being in conflict with the proposed building location.

The current structure is a 3ft X 4ft stone wall, brick arch conduit which is likely in excess of 100yrs old. Two test excavations have been executed indicating that the exterior of the structure appears to be sound as it currently sits. A lack of accessibility has limited our ability to further evaluate internal conditions at this time, however the conduit does currently handle existing hydraulic flows and has not been a cause of any back-ups that the department is aware of. While I do not have any immediate concerns as to the existing structure, it would not be appropriate to build a structure over top of it which could subject this structure to additional loads, and limit access for possible maintenance and repair activities. In addition, subject to easement language, the City could be liable if the new building structure being proposed were damaged if a failure of the current conduit occurred.

The proposed solution installs a 5ft X 5ft precast box culvert replacing the current conduit under the new building. This box culvert terminates at each end with an 8ft X 8ft precast structure transitioning back to the old stone and brick conduit. The design meets H-20 loading which is consistent with normal highway loads, in addition to the new building incorporating a grade beam design minimizing loads on the new box culvert. This type of design should allow for the culvert to be protected from loading failures. The culvert, as submitted, has approximately double the capacity of the existing conduit and should function hydraulically without issue.

Ultimately, a storm water conduit under a building is not a preferred condition for long term maintenance, repair and operation of this type of facility. Lacking other viable alternatives, the



# City of Batavia

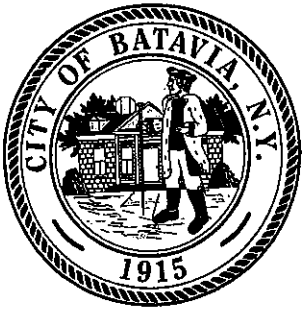
solution offered should function for the foreseeable future (100yrs plus) without issue. The methods and means being proposed are tried and tested and I would not expect any premature failures.

I do not have an objection to the solution as proposed, allowing for review of the detailed design once completed. It will be important to have the City Attorney craft an easement which allows for the needed access to repair and maintain this facility for the long term without putting the City at risk.

**Department of Public Works**  
One Batavia City Centre  
Batavia, New York 14020

Phone: 585-345-6325  
Fax: 585-343-1385  
[www.batavianewyork.com](http://www.batavianewyork.com)





# City of Batavia

## *Memorandum*

To: Jason Molino, City Manager

From: Matt Worth, Director of Public Works *(mw)*

Date: July 13, 2017

Subject: Ellicott Station Utilities

During the review of the Grand Canal Storm Sewer proposal for installation of a box culvert under the building, there were a few other utility issues noticed that are worth noting at this stage so as to not impede approvals in the future.

1. Several of the site storm lines show blind connections into the Grand Canal storm sewer. Routing the line into a structure is preferred for long term stability and maintenance. The proposed box culvert structures at each end would be an acceptable connection point.
2. The water connections in Ellicott St are to be done by the owner, not the Water Dept. Abandonment of any existing water connection to this property should also be addressed with these new connections.
3. Sheet C001 Water Main Testing: Note #4 should reference City of Batavia not Town, and Note #10 should reference GCDOH
4. Easement language will have to be per the City Attorney, however a 15ft easement is not sufficient for the proposed box culvert and structures.

The plans and notes submitted are certainly in a preliminary format, and a more thorough review will need to be conducted once the plans are developed with grades, profiles, and additional details. These are just a few items noticed at this early submission.

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

revised  
07/10/2017

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Ellicott Station		
Project Location (describe, and attach a general location map): 40-70 Ellicott Street (NYS Route 63), Batavia, NY		
Brief Description of Proposed Action (include purpose or need): APPLICANT PROPOSES TO REDEVELOP THE ABANDONED PROPERTIES INDICATED INTO 3 BUILDINGS: (1) SELECTIVE DEMOLITION OF MASONRY COMPLEX WITH REHABILITATION AND ADAPTIVE REUSE INTO A RESTURANT/BREWERY. (1) 5 STORY BUILDING WITH GROUND FLOOR PARKING AND ~58,200 SF OF MULTIFAMILY APRATMENTS ABOVE, AND (1) 16,855SF 1 STORY COMMERCIAL OFFICE BUILDING. THE PRPOSED DEVELOPMENT WILL INCLUDE REMEDIATION OF A KNOWN BROWNFIELD SITE THROUGH THE NYS BROWNFIELD REMEDIATION PROGRAM.		
Name of Applicant/Sponsor: ELLICOTT STATION DEVELOPMENT LLC		Telephone: 716-332-5959 E-Mail: SAMS@SAVARINOCOMPANIES.COM
Address: 500 SENCA ST - SUITE 508		
City/PO: BUFFALO	State: NY	Zip Code: 14204
Project Contact (if not same as sponsor; give name and title/role): MARKS ENGINEERING, P.C. - BRENNAN MARKS, P.E.		Telephone: 585-905-0360 E-Mail: BMARKS@MARKSENGINEERING.COM
Address: 42 BEEMAN STREET		
City/PO: CANANDAIGUA	State: NY	Zip Code: 14424
Property Owner (if not same as sponsor): BATAVIA DEVELOPMENT CORPORATION - JULIE PACATTE		Telephone: 585-345-6380 E-Mail: JPACATTE@BATAVIADEVELOPMENTCORP.O
Address: ONE BATAVIA CITY CENTRE		
City/PO: BATAVIA	State: NY	Zip Code: 14020



## Government Approvals

### B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	CITY COUNCIL APPROVAL	06/2017
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	CITY BUILDING & ZONING - SITE PLAN, SPECIAL USE, BUILDING PERMIT	05/25/2017
c. City Council, Town or <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals	CITY ZONING - HEIGHT VARIANCE	05/25/2017
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	BATAVIA DEVELOPMENT CORPORATION - Brownfield Opportunity Area Development Award	09/2015
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No	Genesee County Economic Development Center - Application for Financial Assistance	5/19/2017
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS ESD Grant, Restore NY Grant, National Grid Grant(s), NYS DEC Brownfield Cleanup Program	12/12/2016, 02/14/2017, 05/30/2017,
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NEW MARKET TAX CREDITS	

i. Coastal Resources.

    i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? ☐ Yes ☒ No

    ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? ☐ Yes ☒ No

    iii. Is the project site within a Coastal Erosion Hazard Area? ☐ Yes ☒ No

### C. Planning and Zoning

#### C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part I

#### C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☒ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☒ Yes ☐ No

If Yes, identify the plan(s):

Remediation Sites: C819021, Remediation Sites: 819019

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

### C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
CENTRAL COMMERCIAL DISTRICT

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No  
If Yes,  
i. What is the proposed new zoning for the site?

### C.4. Existing community services.

a. In what school district is the project site located? BATAVIA SCHOOL DISTRICT

b. What police or other public protection forces serve the project site?  
CITY OF BATAVIA POLICE DEPARTMENT

c. Which fire protection and emergency medical services serve the project site?  
CITY OF BATAVIA FIRE DEPARTMENT

d. What parks serve the project site?  
CITY OF BATAVIA PARKS

### D. Project Details

#### D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? MIXED: RESIDENTIAL, COMMERCIAL

b. a. Total acreage of the site of the proposed action? 3.17 acres  
b. Total acreage to be physically disturbed? 3.0 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 3.17 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % Units:

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☒ No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? ☐ Yes ☒ No

iii. Number of lots proposed?

iv. Minimum and maximum proposed lot sizes? Minimum Maximum

e. Will proposed action be constructed in multiple phases? ☐ Yes ☐ No

i. If No, anticipated period of construction: 15 months

ii. If Yes:

- Total number of phases anticipated
- Anticipated commencement date of phase 1 (including demolition) month year
- Anticipated completion date of final phase month year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:



f. Does the project include new residential uses? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase				51
At completion of all phases				51

g. Does the proposed action include new non-residential construction (including expansions)? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes,	
i. Total number of structures <u>2</u> ii. Dimensions (in feet) of largest proposed structure: <u>60</u> height; <u>165</u> width; and <u>100</u> length iii. Approximate extent of building space to be heated or cooled: <u>64,000</u> square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes,	
i. Purpose of the impoundment: _____ ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____ iii. If other than water, identify the type of impounded/contained liquids and their source. _____ iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____	

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
i. What is the purpose of the excavation or dredging? _____ ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____ _____ _____ iv. Will there be onsite dewatering or processing of excavated materials? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, describe. _____ _____ _____ v. What is the total area to be dredged or excavated? _____ acres vi. What is the maximum area to be worked at any one time? _____ acres vii. What would be the maximum depth of excavation or dredging? _____ feet viii. Will the excavation require blasting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> ix. Summarize site reclamation goals and plan: _____ _____ _____ _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____ _____ _____ _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments?

☐ Yes ☐ No

If Yes, describe:

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?

☐ Yes ☐ No

If Yes:

- acres of aquatic vegetation proposed to be removed:

- expected acreage of aquatic vegetation remaining after project completion:

- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access):

- proposed method of plant removal:

- if chemical/herbicide treatment will be used, specify product(s):

v. Describe any proposed reclamation/mitigation following disturbance:

c. Will the proposed action use, or create a new demand for water?

☒ Yes ☐ No

If Yes:

i. Total anticipated water usage/demand per day: 15669 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?

☒ Yes ☐ No

If Yes:

- Name of district or service area: CITY OF BATAVIA

- Does the existing public water supply have capacity to serve the proposal?

☒ Yes ☐ No

- Is the project site in the existing district?

☒ Yes ☐ No

- Is expansion of the district needed?

☐ Yes ☒ No

- Do existing lines serve the project site?

☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project?

☐ Yes ☒ No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project:

- Source(s) of supply for the district:

iv. Is a new water supply district or service area proposed to be formed to serve the project site?

☐ Yes ☒ No

If, Yes:

- Applicant/sponsor for new district:

- Date application submitted or anticipated:

- Proposed source(s) of supply for new district:

v. If a public water supply will not be used, describe plans to provide water supply for the project:

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?

☒ Yes ☐ No

If Yes:

i. Total anticipated liquid waste generation per day: 15669 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each):

SANITARY WASTE, RESIDENTIAL STRENGTH

iii. Will the proposed action use any existing public wastewater treatment facilities?

☒ Yes ☐ No

If Yes:

- Name of wastewater treatment plant to be used: CITY OF BATAVIA WASTEWATER TREATMENT PLANT

- Name of district: City of Batavia

- Does the existing wastewater treatment plant have capacity to serve the project?

☒ Yes ☐ No

- Is the project site in the existing district?

☒ Yes ☐ No

- Is expansion of the district needed?

☐ Yes ☒ No



<ul style="list-style-type: none"> <li>• Do existing sewer lines serve the project site? _____</li> <li>• Will line extension within an existing district be necessary to serve the project? _____</li> </ul> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Describe extensions or capacity expansions proposed to serve this project: _____</li> </ul>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____	
If Yes:	
<ul style="list-style-type: none"> <li>• Applicant/sponsor for new district: _____</li> <li>• Date application submitted or anticipated: _____</li> <li>• What is the receiving water for the wastewater discharge? _____</li> </ul>	
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans): _____	
vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____	
If Yes:	
i. How much impervious surface will the project create in relation to total size of project parcel?	
_____ Square feet or <u>0.87</u> acres (impervious surface)	
_____ Square feet or <u>3.17</u> acres (parcel size)	
ii. Describe types of new point sources. <u>DISCHARGE INTO EXISTING STORM TUNNEL ON-SITE AND STORM SEWER ON EVANS STREET.</u>	
iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?	
<u>STORMWATER QUALITY TREATMENT WILL BE PROVIDED IN AN ON-SITE BIO-RETENTION AREA AND ULTIMATELY EXISTING CITY STORM SEWER.</u>	
• If to surface waters, identify receiving water bodies or wetlands: _____	
• Will stormwater runoff flow to adjacent properties? _____	
iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____	
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____	
If Yes, identify:	
i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____	
ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____	
iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____	
If Yes:	
i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____	
ii. In addition to emissions as calculated in the application, the project will generate:	
<ul style="list-style-type: none"> <li>• _____ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)</li> <li>• _____ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)</li> <li>• _____ Tons/year (short tons) of Perfluorocarbons (PFCs)</li> <li>• _____ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)</li> <li>• _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)</li> <li>• _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)</li> </ul>	

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐ Yes ☒ No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐ Yes ☒ No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐ Yes ☒ No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐ Weekend  
☐ Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking? ☐ Yes ☒ No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☒ Yes ☐ No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☒ Yes ☐ No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☒ Yes ☐ No

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k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☒ Yes ☐ No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
Commercial Building - 100KVA

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
grid/local utility

iii. Will the proposed action require a new, or an upgrade to, an existing substation? ☐ Yes ☒ No

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l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: \_\_\_\_\_ 7am-7pm
- Saturday: \_\_\_\_\_ TBD
- Sunday: \_\_\_\_\_ TBD
- Holidays: \_\_\_\_\_ TBD

ii. During Operations:

- Monday - Friday: \_\_\_\_\_ 7am-12am
- Saturday: \_\_\_\_\_ 12pm-12am
- Sunday: \_\_\_\_\_ 12pm-12am
- Holidays: \_\_\_\_\_ TBD

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? ☒ Yes ☐ No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 EXCAVATION EQUIPMENT - 7AM TO 7PM WEEKDAYS

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? ☐ Yes ☒ No  
 Describe: \_\_\_\_\_

n. Will the proposed action have outdoor lighting? ☒ Yes ☐ No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Bollard Lights, Single head pole mount light 20' height, wall pack 10' height, double head pole mount light 20' height, landscape accent light (uplight), single head pole mount w/ rear cut off 20' height - located in parking lots, along paved walkways and within landscaped areas

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? ☐ Yes ☒ No  
 Describe: \_\_\_\_\_

o. Does the proposed action have the potential to produce odors for more than one hour per day? ☐ Yes ☒ No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? ☐ Yes ☒ No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally describe proposed storage facilities: \_\_\_\_\_

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? ☐ Yes ☒ No  
 If Yes:  
 i. Describe proposed treatment(s): \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices? ☐ Yes ☐ No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? ☒ Yes ☐ No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ 250 tons per \_\_\_\_\_ 12 MONTHS (unit of time)  
 • Operation : \_\_\_\_\_ 15 tons per \_\_\_\_\_ WEEK (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: RECYLING WHERE POSSIBLE  
 • Operation: SEPERATED WASTE CONTAINERS RECYLING / GARABAGE  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: HAULED TO REGULATED LANDFILL  
 • Operation: ROUTINE REFUSE REMOVAL SERVICE



s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

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t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

#### E. Site and Setting of Proposed Action

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☒ Urban ☒ Industrial ☒ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe:

Community retail - shopping, food, services, etc.; Commercial - Ice Arena, County Government Offices, County Courthouse, Private Offices

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b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	2.0	2.0	0
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	1.0	1.0	0
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☒ No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐ Yes ☒ No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_  
\_\_\_\_\_

e. Does the project site contain an existing dam? ☐ Yes ☒ No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☒ No  
If Yes:  
i. Has the facility been formally closed? ☐ Yes ☐ No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
\_\_\_\_\_

iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_  
\_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☐ No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
TBD  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☒ Yes ☐ No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☒ Yes ☐ No  
☐ Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
☒ Yes – Environmental Site Remediation database Provide DEC ID number(s): C819021, 819019  
☐ Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☒ Yes ☐ No  
If yes, provide DEC ID number(s): 819016, C819021, 819019, 819011  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
ACCEPTED INTO BROWNFIELD CLEAN-UP PROGRAM  
\_\_\_\_\_

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<p>m. Identify the predominant wildlife species that occupy or use the project site:</p> <p>pigeons _____</p> <p>_____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p> </p> <p> </p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p> </p> <p> </p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes: <div style="margin-left: 20px;">           i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site    <input checked="" type="checkbox"/> Historic Building or District            ii. Name: Genesee County Courthouse Historic District            iii. Brief description of attributes on which listing is based: _____         </div>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <div style="margin-left: 20px;">           i. Describe possible resource(s): _____            ii. Basis for identification: _____         </div>	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <div style="margin-left: 20px;">           i. Identify resource: _____            ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____            iii. Distance between project and resource: _____ miles.         </div>	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <div style="margin-left: 20px;">           i. Identify the name of the river and its designation: _____            ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?         </div>	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

#### F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

#### G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Samuel J. Savarino Ellicott Station Development Date 5/25/2017

Signature \_\_\_\_\_ Title Managing Member

**PRINT FORM**

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency and the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b> Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) If "Yes", answer questions a - j. If "No", move on to Section 2.			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part 1 Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>



**2. Impact on Geological Features**

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)

☒ NO☐ YES

If "Yes", answer questions a - c. If "No", move on to Section 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

☒ NO☐ YES

If "Yes", answer questions a - l. If "No", move on to Section 4.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>4. Impact on groundwater</b> The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) If "Yes", answer questions a - h. If "No", move on to Section 5.			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>5. Impact on Flooding</b> The proposed action may result in development on lands subject to flooding. (See Part 1. E.2) If "Yes", answer questions a - g. If "No", move on to Section 6.			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>6. Impacts on Air</b> The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochlorofluorocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>7. Impact on Plants and Animals</b> The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>



e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>8. Impact on Agricultural Resources</b> The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>9. Impact on Aesthetic Resources</b> The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 - 3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>10. Impact on Historic and Archeological Resources</b> The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Yes", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

<b>11. Impact on Open Space and Recreation</b> The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) If "Yes", answer questions a - e. If "No", go to Section 12.			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b, E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c, E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>12. Impact on Critical Environmental Areas</b> The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) If "Yes", answer questions a - c. If "No", go to Section 13.			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>



**13. Impact on Transportation**

The proposed action may result in a change to existing transportation systems.  
(See Part 1. D.2.j)

☒ NO☐ YES

If "Yes", answer questions a - g. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**

The proposed action may cause an increase in the use of any form of energy.  
(See Part 1. D.2.k)

☒ NO☐ YES

If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**15. Impact on Noise, Odor, and Light**

The proposed action may result in an increase in noise, odors, or outdoor lighting.  
(See Part 1. D.2.m., n., and o.)

☒ NO☐ YES

If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

#### 16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part I.D.2.q., E.1. d. f. g. and h.)

☒ NO

☐ YES

If "Yes", answer questions a - m. If "No", go to Section 17.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>17. Consistency with Community Plans</b> The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>18. Consistency with Community Character</b> The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>



**Full Environmental Assessment Form**  
**Part 3 - Evaluation of the Magnitude and Importance of Project Impacts**  
**and**  
**Determination of Significance**

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

**Reasons Supporting This Determination:**

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

**Determination of Significance - Type 1 and Unlisted Actions**

SEQR Status: ☐ Type 1 ☒ Unlisted

Identify portions of EAF completed for this Project: ☒ Part 1 ☒ Part 2 ☒ Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the Planning and Development Committee as lead agency that:

☒ A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

☐ B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

☐ C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: SEQR Ellicott Station 40-70 Ellicott St. Batavia.

Name of Lead Agency: Planning and Development Committee

Name of Responsible Officer in Lead Agency: Duane Preston

Title of Responsible Officer: Chair

Signature of Responsible Officer in Lead Agency: [Signature]

Date: 7-20-17

Signature of Preparer (if different from Responsible Officer)

Date:

**For Further Information:**

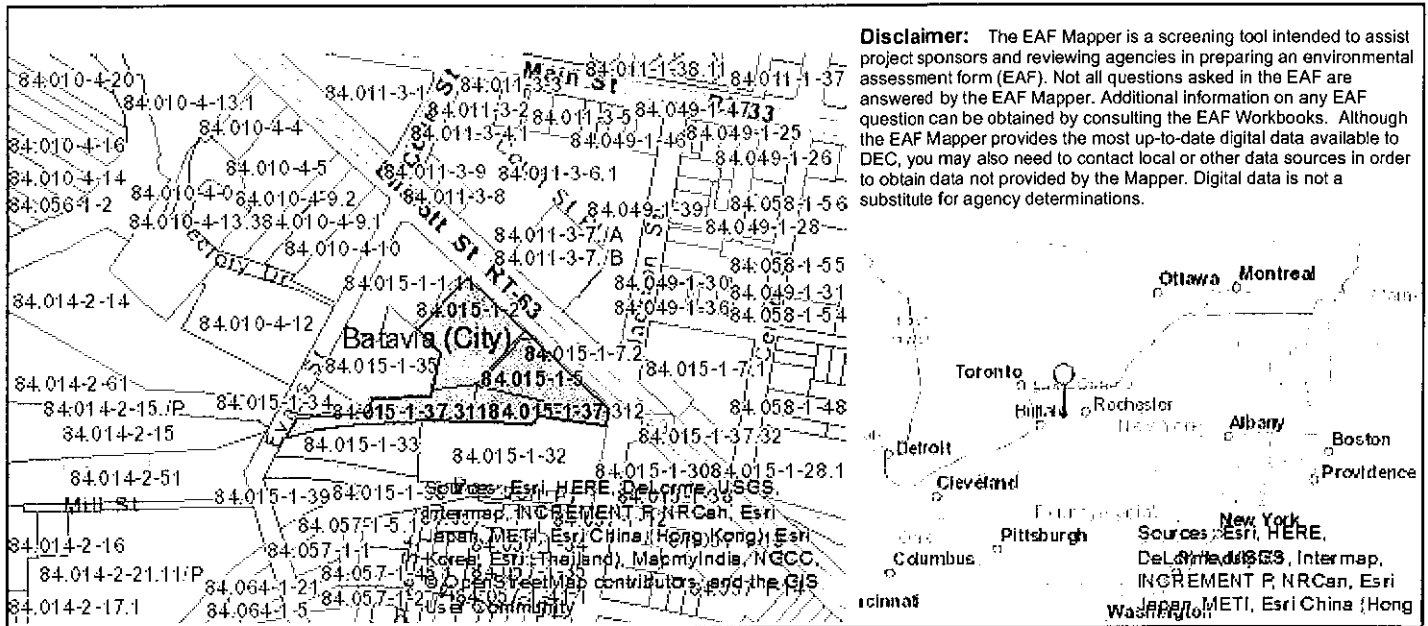
Contact Person: Douglas Randall  
Address: One Batavia City Centre  
Batavia, NY 14050  
Telephone Number: (585) 345-6327  
E-mail: drandall@bataviainewyork.com

**For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:**

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)  
Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	Remediation Sites: C819021, Remediation Sites: 819019
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Yes - Digital mapping data for Spills Incidents are not available for this location. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Yes
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Yes
E.1.h.i [DEC Spills or Remediation Site - DEC ID Number]	C819021, 819019
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	819016, C819021, 819019, 819011
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.j. [100 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.



E.2.k. [500 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.l. [Aquifers]	Yes
E.2.i. [Aquifer Names]	Principal Aquifer, Primary Aquifer
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - Name]	Genesee County Courthouse Historic District
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



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42 Beeman St  
Canandaigua, NY 14522

Doug Randal  
City of Batavia  
One Batavia City Centre  
Batavia, NY 14020

July 10, 2017

Re: Ellicott Station Re-development - Grand Canal

Dear Mr. Randal:

Supplemental to the drawings and documents provided for the planning review of the referenced project, we have prepared this letter to clarify the design intent for the discussed conflict between a large city storm tunnel (Grand Canal) and a proposed residential building. We are working diligently to survey the public utility and determine actual locations so a final design can be issued. As you are aware, site contamination and lack of records make this a difficult task. It is our intent to replace the existing under the proposed building with a new pre-cast box culvert structure. This section to be replaced will be directly beneath the proposed residential structure.

The new precast concrete box culvert structure will be aligned similar to the existing tunnel and replacement of will be between the NYSDOT Catch-basin vault structures as shown on C200 of the submitted plans. The new box culvert will have interior dimensions of 5'x 5' and the capacity for H-20 Loading. The interior section area of the new box culvert will be greater than the existing tunnel which estimated 3' wide by 4' high. The size of the culvert will allow for access to maintain and inspect the areas beneath the new building as well as accommodate the stormwater flows. As shown on the drawings two new vault structures will be provided on either side of the building for access. Please find attached additional information for the new culvert.

In addition to the replacement, the storm tunnel will remain the property of the City of Batavia and an easement will be provided for access and maintenance. The proposed building structure will be designed and constructed to avoid the utility and not impose loads on or near the tunnel. The building foundation shall incorporate an adequate grade beam to span over the tunnel structure. The lower level (at grade) of the building is a parking surface which will be a paved surface atop structural fill surrounding the new tunnel structure. The tunnel structure as replaced shall be sufficient to carry this parking surface load.

We request that the building department, City DPW and planning board consider this design intent as well as the submitted documents for review and approval of the site plan with the condition of: "City Engineer's and DPW approval and signature on the site and utility plans



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42 Beeman St  
Canandaigua, NY 14522

prior to issuance of a building permit". Additionally given this intent, we request that the lead agency pursue action of the SEQR review process at the next public meeting. It is our opinion that replacing the utility in kind and adapting the construction of the new building over it will have the least impact on the public and the environment.

As always please feel free to contact me with any questions or concerns. We look forward to moving forward on this project.

Sincerely,

Brennan Marks, P.E.  
Marks Engineering, P.C.  
[bmarks@marksengineering.com](mailto:bmarks@marksengineering.com)  
[www.marksengineering.com](http://www.marksengineering.com)  
Cell (585)905-0360  
Fax (585)486-6205



07/10/2017

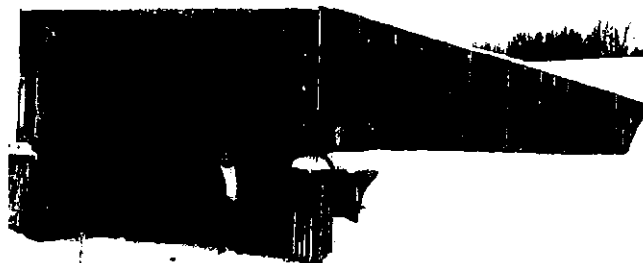
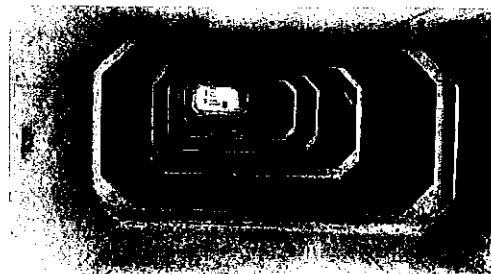
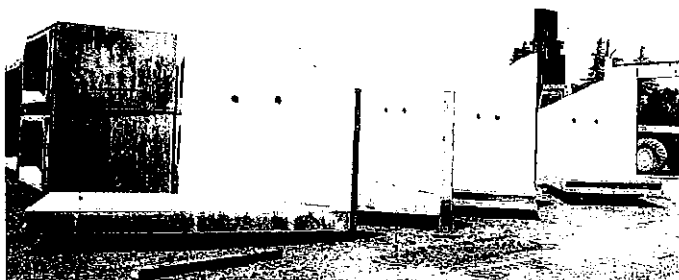
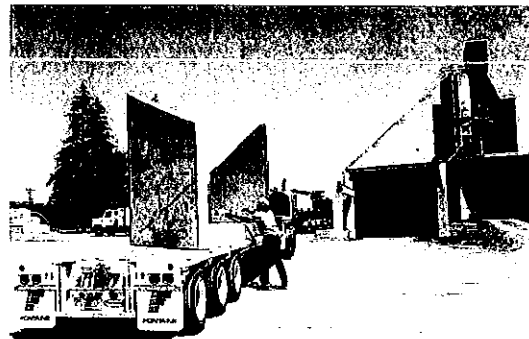
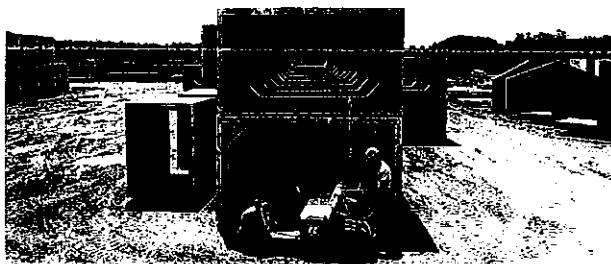
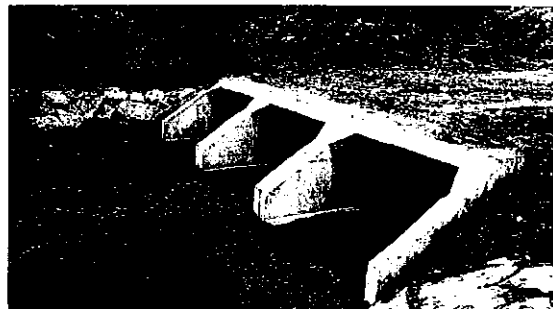
CC : Sammual Savarino, Developer, w/enc. (email)  
Matt Worth, City of Batavia DPW, w/ enc. (email)  
Julie Pacatte, Batavia Development Corp., w/enc. (email)





**KISTNER CONCRETE PRODUCTS, INC.**  
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## GENERAL

This section deals with the use of rectangular and square structures which, when laid end-to-end, form a conduit for the conveyance of storm or sanitary wastewaters. Applications of this product have been so extensive that varied widths and heights are available. They can be used in short structures such as bridge construction or replacement, and in long structures for watercourse location or development.

The shape of the box culvert is a four-sided box section with open ends to be monolithically cast of reinforced concrete. The inside surfaces shall be smooth so as not to restrict flow through the completed installation. These precast concrete sections are designed for easy and trouble-free operation.

Contact our engineering staff for assistance in the determination of attainable shapes and sizes of box culvert.

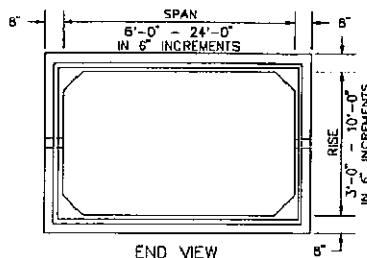
## SPECIFICATIONS:

CONCRETE:	5,000 P.S.I. @ 28 DAYS
ENTRAINED AIR:	5% - 9%
STEEL:	A.S.T.M. A496 - A616
	GRADE 60-60 KSI
DESIGN LOADING:	A.A.S.H.T.O. HS-20-44 OR HS-25-44 WITH 30% IMPACT AND EQUIVALENT SOIL PRESSURE OF 130(PSF). FLOTATION FORCES NOT ACCOUNTED FOR. A.S.T.M.-A.A.S.H.T.O.

## JOINTS

Each section shall have a male and a female end with not less than 1 1/2" concrete overlap.

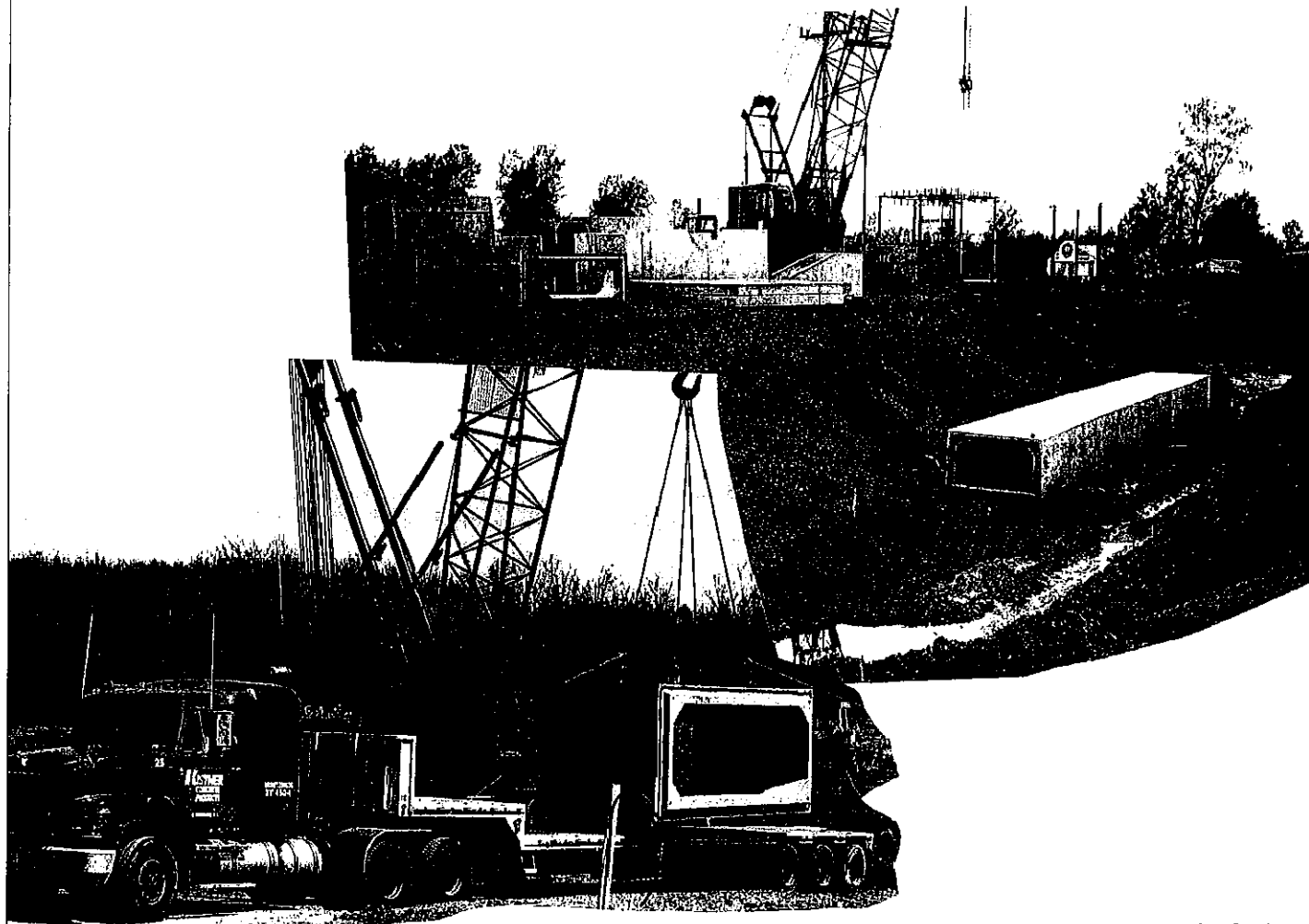
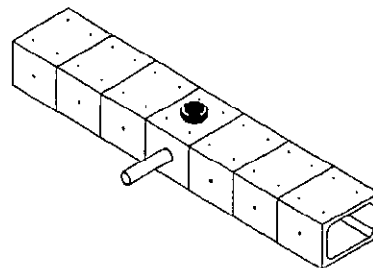
Note: "V" bottom (low flow channel) available.



## SIZES

Span x Rise	Span x Rise
6'-0" x 3'-0"	12'-0" x 4'-0"
6'-0" x 4'-0"	12'-0" x 5'-0"
6'-0" x 5'-0"	12'-0" x 6'-0"
6'-0" x 6'-0"	12'-0" x 7'-0"
6'-0" x 7'-0"	12'-0" x 8'-0"
	12'-0" x 9'-0"
8'-0" x 3'-0"	
8'-0" x 4'-0"	13'-0" x 4'-8"
8'-0" x 5'-0"	14'-0" x 4'-8"
8'-0" x 6'-0"	15'-0" x 4'-8"
8'-0" x 7'-0"	16'-0" x 4'-8"
8'-0" x 8'-0"	17'-0" x 4'-8"
	18'-0" x 4'-8"
10'-0" x 3'-0"	19'-0" x 4'-8"
10'-0" x 4'-0"	20'-0" x 4'-8"
10'-0" x 5'-0"	21'-0" x 4'-8"
10'-0" x 6'-0"	22'-0" x 4'-8"
10'-0" x 7'-0"	23'-0" x 4'-8"
10'-0" x 8'-0"	24'-0" x 4'-8"

Greater spans to 36'-0" available.





# KISTNER CONCRETE PRODUCTS, INC.<sup>®</sup> SUPERIOR PRECAST PRODUCTS THROUGH ENGINEERING

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## Leaders and Innovators in the Small Bridge Industry.

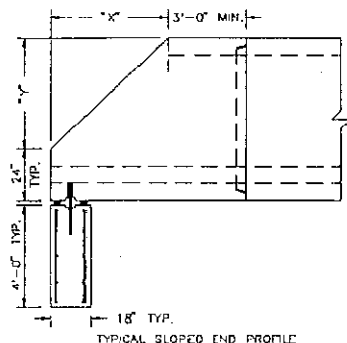
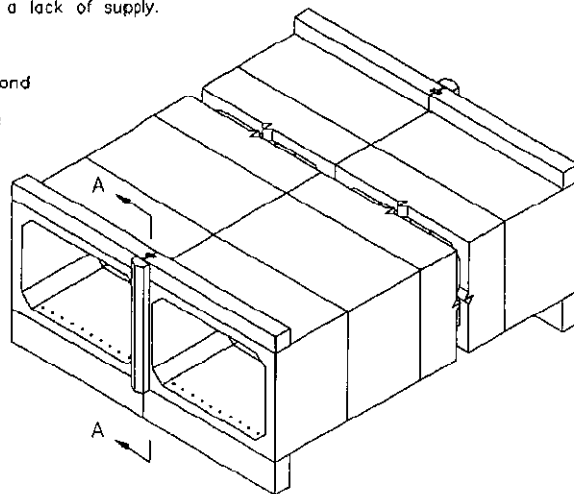
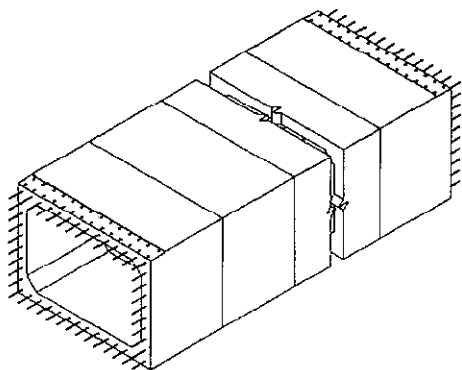
Although Kistner Concrete Products has been an established leader in the precast concrete industry for many years, box culverts are a relatively new item to our line of excellent products. It is this very fact that has given us the opportunity to enter the box culvert business with a fresh and innovative approach. The following information will tell you about our time and money-saving products and exclusive features, all of which meet or exceed A.S.T.M. and N.Y.S.D.O.T. specifications.

At Kistner there is always a large inventory of various size box culverts on hand for immediate delivery. Thus, you can be assured that there will be no crew holdups or other costly delays due to a lack of supply.

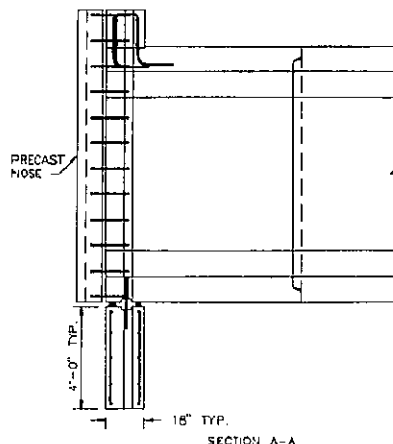
**EXPOSED REINFORCING STEEL** - When additional concrete must be poured beyond the precast sections, reinforcing steel can be left exposed (usually 18").

**KEYWAY SLOT** - A shear connection between the precast and field cast can be obtained by using a slot around the periphery of the end precast sections.

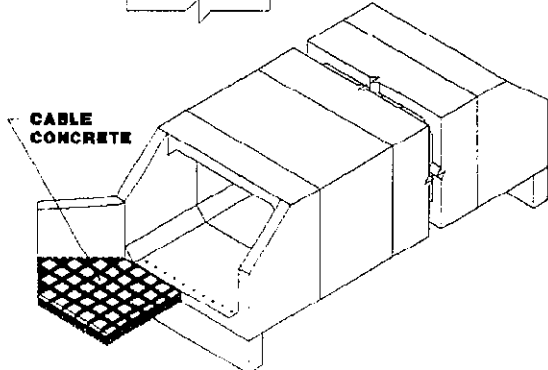
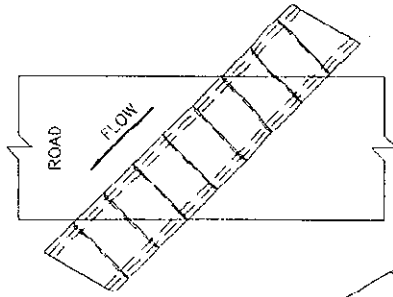
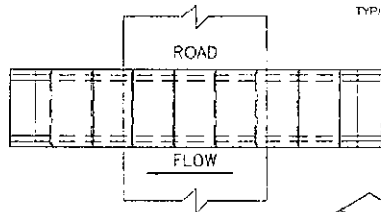
**PLAIN END** - This section can be used as the end of an installation when the wing and end walls are designed to act independently of the precast box.



TYPICAL SLOPED END PROFILE



SECTION A-A



**SLOPED FACE** - End sections with a sloped face can be used as an alternate to wing walls. The angle of the slope is determined by the grade of the embankment.

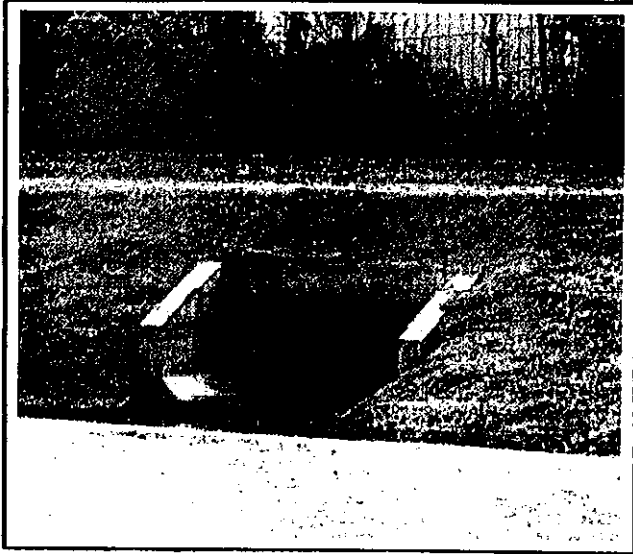
**SKewed FACE** - Special skewed end sections can be manufactured at crossings which are not perpendicular to the roadway. Any end finish such as those listed above can be used as a skewed end.

SHOW LEADING



## PRESS RELEASE — REPRINT WITH PERMISSION:

PRECAST CONCRETE ASSOCIATION OF NEW YORK December 1993 MONTHLY NEWSLETTER



Precast Concrete carries Conrail track in Erie County.  
Photo by Kistner Concrete

### Precast Box Culvert Carries Conrail E-80 Rail Loading

Precast concrete box culvert sections designed for a Cooper E-80 loading were installed under Conrail tracks in Erie County, New York this summer. The box members had a 10' span and 4' rise. They were designed by engineers with the New York State Department of Transportation [NYSDOT].

The project was part of a reconstruction of routes 33 and 78, for NYSDOT. The installation under the tracks was completed in one day. Contractor for the project was Dipizio Construction, Inc. Kistner Concrete Products, Inc. cast the members in their plant in East Pembroke, N.Y. #



KISTNER CONCRETE  
PRODUCTS INC.  
8713 READ ROAD  
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14056  
(716) 894-2267  
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**SUPERIOR PRECAST PRODUCTS THROUGH ENGINEERING**

SHOW-BCMAILER

**Precast Concrete Box Culverts by: KISTNER CONCRETE PRODUCTS INC.**  
**PRECAST CONCRETE BRIDGE SYSTEM**

**The solution for short span bridges by Kistner Concrete Products, Inc.**

**Specifications:**

- 1.) Precast Concrete Box Culvert as Manufactured by Kistner Concrete Products, Inc.
- 2.) Producer shall be certified by the National Precast Concrete Association (NPCA) Plant Certification Program. Manufacturer shall be certified at the time of bidding.

**Shapes and Sizes:**

- 1.) Sections to be either 4 sided or 3 sided sections with open ends, cast monolithically with min. 8" haunches in each corner.
- 2.) Internal Dimensions: Rise\_\_\_\_\_, Span\_\_\_\_\_. Maximum lay length per section to be 7'-6".
- 3.) Roof, Base and Wall thickness to be determined by manufacturer.

**Joints:**

- 1.) Each section shall have a male and female shiplap joint with a minimum of 2" overlap.
- 2.) Each section shall have a 1" x 1" closed cell neoprene gasket cemented to joint surface at the time of shipment.
- 3.) Connection hardware to be provided by manufacturer and removed after installation.

**Engineered Drawings:**

- 1.) Shop drawings showing layout of sections and steel reinforcement and design calculations shall be submitted to design engineer.
- 2.) Shop drawings and design calculations shall be stamped by a Registered Professional Engineer.

**Codes and Standards:**

The Culvert System shall meet the following codes and standards:

- 1.) AASHTO Load Factor Design Method
- 2.) Box Culvert: AASHTO Chapter 17 – 17.7
- 3.) Three Sided Spans: AASHTO Chapter 17 – 17.8

**Material Properties and Design Loads:**

- 1.) Minimum Concrete Compressive Strength: 5,000 PSI @ 28 days
- 2.) Steel Reinforcement: ASTM A615-75, Grade 60.
- 3.) Entrained Air: 5% - 9%.

**Soil Data:**

- 1.) Unit Weight of Soil: 120 PCF
- 2.) Unit Weight of Concrete: 150 PCF
- 3.) Lateral Earth Pressure: 60 PCF max, 30 PCF min.

**Capacity Reduction Factors:**

- 1.) Shear: .90
- 2.) Moment: 1.0

**Loading Data:**

- 1.) Load Factors: AASHTO Article 3.22 and Table 3.22.1A Group X.  
Dead Load: 1.3  
Live Load: 2.17
- 2.) Truck Axle Load: H20, HS20, HS25. As per project requirement.
- 3.) Earth Cover: Minimum\_\_\_\_\_, Maximum\_\_\_\_\_.
- 4.) Impact: See AASHTO Article 3.8.2 modified as per NYSDOT Reinforced Concrete Box Culvert Design Guidelines
- 5.) Depth of Water in Box Section: Equal to inside height of box.

**Reinforcement Coverage:**

- 1.) Unless noted otherwise all concrete cover over reinforcing steel shall be 1" minimum on the walls, floor slab and roof slab. When fill heights are less than 2'-0", concrete cover on the outside face of the roof slab shall be 2" minimum.

This specification is presented as guide only. The project designer is responsible for specifying Culverts to meet project requirements. Kistner Concrete Products, Inc. design and production capabilities include, but are not limited to the above outlined specification. Please call our estimating and design staff to assist you in your project planning. Thank you for specifying Kistner Concrete Products, Inc.

# Precast Concrete Box Culvert

## General:

This section deals with the use of rectangular and square structures which, when laid end-to-end, form a conduit for the conveyance of storm and wastewaters. Applications of this product have been so extensive that varied widths and heights are available. They can be used in short structures such as bridge construction or replacement, and in long structures for watercourse location or development.

The shape of the box culvert is a four-sided box section with open ends to be monolithically cast of reinforced concrete. The inside surfaces shall be smooth so as not to restrict flow through the completed installation. These precast concrete sections are designed for easy and trouble-free operation.

Contact our engineering staff for assistance in the determination of attainable shapes and sizes of box culvert.

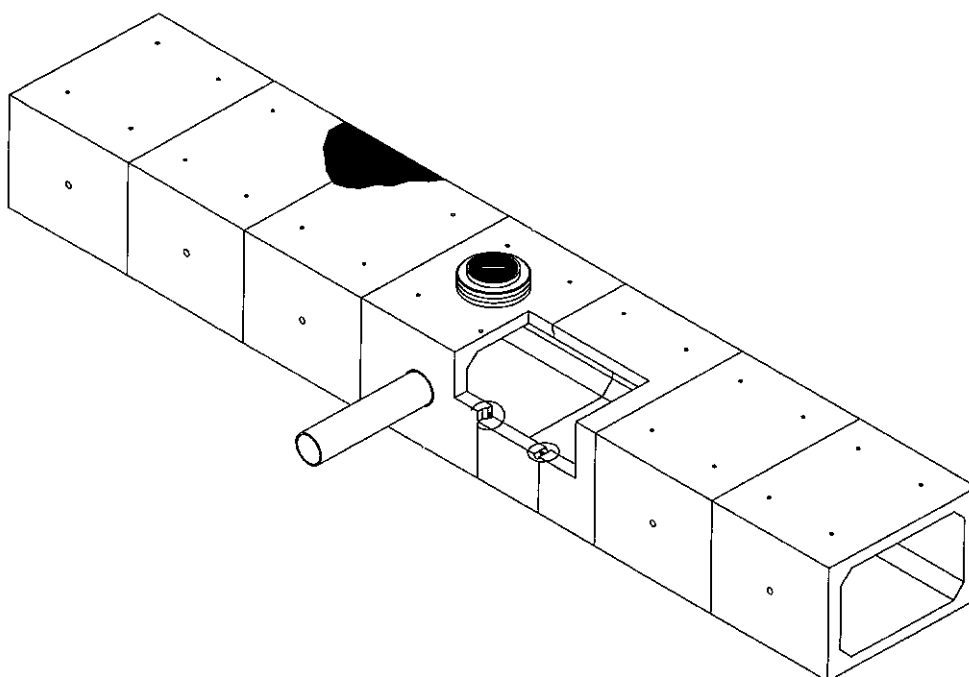
## Specifications:

Concrete:	5,000 P.S.I. @ 28 Days
Entrained Air:	5% - 9%
Steel:	A.S.T.M. A496 - A616 Grade 60-60 KSI
Design Loading:	A.A.S.H.T.O. HS-20-44 or HS-25-44 with 30% impact and equivalent soil pressure of 130(PSF). Floatation forces not accounted for. A.S.T.M.-A.A.S.H.T.O. Or EGO -Railroad

## Joints:

Each section shall have a male and female end with no less than 1 1/2" of concrete overlap.

Note: "V" bottom (low flow channel) available.

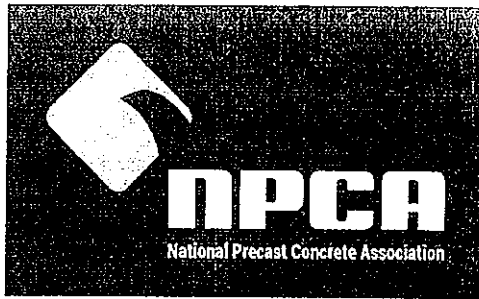


## Standard Sizes

### Span x Rise

6'-0" x 3'-0"
6'-0" x 4'-0"
6'-0" x 5'-0"
6'-0" x 6'-0"
6'-0" x 7'-0"
8'-0" x 3'-0"
8'-0" x 4'-0"
8'-0" x 5'-0"
8'-0" x 6'-0"
8'-0" x 7'-0"
8'-0" x 8'-0"
10'-0" x 3'-0"
10'-0" x 4'-0"
10'-0" x 5'-0"
10'-0" x 6'-0"
10'-0" x 7'-0"
10'-0" x 8'-0"
12'-0" x 4'-0"
12'-0" x 5'-0"
12'-0" x 6'-0"
12'-0" x 7'-0"
12'-0" x 8'-0"
12'-0" x 9'-0"
13'-0" x 4' through 8'
14'-0" x 4' through 8'
15'-0" x 4' through 8'
16'-0" x 4' through 8'
17'-0" x 4' through 8'
18'-0" x 4' through 8'
19'-0" x 4' through 8'
20'-0" x 4' through 8'
21'-0" x 4' through 8'
22'-0" x 4' through 8'
23'-0" x 4' through 8'
24'-0" x 4' through 8'



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# Specifications

## SPECIFICATION DESCRIPTION

- ✓ ASTM C 857 Practice for Minimum Structural Design Loading for Underground Precast Concrete Utility Structures
- ✓ ASTM C 858 Specification for Underground Precast Concrete Utility Structures
- ASTM C 891 Practice for Installation of Underground Precast Concrete Utility Structures
- ASTM C 1037 Practice for Inspection of Underground Precast Concrete Utility Structure

[Back to Underground Utility Vaults](#)



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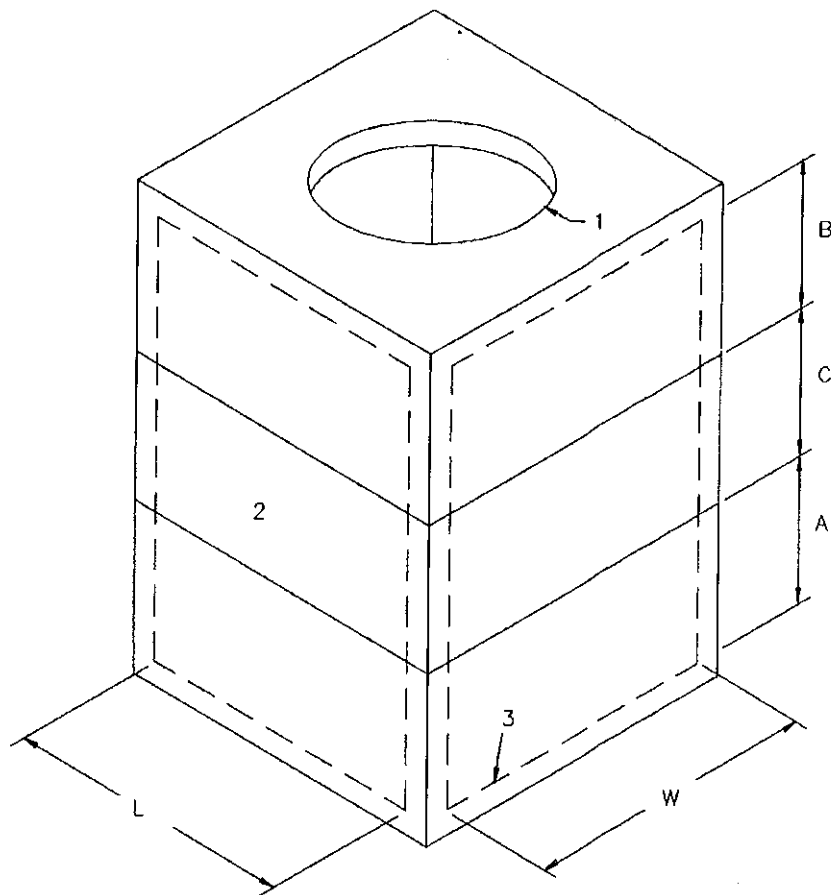
## PRODUCT DESIGNATION

SQUARE AND RECTANGULAR STRUCTURES  
WITH MONOLITHIC BASE AND TOP SLAB

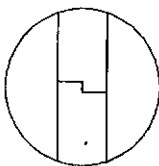
DWG. NO.

SRS-5

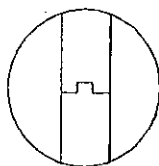
©



JOINT  
TYPE  
1



JOINT  
TYPE  
2



### NOTES:

1. SQUARE OR ROUND OPENINGS AVAILABLE. RISERS AVAILABLE. HATCH POURS CAST INTO ROOF SLAB WHEN SPECIFIED. LOCATION OF OPENING AS REQUIRED.
2. ANY NUMBER OF CENTER SECTIONS CAN BE USED TO MEET STRUCTURE HEIGHT REQUIREMENTS.
3. NOTE THAT BASE AND WALLS, ROOF AND WALLS ARE MONOLITHIC.

# STANDARD SQUARE AND RECTANGULAR STRUCTURES WITH MONOLITHIC BASE AND TOP SLAB



KISTNER CONCRETE  
PRODUCTS INC.  
8713 READ ROAD  
E. PEMBROKE, N.Y.  
14056  
(716) 894-2267

## PRODUCT DESIGNATION

STANDARD SQUARE AND RECTANGULAR STRUCTURES  
WITH MONOLITHIC BASE AND TOP SLAB

DWG. NO.

SRS-6

L	W	A BOTTOM (in.)	B TOP (in.)	C MID SECTION (in.)	WALL THICKNESS (in.)	ROOF THICKNESS (in.)	BASE THICKNESS (in.)	JOINT TYPE 1	JOINT TYPE 2	HEAVY DUTY LOADING H-20	LIGHT DUTY LOADING ONLY
20"	20"	36	36	N.A.	1.75	2	2	X			X
24"	24"	60	6" SLAB	N.A.	6/8	6/8	6/8	X		X	
30"	24"	54	6" SLAB	N.A.	6	6	6	X		X	
30"	30"	60	6" SLAB	N.A.	6	6	6	X		X	
32.5"	32.5"	48	48	N.A.	1.75	3	2	X		X	
36"	36"	72	6" SLAB	N.A.	6	6	6	X		X	
42"	42"	54	6" SLAB	N.A.	6	6	6	X		X	
48"	24"	78	6" SLAB	N.A.	8	8	8	X		X	
48"	48"	60	62	62	6	6	6	X		X	
4'-6"	3'-0"	42	42	N.A.	6	6	6	X		X	
4'-6"	4'-6"	42	42	39	6	6	6	X		X	
4'-6"	8'-0"	42	42	39	6	6	6	X		X	
5'-0"	10'-0"	33	39	33	8	8	8		X	X	
6'-0"	5'-4"	39	42	45	8	8	8		X	X	
6'-2"	6'-2"	39	42	39	6	6	6	X		X	
6'-2"	8'-0"	37	39	39	6	6	6	X		X	
6'-4"	13'-4"	42	42	42	4	6	6	X		X	
6'-0"	10'-0"	39	42	N.A.	6	6	6		X	X	
6'-0"	10'-0"	39	42	N.A.	8	8	8		X	X	
6'-0"	12'-0"	42	45	45	8	8	8		X	X	
6'-0"	12'-0"	46.5	48	48	6	6	6		X	X	
6'-0"	16'-0"	42	45	45	8	8	8		X	X	
8'-0"	8'-0"	68	68	N.A.	10	10	10		X	X	
8'-0"	8'-0"	68	68	68	10	10	10	X		X	
8'-0"	12'-0"	60	63	63	8	8	8		X	X	
12'-0"	12'-0"	60	63	63	8	8	8		X	X	

- NOTES:
1. N.A. = NOT AVAILABLE.
  2. DESIGNATED STRUCTURES SMALLER THAN 48" SQ. SHOULD NOT BE DESIGNED GREATER THAN DEPTHS INDICATED. FOR GREATER DEPTH STRUCTURES USE 48", 60", OR 72" DIA. STRUCTURES.
  3. IF YOU DO NOT SEE THE SIZE YOU NEED, PLEASE GIVE OUR OFFICE A CALL AND ASK ABOUT OUR CUSTOM AND SPECIAL PRECAST PRODUCTS.





KISTNER CONCRETE  
PRODUCTS INC.  
8713 READ ROAD  
E. PEMBROKE, N.Y.  
14056  
(716) 894-2267

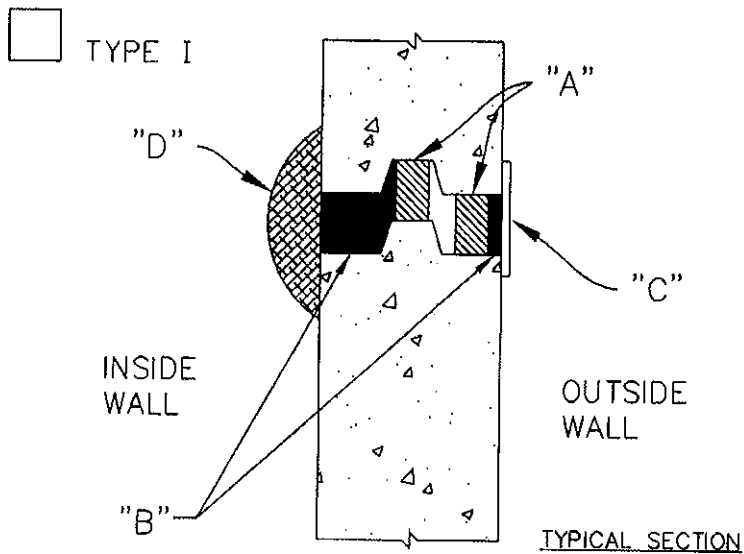
## PRODUCT DESIGNATION

### WATERTIGHT JOINT INSTALLATION PROCEDURE FOR STANDARD PRECAST STRUCTURES - BUTYL WRAP & GROUT

DWG. NO.

ST-TJD-BW2 ©

1-8-15



#### GENERAL NOTES:

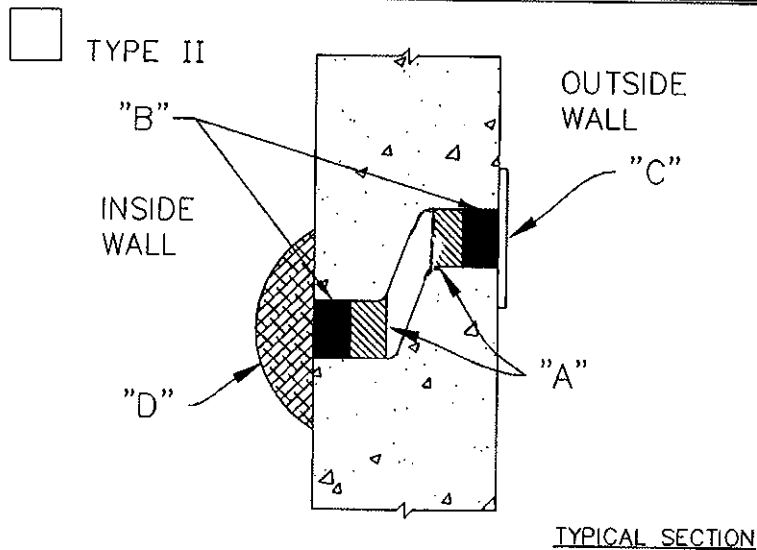
- "A" - JOINT SEALANT BY K.C.P.
- "B" - NONSHRINK GROUT BY G.C. - AVAILABLE UPON REQUEST.
- "C" - 6" BUTYL WRAP - INSTALLATION BY G.C. - AVAILABLE UPON REQUEST.
- "D" - TAR BY G.C.

"A", "B" & "C" AVAILABLE THROUGH KISTNER CONCRETE. PURCHASED & INSTALLED BY CONTRACTOR.

#### JOINT DETAILS FOR WATERTIGHT INSTALLATION.

NOTE: NON-POTABLE INSTALLATIONS ONLY.

ABOVE INFORMATION IS SUPPLIED FOR CONTRACTOR KNOWLEDGE AND IS ONLY ONE OF THE MANY ACCEPTABLE SEALING METHODS IN THE INDUSTRY. CONTRACTOR IS RESPONSIBLE FOR PROPER APPLICATION AND ULTIMATE WATERTIGHT INSTALLATION OF STRUCTURE.

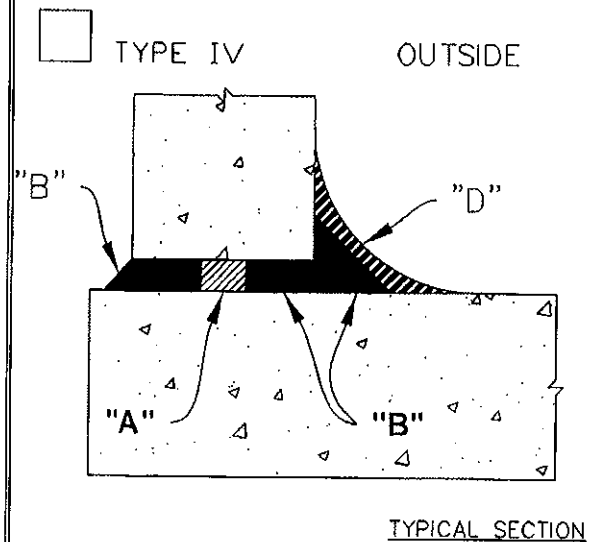
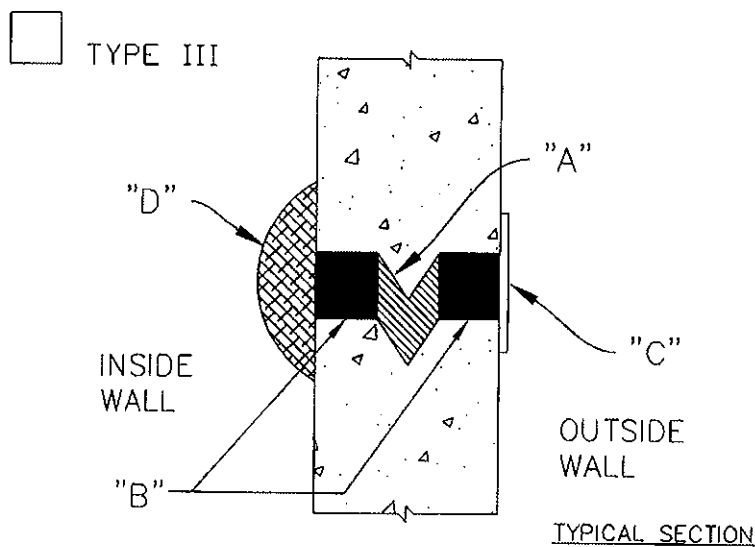


#### "A" JOINT SEALANT

"BUTYL RUBBER"  
MEETS FEDERAL SPECIFICATION  
#SS-S-00210 (210-A)  
AASHTO M-198  
SERVICE TEMP: -65° TO +200°F

#### PROCEDURE:

- 1) INSTALL STRUCTURE BOTTOM SECTION.
- 2) LOCATE 1" SQ. BUTYL JOINT SEALANT "A" PER DETAIL.
- 3) INSTALL NEXT STRUCTURE SECTION.
- 4) WATERPLUG "B" INTERIOR & EXTERIOR, ALL GAPS.
- 5) BUTYL WRAP "C" USING ADHESIVE TO ASSIST DURING APPLICATION (BY CONTR.).





**MarksEngineering**

42 Beeman St.  
Canandaigua, NY 14424

## **Engineer's Water & Sewer Report**

### **Ellicott Station Redevelopment:**

July 9, 2017



Marks Engineering, P.C. (Marks Engineering) has prepared this Engineer's Report for the Ellicott station redevelopment project located on the south side of Ellicott Street (NYS Route 63) between Evans Street and Jackson Street in the City of Batavia, County of Genesee, State of New York.

#### **Project Description:**

The subject properties will be developed commercially with multiple uses being proposed. The project will include the construction of two new buildings and complete renovations of an existing masonry structure on site.

The renovated building (BLDG-B) lies at the western side of the site. This building will be completely renovated and improved to host a Brewery/Restaurant use. The new building will have approximately 5,000 square feet (sf) of heated space and an 8,000 sf footprint.

A new multi-family residential structure (BLDG-R) will be constructed to include a total of 51 new apartment units and a total of 83 new bedrooms. The five-story structure will include a parking level on the first floor with residential levels above. This building will be approximately 56,600 sf.

The third building will be a single-story commercial building (Building - C) with a total of 16,700 sf of commercial office space.

In addition to the building construction, the site redevelopment will include improvements to provide new parking lots, sidewalks, a walking trail, and a large patio seating area between the brewery and the residential structure. The parking lots provide 145 new parking spaces. The parking lot will be lit with new site lighting and new landscaping areas will be provided.

#### **Existing Conditions:**

Currently, the site includes several vacant structures that will be demolished. The site will undergo remediation and be stripped of debris, asphalt, and other structures to allow for new developments.

#### **Water Supply:**

A 6" water main exists at the center of Ellicott Street with an existing 6" service connecting to Bldg. - B. There are two hydrants at the front along Ellicott Street supplied by the same main, one at the north-western corner of the site and one at the corner of Jackson and Ellicott Street. Hydrant Flow Data was collected from these hydrants:

BLDG-B will be supplied by the 6" service. The existing 6" service to this building will be evaluated for reuse. The two new buildings will be connected to the existing main w/ new 6" water services.

#### **Demand Information:**

Based on NYSDEC's "Design Standards for Wastewater Treatment Works" and other available resources, we can estimate the peak demand for each of the buildings:

##### **BLDG-B:**

- 5000 sf, and 2500 barrels/year (bbl/yr, bbl=31 gallons)
- 35 gallons per day (gpd) per seat (assume 100 seats) = 100 seats x 35 gpd/seat = 4375 gpd
- Per Brewers Association's "Water and Wastewater/Volume Reduction Manual" 1 bbl = 132 gal water used



## MarksEngineering

42 Beeman St.  
Canandaigua, NY 14424

- $132\text{gal} \times 2500 \text{ bbl} / 365 \text{ days} = 904 \text{ gpd}$
- Total = 5279gpd
- Based on a 12 hour demand period, average day demand will be 7.3 gpm
- Using Peak factor of 9, brewery/restaurant will require **66 gpm peak demand**

### BLDG-C:

- 16,700 sf commercial office space
- 15 gpd per employee
- 1 employee per 200 sf = 84 employees
- $15 \text{ gpd} \times 84 \text{ employees} = 1260 \text{ gpd}$
- Based on a 10 hour demand period, average day demand will be 2.1 gpm
- Using Peak factor of 9, brewery/restaurant will require **19 gpm peak demand**

### BLDG-R:

- 83 bedrooms at 110 gpd per bedroom = 9130 gpd
- Based on a 24 hour demand period, average day demand will be 6.3 gpm
- Using Peak factor of 9, brewery/restaurant will require **57 gpm peak demand**

**Total = 142 gpm**

### Existing Hydrant Flow Data:

#### West Hydrant #238:

Static Pressure: 69 PSI  
Residual Pressure: 36 PSI  
Hydrant Flow: 928 GPM

#### East Hydrant #185:

Static Pressure: 70 PSI  
Residual Pressure: 42 PSI  
Hydrant Flow: 823 GPM

### Calculated existing flow at 20 psi residual:

#### West Hydrant #238:

Fire Flow: 1148 GPM

#### East Hydrant #185:

Fire Flow: 1125 GPM

### Sanitary Sewers:

The sewer from the proposed buildings will be piped directly from each building to the sanitary trunk sewer on Ellicott Street with a 6" lateral. There is an existing lateral connected to BLDG-B this will be evaluated for re-use.

The total anticipated flows are as follows:

BLDG-B – 5279 gpd

BLDG-C – 1260 gpd

BLDG-R – 9130 gpd

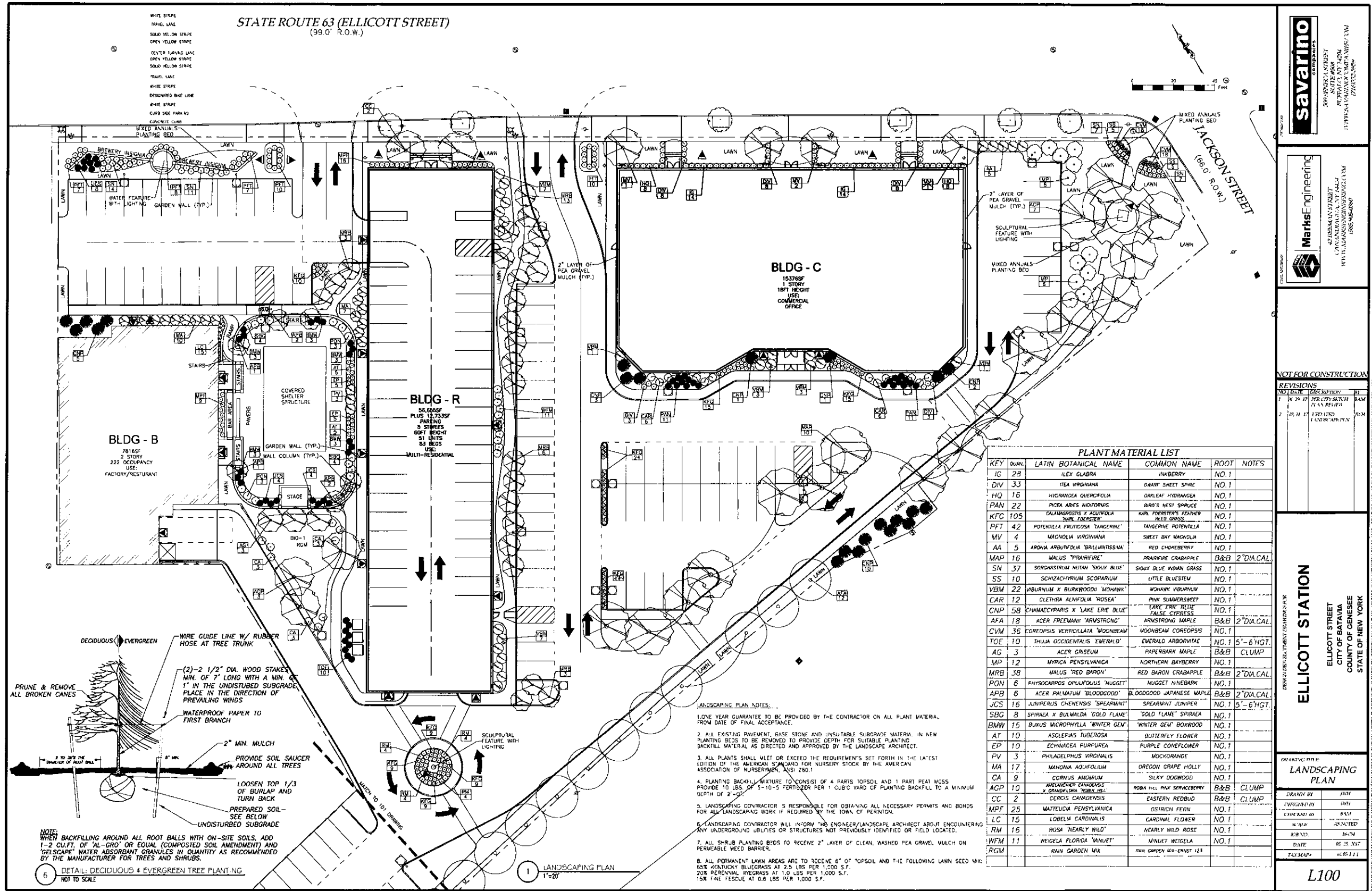
**Total = 15669 gpd**

Wastewater from brewery/restaurant will undergo pretreatment within the building prior to discharge. Grease trap(s) will be provided within the building for fixtures generating grease laden effluents. Characteristics of wastewater discharges from all buildings will be lower than the residential strength guidelines as set by the NYS DEC.









**savarino**  
COMPANIES  
599-599-5995  
SUITE 200  
1000 N. MAIN ST.  
PERINTON, OHIO 43069  
(740) 235-2000

**MarksEngineering**  
4700 N. MAIN ST.  
SUITE 200  
PERINTON, OHIO 43069  
WWW.MARKSENGINEERING.COM  
(740) 235-2000

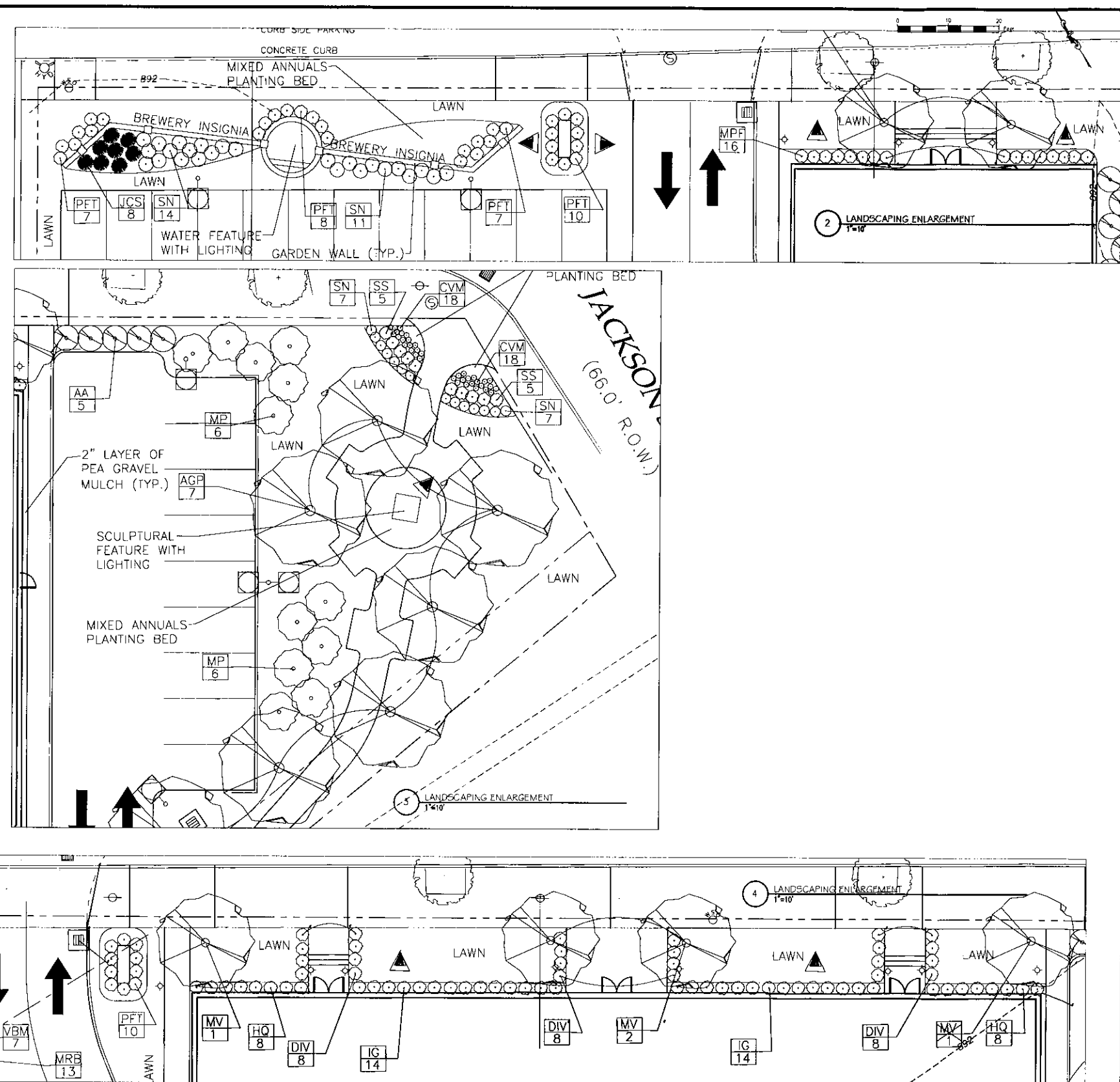
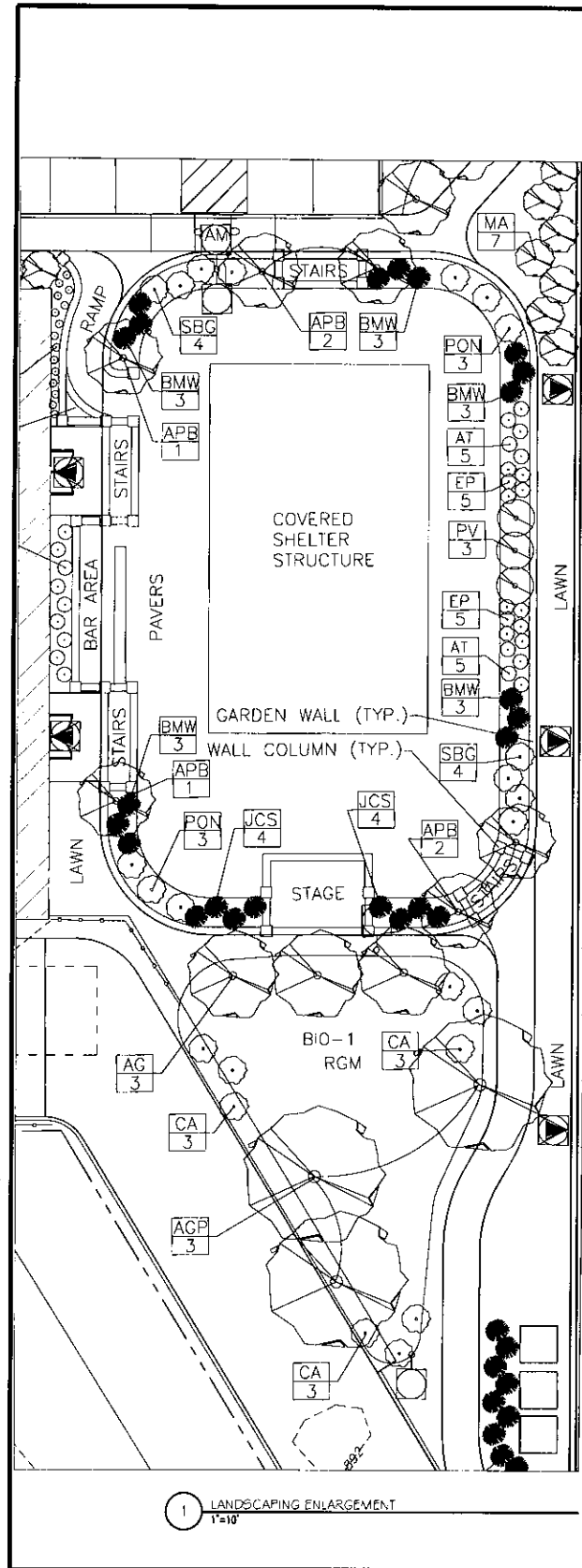
NOT FOR CONSTRUCTION

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	08/24/17	PER CITY SEAL	RAM
2	09/18/17	ESTIMATED	RAM

**ELLCOTT STATION**  
ELLCOTT STREET  
CITY OF BATAVIA  
COUNTY OF GENESSEE  
STATE OF NEW YORK

**LANDSCAPING PLAN**  
DRAWN BY: JWH  
CHECKED BY: JWH  
DATE: 08/25/2017  
TAX MAP: 6103111

L100



**savarino**  
companies

SPONSOR'S STUDY  
SHEET #508  
RUTLAND, NY 14870  
WWW.SAVARINOCOMPANIES.COM  
(716) 233-0000

**MarksEngineering**

42 HAZEN STREET  
ALBANY, NY 12204  
WWW.MARKSENGINEERING.COM  
(518) 263-0000

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	BY
1	06/24/17	PER CITY, STATE, & LOCAL AGENCIES	RAM
2	07/18/17	UPDATED LAYOUT PLAN	RAM

**ELLICOTT STATION**

ELLICOTT STREET  
CITY OF BATAVIA  
COUNTY OF GENESSEE  
STATE OF NEW YORK

DRAWING TITLE  
**LANDSCAPING PLAN**

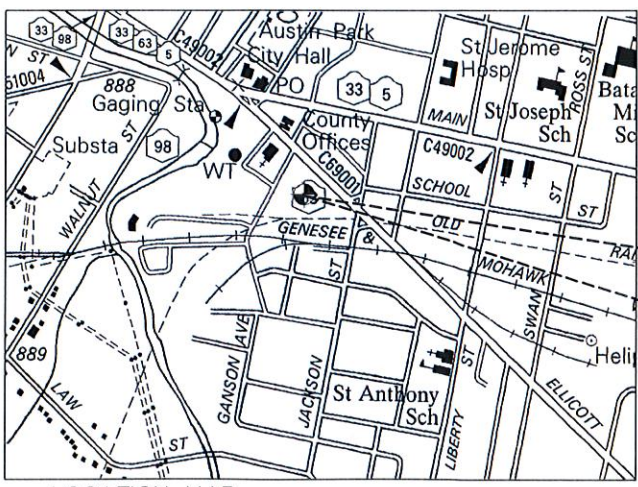
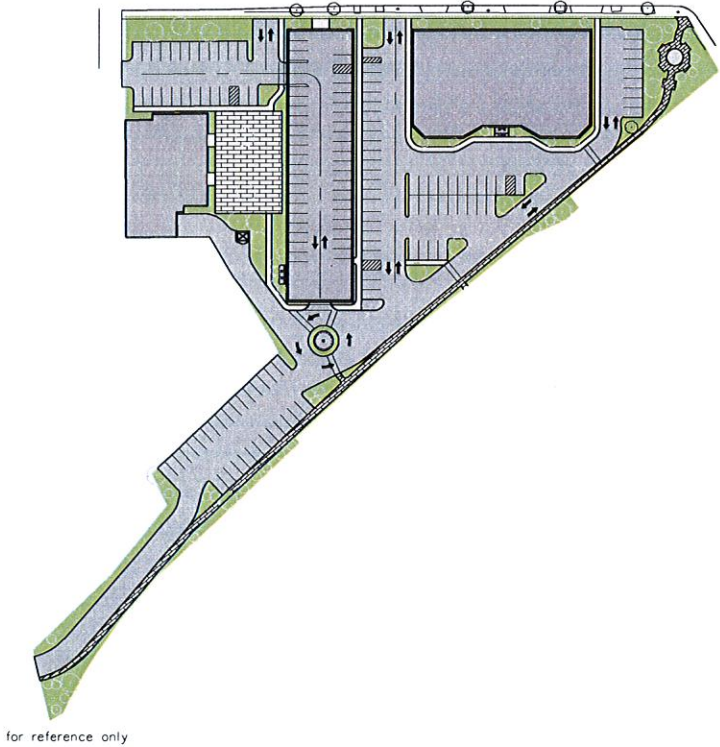
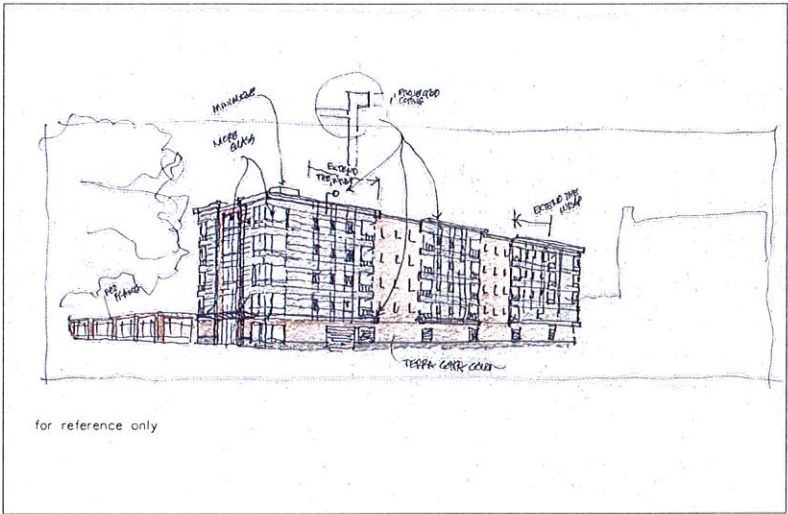
DRAWN BY	RAM
DESIGNED BY	RAM
CHECKED BY	RAM
SCALE	AS SHOWN
ACR NO	16-124
DATE	06/18/2017
TAX MAP#	62-03111

L102



# ELLICOTT STATION REDEVELOPMENT

ELLICOTT STREET  
CITY OF BATAVIA  
COUNTY OF GENESEE  
STATE OF NEW YORK  
MAY 25, 2017  
REV JUNE 29, 2017



**FLYNN|BATTAGLIA**  
617 Main Street, Suite 401  
Buffalo, New York 14203  
Telephone (716) 854-2424

**ENGINEERING BUILDING  
SYSTEMS**  
4050 Ridge Lea Rd.  
Suite C  
Buffalo, NY 14228  
Telephone (716) 836-9600

**MarksEngineering**  
42 Beeman St.  
Canandaigua, NY 14424  
Telephone (585) 329-6138

**TREDO ENGINEERS, P.C.**  
755 Seneca St.  
Suite 200  
Buffalo, NY 14210  
Telephone (716) 876-7147

**savarino**  
companies

500 Seneca St  
Suite 508  
Buffalo, NY 14204  
Telephone (716) 332-5959

MARKS ENGINEERING, P.C. IS RESPONSIBLE FOR THE DESIGN OF THIS PROJECT. BRENNAN MARKS, P.E. IS THE DESIGNER AND IS FAMILIAR WITH NYS DOT STANDARDS AND REQUIREMENTS AND SHALL BE CONTACTED AT (585-905-0360) TO RESOLVE ISSUES OR PROBLEMS DURING CONSTRUCTION. ALL REVISIONS, INCLUDING REVISIONS NECESSARY DUE TO FIELD CONDITIONS BE APPROVED BY NYS DOT.



SITE NOTES:

1. THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
2. THE CONSTRUCTION SITE WITHIN A 100 YEAR FLOODPLAIN AND SPECIAL FLOOD DISTRICT AS DELINEATED BY FEMA AND STUDIED BY THE CITY OF BATAVIA, PER FEMA FLOOD MAP # 360279-00018 DATED 09/16/1982 THE FLOOD ELEVATION OF THIS SITE IS 891.0
3. WATER SUPPLY: CITY OF BATAVIA WATER
4. SANITARY SEWER: CITY OF BATAVIA SEWER
5. BOUNDARY LINES ARE BASED OFF TAX MAP DATA & SURVEYS BY DAVID LAMENDOLA & GREG TOWNSEND 07.09.2002 & 07.07.2004.
6. TOTAL PROPERTY AREA: 3.17+/- ACRES. PROPERTY ZONED AS C-3
7. NYS SPOES PERMIT IS REQUIRED FOR THESE CONSTRUCTION ACTIVITIES. DISTURBANCE SHALL BE LESS THAN FIVE ACRES. A SWPPP HAS BEEN PREPARED IN ACCORDANCE WITH GP-0-015-002

STORM SEWER NOTES

1. ALL STORM PIPING TO BE INSTALLED AT SLOPE SPECIFIED WITH OUT SAGGING OR BOWING
2. STORM SEWER PIPING TO BE CORRUGATED SMOOTH BORE POLYETHYLENE PIPE IN ACCORDANCE WITH N.Y.S.D.O.T. ITEM 18903.97 AND AASHTO-M252 & M294. ALL STORM LINES TO BE LAMPED UPON COMPLETION.
3. FLARED END SECTIONS SHALL BE INSTALLED ON ALL EXPOSED PIPE ENDS IN ACCORDANCE WITH NYSOT STANDARD SHEET M603-3.
4. LINING MATERIALS AND SPECIAL BACKFILL TO BE R.O.B. OR R.O.C. MATERIAL (N.Y.S.D.O.T. SECTION 304-2.02 TYPE 4), MEETING THE FOLLOWING GRADATIONS:

SIEVE SIZE	PERCENT PASSING
100	100
1/4"	30-50
NO. 40	5-40
NO. 200	0-10
6. RIP-RAP SHALL BE UNIFORMLY HARD, DURABLE, AND ANGULAR FIELD OR QUARRIED LIMESTONE WITH A MINIMUM DENSITY OF 150 LB/CF. THE RATIO OF THE MINIMUM DIMENSION TO THE MAXIMUM DIMENSION OF EACH PIECE TO BE AT LEAST 0.6. RIP-RAP SHALL BE COMPOSED OF A WELL GRADED MIXTURE OF PRIMARILY LARGER STONE SIZES WITH A SUFFICIENT MIXTURE OF SMALLER SIZES TO FILL THE VOIDS. UNLESS OTHERWISE NOTED IN THESE PLANS, SUPPLEMENTAL SPECIFICATIONS, OR UNLESS OTHERWISE DIRECTED, RIP-RAP SIZES SHALL BE AS FOLLOWS:

MAX. DIMENSION OF STONE	% OF MIX BY WEIGHT
18-24"	20
12-18"	50
8-12"	20
4-8"	10
7. RIP-RAP SHOULD BE HAND-CHINKED FOR STABILITY. RIP-RAP APRONS AT PIPE ENDS TO BE 15'+0 WIDE x 15' LONG, U.N.O..

WATER MAIN TESTING AND DISINFECTION NOTES:

1. WATER FOR TESTING AND FLUSHING SHALL BE OBTAINED FROM EXISTING WATER SYSTEM. ARRANGEMENTS SHALL BE MADE WITH THE WATER DEPARTMENT FOR PAYMENT OF WATER USED.
2. FLUSH MAINS AND SERVICES BEFORE TESTING. MINIMUM FLUSHING VELOCITY SHALL BE 2.5 FEET PER SECOND.
3. BEFORE TESTING, SECTIONS ADJACENT TO THE TEST SECTION SHALL BE FILLED WITH WATER. THE CONTRACTOR SHALL FURNISH ALL WATER, EQUIPMENT, CONNECTIONS, PIPING, METERS, MEASURING DEVICES, PUMPS, AND TEMPORARY ENCLOSURES NECESSARY TO PERFORM THE REQUIRED TESTS.
4. TESTING SHALL MEET THE REQUIREMENTS OF SECTION 02675 OF THE SPECIFICATIONS. ALL PRESSURE TESTS MUST BE WITNESSED BY A TOWN OF BATAVIA DPW REPRESENTATIVE.
5. THE CONTRACTOR SHALL NOT INSTALL CORPORATION STOPS FOR THE SERVICES UNTIL THE WATER MAIN HAS PASSED THE PRESSURE TEST, HAS PASSED ALL HEALTH SAMPLE TESTING, ALL SAMPLE DISINFECTION CORPORATIONS HAVE BEEN REMOVED AND PLUGGED, THE WATER MAIN HAS BEEN PLACED IN SERVICE BY THE WATER AUTHORITY AND THE CONTRACTOR HAS RECEIVED APPROVAL TO INSTALL THE SERVICES FROM THE OWNER/ENGINEER. THE OWNER/ENGINEER WILL PROVIDE THE CONTRACTOR A LISTING OF PROPERTIES THAT HAVE BEEN APPROVED FOR WATER SERVICE INSTALLATION.
6. ANY PUMP, PIPE, CONNECTIONS, GAUGES, AND MEASURING DEVICES SHALL BE CALIBRATED TO THE SATISFACTION OF THE ENGINEER.
7. ALL WATER MAINS AND APPURTENANCES SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C 651 DISINFECTING WATER MAINS, ITEM 5.1 DELETED, AND THE REQUIREMENTS OF NYS DEPARTMENT OF HEALTH, USING THE CONTINUOUS FEED METHOD. THE REQUIREMENTS OF NYS DEPARTMENT OF HEALTH SHALL GOVERN WHEN THERE IS A CONFLICT. USE 50 PPM INITIAL CHLORINE DOSE. DISINFECTANT SHALL REMAIN IN THE SYSTEM FOR A PERIOD OF 24 HOURS AFTER WHICH THE RESIDUAL SHALL BE AT LEAST 25 PPM. FOLLOWING DISINFECTION, ALL TREATED WATER SHALL BE THOROUGHLY FLUSHED FROM THE MAIN.
8. WATER USED FOR DISINFECTING THE WATER MAINS, IF DISCHARGED TO THE STREAMS, MUST HAVE A CHLORINE RESIDUAL NOT EXCEEDING 0.05 mg/l AT THE POINT OF DISCHARGE. THE CONTRACTOR IS RESPONSIBLE TO ATTAIN THIS CHLORINE RESIDUAL LEVEL BY WHATEVER MEANS NECESSARY, AT NO COST TO THE OWNER.
9. THE INTERIORS OF ALL APPURTENANCES AND SECTIONS OF WATER MAIN THAT CANNOT NORMALLY BE DISINFECTED SHALL BE SWABBED BY THE CONTRACTOR, TO THE SATISFACTION OF THE ENGINEER, WITH A CONCENTRATED CHLORINE SOLUTION CONTAINING NO LESS THAN 200 PPM OF FREE CHLORINE. THE CONTRACTOR SHALL ALSO DISINFECT ALL EXISTING WATER LINES AND APPURTENANCES WHICH WERE BROKEN, DAMAGED, CONTAMINATED, OR SUSPECTED OF BEING CONTAMINATED AS A RESULT OF WORK DONE WITH THIS PROJECT.
10. WATER SAMPLES SHALL BE COLLECTED BY THE CONTRACTOR AND ANALYZED BY A NEW YORK STATE DEPARTMENT OF HEALTH APPROVED TESTING LABORATORY FOR BACTERIOLOGICAL CONTENT. A MINIMUM OF ONE SAMPLE PER 1000 FEET OF NEW WATER MAIN AND ONE FOR EACH SIDE STREET SHALL BE COLLECTED AND ANALYZED. LOCATION OF SAMPLING TAP AS APPROVED BY THE ENGINEER AND O.C.D.O.H. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING DEVICES. THE CONTRACTOR SHALL COORDINATE WITH THE GENESEE COUNTY HEALTH DEPARTMENT

SANITARY SEWER NOTES

- APPLICATION DETAILS AND NOTES PERTAIN TO THIS PROJECT UNLESS OTHERWISE NOTED
1. SANITARY SEWER FORCE MAIN PIPE SHALL BE 1 1/2" OR 2 1/2", SDR-18 OR SCHEDULE 40 PVC WITH RUBBER RING GASKETS.
  2. SANITARY SEWER SERVICE TO THE BUILDING TO BE 1 1/4" SDR-18 OR SCHEDULE 40 PVC WITH RUBBER RING GASKETS.
  3. HYDROSTATIC PRESSURE TESTS TO BE PERFORMED ON THE FORCE MAIN IN ACCORDANCE WITH ASTM D1598-02.
  4. SANITARY SEWERS SHALL BE TESTED AFTER THE INSTALLATION OF THE WATER MAINS AND SERVICES.
  5. ALL SANITARY SEWER STRUCTURES, TEMPORARY STUBBED ENDS AND LATERAL ENDS SHALL BE MARKED WITH 2"x4"s EXTENDING 3' ABOVE FINISHED GRADE WITH TOPS PAINTED GREEN.
  6. SANITARY SEWER LATERAL LOCATIONS TO BE PROVIDED BY ENGINEER PRIOR TO CONSTRUCTION.
  7. CONTRACTOR SHALL RECORD AND PROVIDE ENGINEER WITH AS BUILT LOCATIONS AND DEPTHS OF ALL SANITARY SEWER LATERAL ENDS.
  8. ALL BACKFILL MATERIALS IN AREAS UNDER PROPOSED PAVEMENT TO BE LIMESTONE R.O.C. COMPACTED TO 95% OF STANDARD PROCTOR DENSITY VALUE.
  9. LINING MATERIAL FOR PIPE TO BE R.O.C. MEETING THE FOLLOWING GRADATION:

% PASSING	SIEVE SIZE
100	1-1/2"
50-60	1/4"
0-10	#200
  10. ALL FORCE MAIN MANHOLES SHALL BE 5' DIAMETER PRECAST CONCRETE WITH H-20 LOADING. SEE DETAILS 1 AND 2, THIS SHEET.
  11. SANITARY SEWERS TO BE AIR TESTED AFTER THE INSTALLATION OF WATER FACILITIES.

Standard NYSDOT General Plan Notes

1. ROAD TO BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES.
2. ROADSIDE DRAINAGE TO BE MAINTAINED AT ALL TIMES.
3. MATERIALS, EQUIPMENT AND VEHICLES ARE NOT TO BE STORED OR PARKED WITHIN THE NEW YORK STATE RIGHT-OF-WAY.
4. MAINTENANCE AND PROTECTION OF TRAFFIC MUST COMPLY WITH THE CURRENT NATIONAL MUTCD WITH NYS SUPPLEMENT, SECTION E10. OF THE CURRENT NYSDOT STANDARD SPECIFICATIONS, THESE PLANS AND AS ORDERED BY THE ASSISTANT RESIDENT ENGINEER ON A NYSDOT CONSTRUCTION PROJECT. MAINTENANCE AND PROTECTION OF TRAFFIC MUST COMPLY WITH THESE PLANS AND BE IN ACCORDANCE WITH THE NYSDOT CONTRACT DOCUMENTS AS DEEMED NECESSARY BY THE NYS ENGINEER-IN-CHARGE.
5. NOTIFY THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION'S ASSISTANT RESIDENT ENGINEER AT THE APPROPRIATE NUMBER, AS NOTED BELOW, THREE (3) WORK DAYS PRIOR TO WORKING WITHIN THE STATE RIGHT-OF-WAY.

GENESEE CO. - DAN STANLEY (585) 343-0502  
MONROE CO. - WEST OF GENESEE RIVER MARK ELLSWORTH (585) 352-3471  
MONROE CO. - EAST OF GENESEE RIVER ALISON MCNAMARA (585) 586-4514  
ONTARIO CO. - GREG TROST (585) 396-4955  
WAYNE CO. - JEFF JONES (315) 332-4000  
UNIONSTON CO. - ADAM KISIAH (585) 348-3036  
ORLEANS CO. - KEVIN KEISER (585) 589-6555  
WYOMING CO. - KEN BITTNER (585) 786-3310

- THE PERMITTEE IS ADVISED THAT THE NYSDOT IS NOW REVIEWING ALL LANE CLOSURES ON THE PRIORITY NETWORK FOR IMPACT ON TRAFFIC OPERATIONS IN REAL-TIME. THE PRIORITY NETWORK CONSISTS OF INTERSTATES 390, 490 AND 590 AND STATE ROUTES 390, 590, 104 (FROM NY 390 TO WAYNE COUNTY), US20, NY 63 (FROM STEUBEN COUNTY TO I 90) AND NY 77 IN GENESEE COUNTY. THE CLOSURE WILL BE EVALUATED IN THE LIGHT OF WHAT IS HAPPENING AT THAT TIME ON THE HIGHWAY. INCIDENTS, CONFLICTING WORK ZONES OR OTHER UNPLANNED EVENTS THAT RENDER THE HIGHWAY UNAVAILABLE FOR THE CLOSURE MAY RESULT IN A SHORT-TERM DISAPPROVAL OF THE CLOSURE UNTIL THE SITUATION HAS BEEN RESOLVED. EVALUATION PROCEDURES ARE AVAILABLE FOR REVIEW AT THE REGIONAL TRAFFIC OPERATIONS CENTER, 1155 SCOTTSVILLE ROAD, ROCHESTER, NY. NOTIFY THE NYSDOT SIGNAL MAINTENANCE FACILITY AT (585) 753-7790 5 DAYS PRIOR TO WORKING WITHIN 350' OF A SIGNALIZED INTERSECTION. NOTIFY DIG SAFELY NEW YORK 2 WORK DAYS PRIOR TO DIGGING, DRILLING OR BLASTING AT 811 FOR A UTILITY STAKE-OUT.
6. ALL MATERIALS USED WITHIN THE STATE RIGHT-OF-WAY MUST COMPLY WITH THE CURRENT NEW YORK STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS ALONG WITH ANY APPROPRIATE CURRENT NYS DEPARTMENT OF TRANSPORTATION STANDARD SHEETS.
  7. QUALITY CONTROL OF ASPHALT CONCRETE SHALL MEET THE REQUIREMENTS OF SECTION 401 OF THE STANDARD SPECIFICATIONS. ALL ASPHALT PRODUCED AS PART OF SECTION 401 WILL BE PAID AT A FINAL QUANTITY ADJUSTMENT FACTOR OF 1.0. ASPHALT COURSE DEPTHS SHOWN ON THE PLANS ARE COMPACTED DEPTHS.
  8. NO NIGHT WORK SHALL BE ALLOWED UNLESS APPROVED PRIOR TO START OF PROJECT. ADDITIONAL MAINTENANCE AND PROTECTION OF TRAFFIC MAY BE REQUIRED INCLUDING THE ADDITION OF REFLECTIVE MATERIALS AND LIGHTING.
  9. HAZARDOUS WASTE NOTIFICATION - THE PERMITTEE ACCEPTS THE RIGHT-OF-WAY OF THE STATE HIGHWAY IN ITS "AS IS" CONDITION. THE DEPARTMENT OF TRANSPORTATION MAKES NO REPRESENTATION AS TO THE ABSENCE OF UNDERGROUND TANKS, STRUCTURES, FEATURES OR SIMILAR IMPEDIMENTS TO THE COMPLETION OF THE WORK PERMITTED HEREUNDER. SHOULD PERMITTEE FIND SOME PREVIOUSLY UNKNOWN UNDERGROUND IMPEDIMENTS TO ITS WORK, THE DEPARTMENT OF TRANSPORTATION SHALL HAVE NO OBLIGATION TO CURE, REMOVE, REMEDY OR OTHERWISE DEAL WITH SUCH PREVIOUSLY UNKNOWN UNDERGROUND IMPEDIMENTS. THE PERMITTEE IS REQUIRED TO REMOVE, MODIFY OR OTHERWISE DEAL WITH SUCH UNDERGROUND TANKS, STRUCTURES, FEATURES OR IMPEDIMENTS IN A MANNER WHICH MEETS ACCEPTABLE ENGINEERING PRACTICE AND IS APPROVED BY THE DEPARTMENT OF TRANSPORTATION.
  11. ADA COMPLIANCE- ALL WORK ON PEDESTRIAN FACILITIES SHALL BE COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT (ADA).

SPECIAL NOTES

1. TEMPORARY LANE CLOSURE RESTRICTIONS FOR MAJOR HOLIDAYS (2015,2016 & 2017)

There shall be no temporary lane closures on roadway facilities owned and/or maintained by NYSDOT on the major holidays listed below.

Exceptions can only be made under the following conditions:  
Emergency work

Work within long-term stationary lane closures

Safety work that does not adversely impact traffic mobility and has been authorized by the Office of Traffic Safety & Mobility

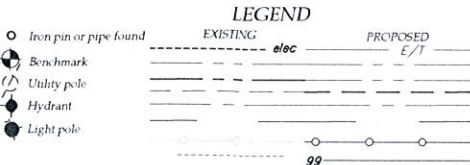
Construction activities that will result in temporary lane closures shall be suspended to minimize travel delays associated with road work for major holidays as follows:

2016  
NeW Years Day - Friday January 1. Beginning 6:00 AM Thursday, December 31 and ending 6:00 AM Monday, January 4.  
Memorial Day - Monday May 30. Beginning 6:00 AM Friday, May 27 and ending 6:00 AM Tuesday, May 31.  
Independence Day - Monday July 4. Beginning 6:00 AM Friday, July 1 and ending 6:00 AM Tuesday, July 5.  
Labor Day - Monday, September 5. Beginning 6:00 AM Friday, September 2 and ending 6:00 AM Tuesday, September 6.  
Thanksgiving Day - Thursday, November 24. Beginning 6:00 AM Wednesday, November 23 and ending 6:00 AM Monday, November 28.  
Christmas Day - Sunday, December 25. Beginning 6:00 AM Friday, December 23 and ending 6:00 AM Monday, December 26.

2017  
NeW Years Day - Sunday January 1. Beginning 6:00 AM Friday, December 30 and ending 6:00 AM Monday, January 2.  
Memorial Day - Monday May 29. Beginning 6:00 AM Friday, May 26 and ending 6:00 AM Tuesday, May 30.  
Independence Day - Tuesday July 4. Beginning 6:00 AM Friday, June 30 and ending 6:00 AM Wednesday, July 5.  
Labor Day - Monday, September 4. Beginning 6:00 AM Friday, September 1 and ending 6:00 AM Tuesday, September 5.  
Thanksgiving Day - Thursday, November 23. Beginning 6:00 AM Wednesday, November 22 and ending 6:00 AM Monday, November 27.  
Christmas Day - Monday, December 25. Beginning 6:00 AM Friday, December 22 and ending 6:00 AM Tuesday, December 26.

2. LANE CLOSURE RESTRICTIONS FOR TYPICAL WEEKDAYS Unless Specified Otherwise

Travel lanes shall remain open from 6:00 AM to 9:00 AM and from 3:00 PM to 6:00 PM  
Rev. 11/2015



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NOT FOR CONSTRUCTION

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	06/29/17	PER CITY SKETCH PLAN REVIEW	BAM

ELLICOTT STATION

ELLICOTT STREET  
CITY OF BATAVIA  
COUNTY OF GENESEE  
STATE OF NEW YORK

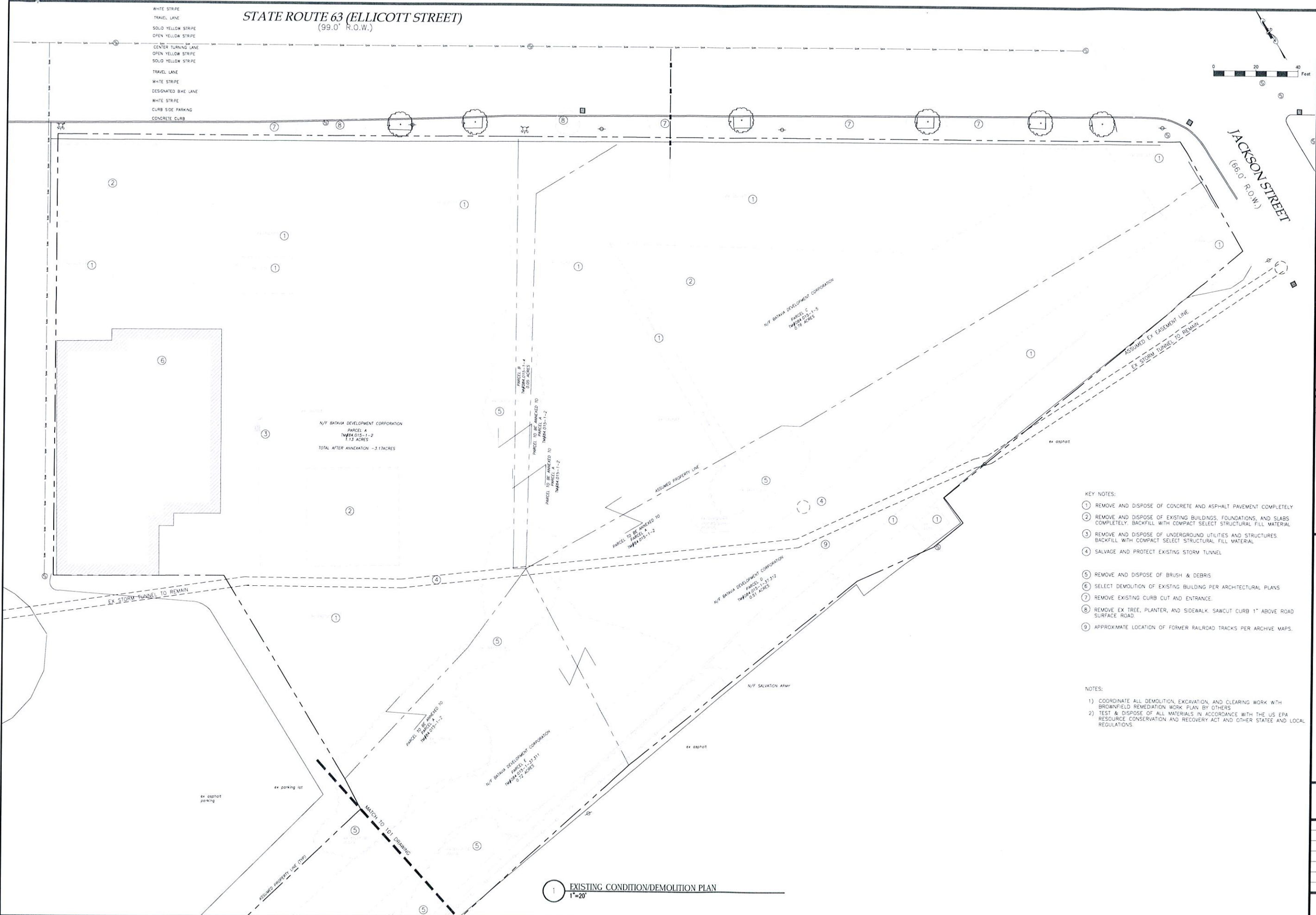
DRAWING TITLE:


GENERAL NOTES

DRAWN BY:	DRW
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	17-027
DATE:	05/25/2017
TAX MAP#:	61-03-1-11

C001









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**NOT FOR CONSTRUCTION**

REV.	DATE	DESCRIPTION	BY
1	06/29/17	PER CITY SKETCH PLAN REVIEW	BAM

**ELLICOTT STATION**

ELLICOTT STREET  
CITY OF BATAVA  
COUNTY OF GENESEE  
STATE OF NEW YORK

DRAWING TITLE:

**EXISTING CONDITIONS**

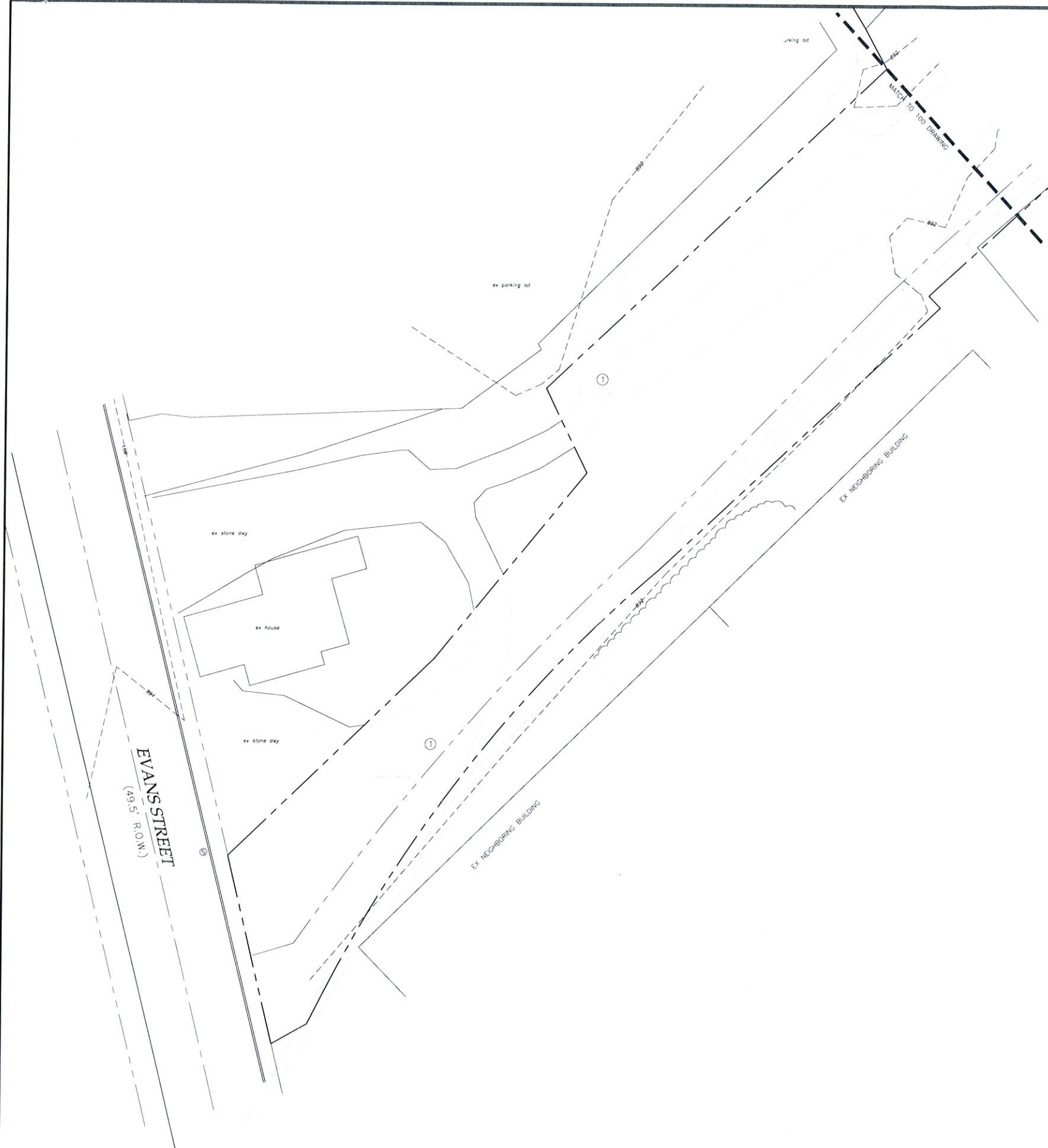
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TAX MAP#:	61.03-1-11

**EX100**

- KEY NOTES:
- 1 REMOVE AND DISPOSE OF CONCRETE AND ASPHALT PAVEMENT COMPLETELY
  - 2 REMOVE AND DISPOSE OF EXISTING BUILDINGS, FOUNDATIONS, AND SLABS COMPLETELY. BACKFILL WITH COMPACT SELECT STRUCTURAL FILL MATERIAL
  - 3 REMOVE AND DISPOSE OF UNDERGROUND UTILITIES AND STRUCTURES. BACKFILL WITH COMPACT SELECT STRUCTURAL FILL MATERIAL
  - 4 SALVAGE AND PROTECT EXISTING STORM TUNNEL
  - 5 REMOVE AND DISPOSE OF BRUSH & DEBRIS
  - 6 SELECT DEMOLITION OF EXISTING BUILDING PER ARCHITECTURAL PLANS
  - 7 REMOVE EXISTING CURB CUT AND ENTRANCE
  - 8 REMOVE EX TREE, PLANTER, AND SIDEWALK. SAWCUT CURB 1" ABOVE ROAD SURFACE ROAD.
  - 9 APPROXIMATE LOCATION OF FORMER RAILROAD TRACKS PER ARCHIVE MAPS.
- NOTES:
- 1) COORDINATE ALL DEMOLITION, EXCAVATION, AND CLEARING WORK WITH BROWNFIELD REMEDIATION WORK PLAN BY OTHERS
  - 2) TEST & DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH THE US EPA RESOURCE CONSERVATION AND RECOVERY ACT AND OTHER STATE AND LOCAL REGULATIONS.

1 EXISTING CONDITION/DEMOLITION PLAN  
1"=20'

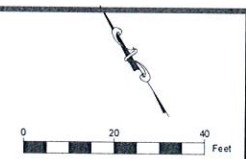




1 EXISTING CONDITION/DEMOLITION PLAN  
1"=20'

- KEY NOTES:
- 1) REMOVE AND DISPOSE OF CONCRETE AND ASPHALT PAVEMENT COMPLETELY
  - 2) REMOVE AND DISPOSE OF EXISTING BUILDINGS, FOUNDATIONS, AND SLABS COMPLETELY. BACKFILL WITH COMPACT SELECT STRUCTURAL FILL MATERIAL
  - 3) REMOVE AND DISPOSE OF UNDERGROUND UTILITIES AND STRUCTURES. BACKFILL WITH COMPACT SELECT STRUCTURAL FILL MATERIAL
  - 4) PROTECT EXISTING STORM TUNNEL
  - 5) REMOVE AND DISPOSE OF BRUSH & DEBRIS
  - 6) SELECT DEMOLITION OF EXISTING BUILDING PER ARCHITECTURAL PLANS
  - 7) REMOVE EXISTING CURB CUT AND ENTRANCE
  - 8) REMOVE EX TREE, PLANTER, AND SIDEWALK. SAWCUT CURB FLUSH WITH ROAD.

- NOTES:
- 1) COORDINATE ALL DEMOLITION, EXCAVATION, AND CLEARING WORK WITH BROWNFIELD REMEDIATION WORK PLAN BY OTHERS
  - 2) TEST & DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH THE US EPA RESOURCE CONSERVATION AND RECOVERY ACT AND OTHER STATE AND LOCAL REGULATIONS.



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REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	06/29/17	PER CITY SKETCH PLAN REVIEW	RAM

**ELLICOTT STATION**  
ELLICOTT STREET  
CITY OF BATAVIA  
COUNTY OF GENESEE  
STATE OF NEW YORK

DRAWING TITLE:	
EXISTING CONDITIONS	
DRAWN BY:	DRW
DESIGNED BY:	RAM
CHECKED BY:	RAM
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TAX MAP#:	61 03-1-11

EX101



WHITE STRIPE  
TRAVEL LANE  
SOLID YELLOW STRIPE  
OPEN YELLOW STRIPE  
CENTER TURNING LANE  
OPEN YELLOW STRIPE  
SOLID YELLOW STRIPE  
TRAVEL LANE  
WHITE STRIPE  
DESIGNATED BIKE LANE  
WHITE STRIPE  
CURB SIDE PARKING  
CONCRETE CURB



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REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	06/29/17	PER CITY SKTCH PLAN REVIEW	RAM

- PERSONNELLEMENT / DRAWINGS: P. WIE  
**ELLICOTT STATION**  
ELLICOTT STREET  
CITY OF BATAVIA  
COUNTY OF GENESEE  
STATE OF NEW YORK

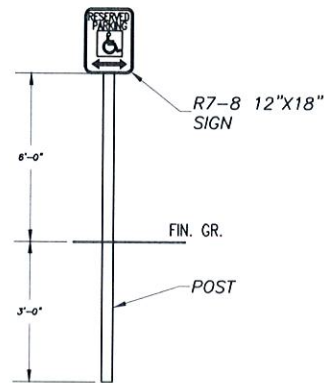
DRAWN BY:	DRIV
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	17-027
DATE:	05/25/2017
TAX MAP#:	61 03-1-11

CITY ENGINEER

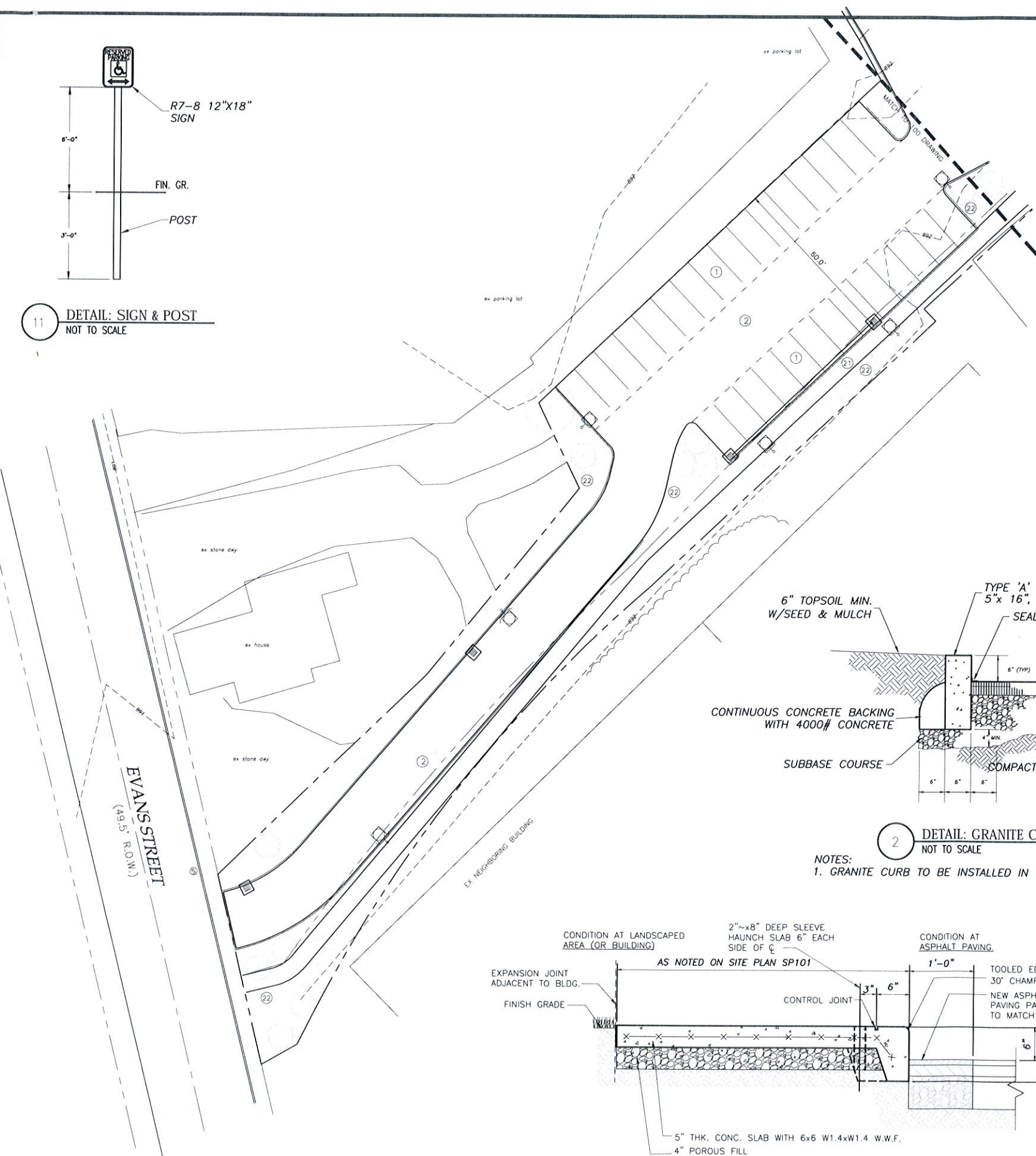
2	- PARKING COUNT
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MARKS ENGINEERING, P.C. IS RESPONSIBLE FOR THE DESIGN OF THIS PROJECT. BRENNAN MARKS, P.E. IS THE DESIGNER AND IS FAMILIAR WITH NYSDOT STANDARDS AND REQUIREMENTS AND SHALL BE CONTACTED AT (585-905-0360) TO RESOLVE ISSUES OR PROBLEMS DURING CONSTRUCTION. ALL REVISIONS, INCLUDING REVISIONS NECESSARY DUE TO FIELD CONDITIONS BE APPROVED BY NYSDOT.

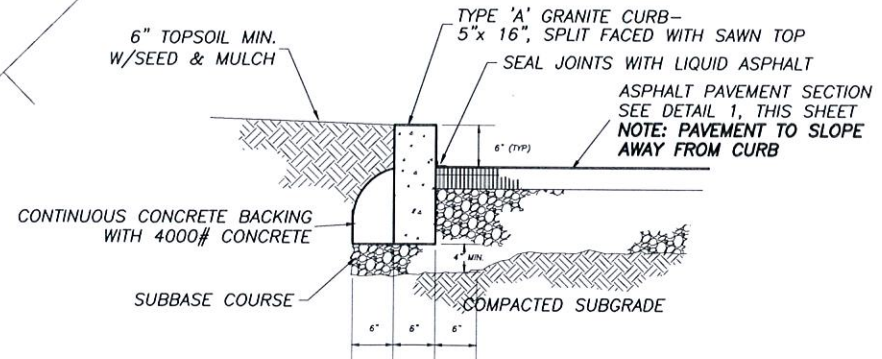




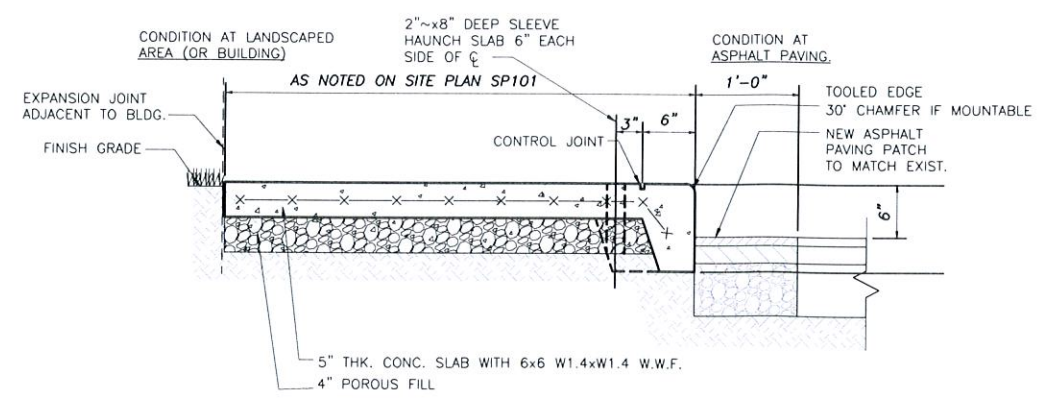
11 DETAIL: SIGN & POST  
NOT TO SCALE



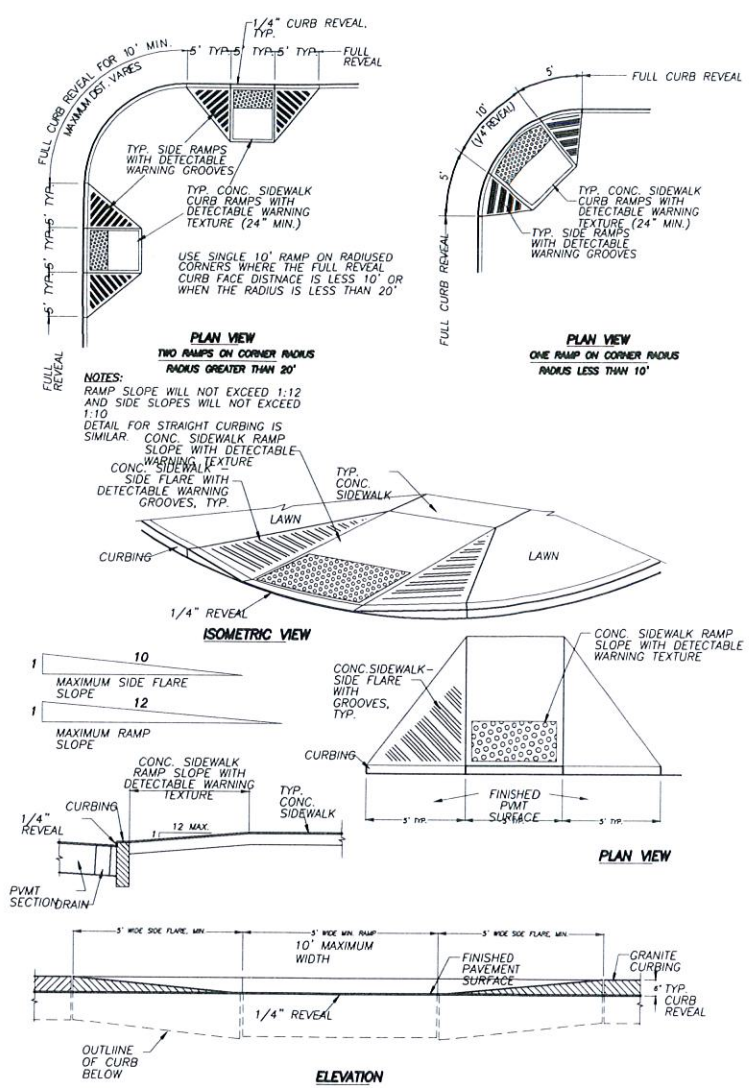
1 SITE PLAN  
1"=20'



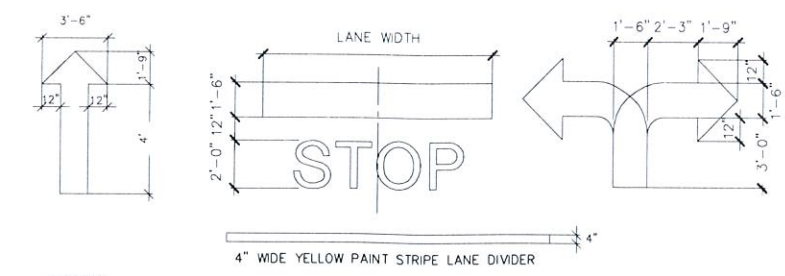
2 DETAIL: GRANITE CURB  
NOT TO SCALE



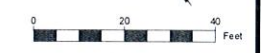
3 CONCRETE SIDEWALK DETAIL  
NOT TO SCALE



3 CONCRETE SIDEWALK CURB RAMP  
NOT TO SCALE



14 PAVEMENT MARKINGS  
NOT TO SCALE



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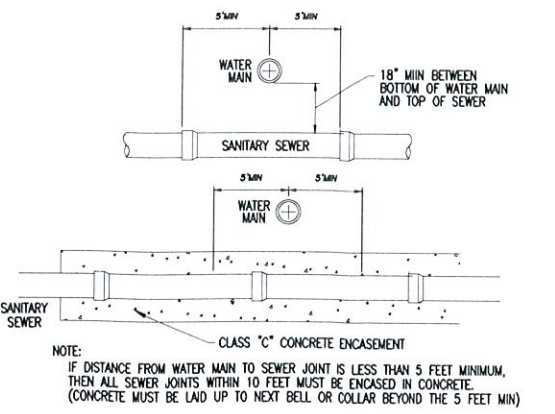
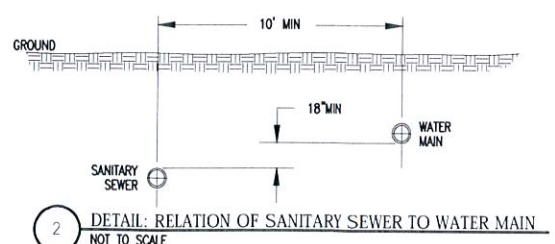
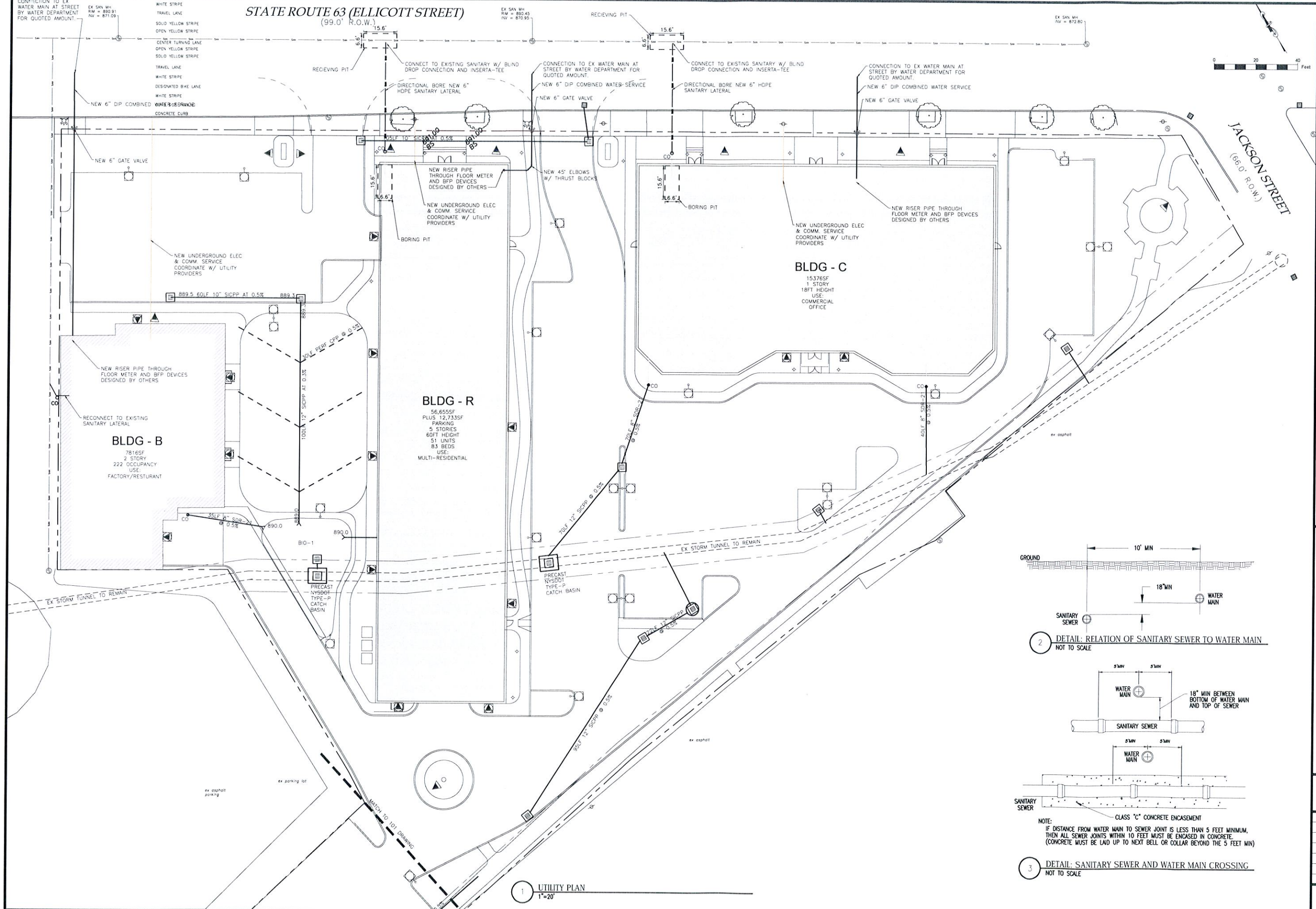
REVISIONS		
NO.	DATE	DESCRIPTION
1	06/29/17	PER CITY SKETCH PLAN REVIEW

**ELLCOTT STATION**  
ELLICOTT STREET  
CITY OF BATAVIA  
COUNTY OF GENESEE  
STATE OF NEW YORK

DRAWING TITLE:	
SITE PLAN	
DRAWN BY:	DRW
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	17-027
DATE:	05/23/2017
TAX MAP#:	61.03-1-11

C101





1 UTILITY PLAN  
1"=20'

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(516)405-0340



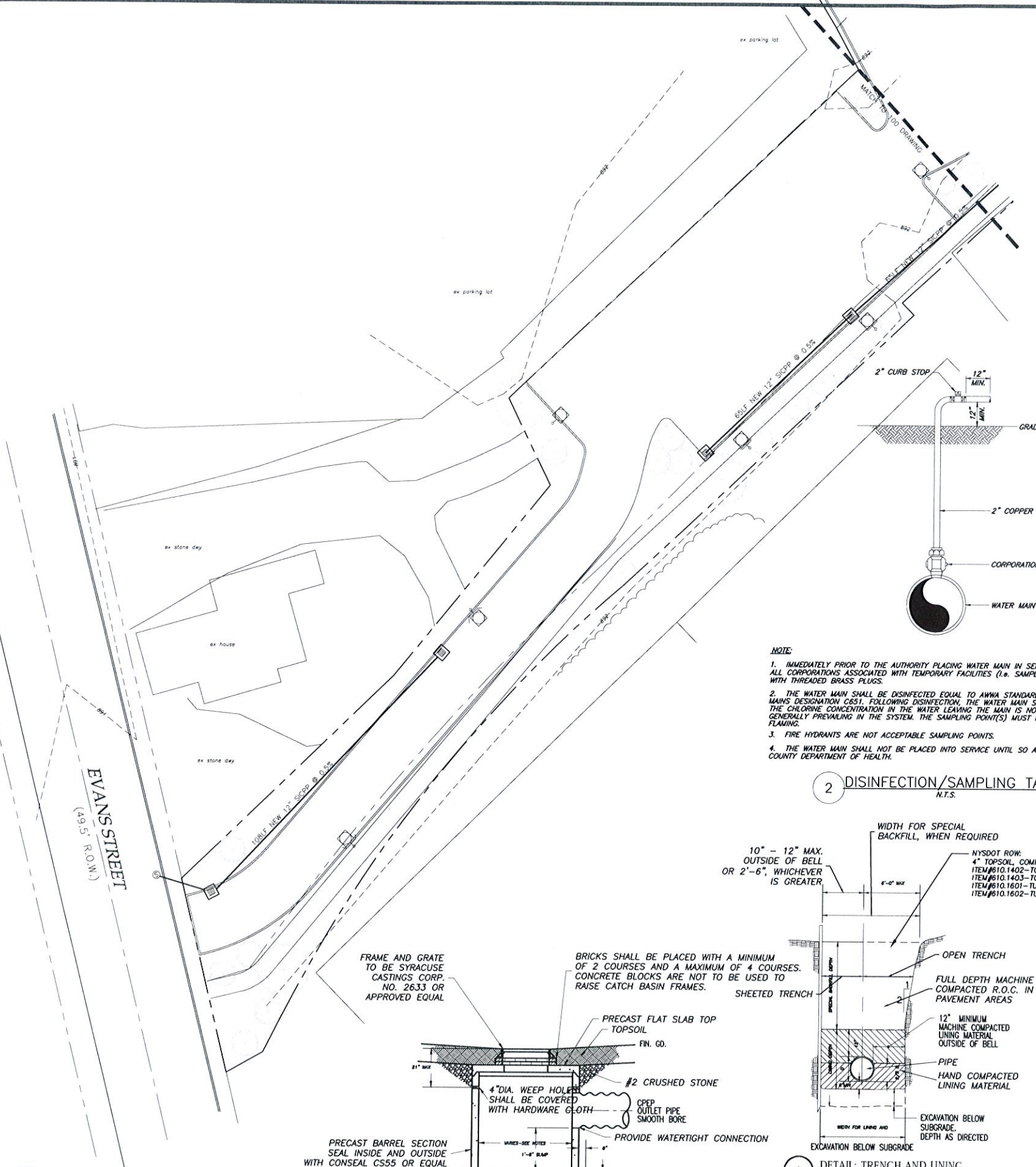
REVISIONS		
NO.	DATE	DESCRIPTION
1	06/29/17	PER CITY S&R H PLAN REVIEW

**ELLICOTT STATION**  
ELLICOTT STREET  
CITY OF BATAVIA  
COUNTY OF GENESEE  
STATE OF NEW YORK

DRAWING TITLE:	
UTILITY PLAN	
DRAWN BY:	DRW
DESIGNED BY:	RAM
CHECKED BY:	RAM
SCALE:	AS NOTED
JOB NO.:	17-027
DATE:	05/15/2017
TAX MAP#:	61.03.1.1.1

C200





1 UTILITY PLAN  
1"=20'

3 DETAIL: PRECAST CONCRETE CATCH BASIN  
NOT TO SCALE

4 DETAIL: TRENCH AND LINING  
NOT TO SCALE

- NOTE: THIS DETAIL APPLIES TO ALL UTILITIES.
- NYSDOT NOTES:
1. BACKFILL OF SUITABLE MATERIALS SHALL BE COMPACTED IN MAXIMUM 6" LIFTS
  2. ALL DISTURBED AREAS SHALL BE SEED AND MULCHED OR HAVE TURF ESTABLISHED WITHIN 10 DAYS
  3. ALL WORK SHALL CONFORM TO NYSDOT SPECIFICATIONS

5 DETAIL: WATERLINE THRUST BLOCKS  
NOT TO SCALE

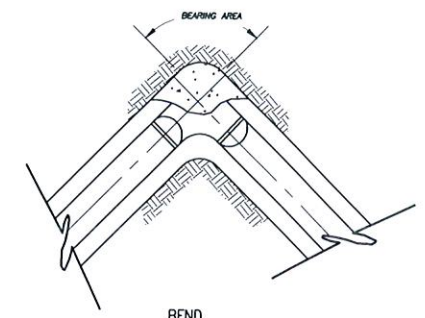
FRAME AND GRATE TO BE SYRACUSE CASTINGS CORP. PATTERN NO. 3021 OR APPROVED EQUAL

OR

FRAME AND COVER (SOLID LID) TO BE SENECA CASTINGS CORP. PATTERN 1030 OR NEENAH FOUNDRY CO. R-1642 OR APPROVED ALTERNATIVE. LETTERING ON COVER TO READ: "STORM SEWER"

6 DETAIL: STANDARD PRECAST STORM MANHOLE  
NOT TO SCALE

NOTE: PRECAST CONCRETE UNITS SHALL MEET H-20 LOADING REQUIREMENTS.



THRUST BLOCK SCHEDULE

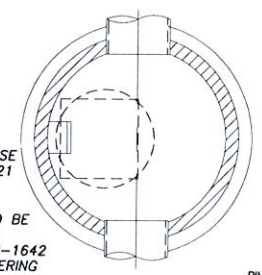
A (IN.)	TEES (S.F.)	A (IN.)	DEADENDS (S.F.)	11-1/4 DEG. BEND (S.F.)	22-1/2 DEG. BEND (S.F.)	45 DEG. BEND (S.F.)	90 DEG. BEND (S.F.)
8	1.6	8	1.6	0.4	0.7	1.2	
13	4.5	16	6.0	0.8	1.5	2.5	
16	7.0	18	9.0	1.3	2.5	4.8	
19	10.0	23	14.5	2.0	3.9	7.6	
23	14.5	27	20.0	2.8	5.6	10.9	

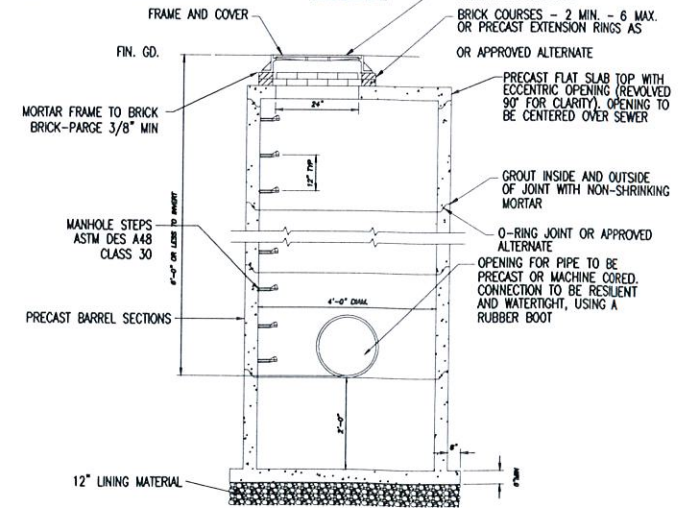
ALLOWABLE SOIL BEARING PRESSURE	MULTIPLIER
1000	2.00
1500	1.33
2000	1.00
3000	0.67

DETAIL NOTES:

1. ALL BLOCKS MUST BEAR AGAINST UNDISTURBED EARTH OR COMPACTED FILL.
2. ARROWS INDICATE DIRECTION OF THRUST
3. ALL FITTINGS SHOWN IN PLAN.
4. CONCRETE COMPRESSIVE STRENGTH SHALL BE MIN. 3000 PSI @ 28 DAYS.
5. PLACE DOUBLE LAYER OF TAR PAPER BETWEEN CONCRETE BLOCKING

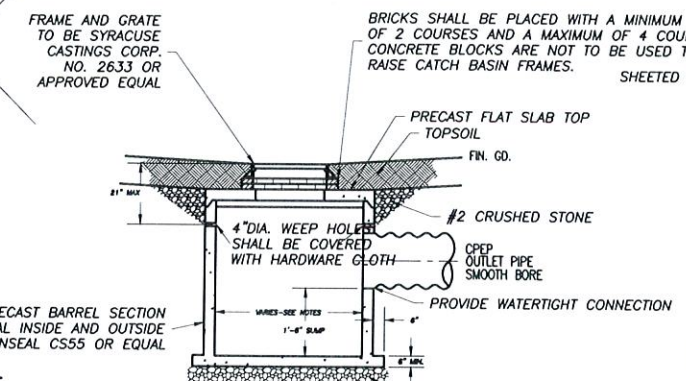
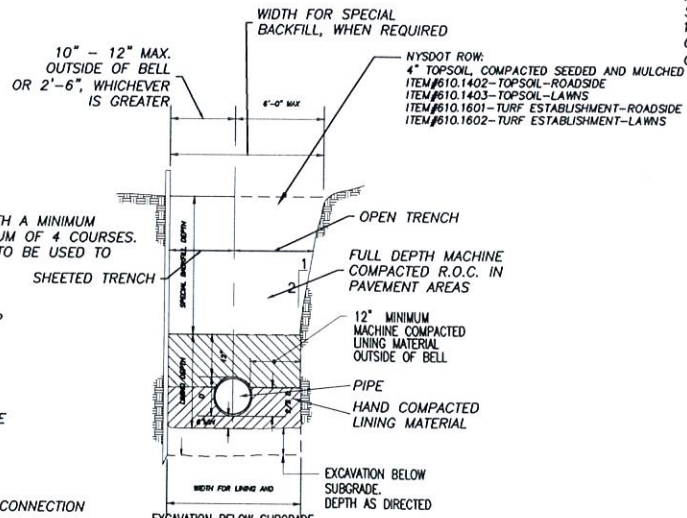


PLAN SECTION



- NOTE:
1. IMMEDIATELY PRIOR TO THE AUTHORITY PLACING WATER MAIN IN SERVICE CONTRACTOR SHALL REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES (I.E. SAMPLING TAPS, ETC.) AND REPLACE WITH THREADED BRASS PLUGS.
  2. THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651. FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.
  3. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.
  4. THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE GENESEE COUNTY DEPARTMENT OF HEALTH.

2 DISINFECTION/SAMPLING TAP  
N.T.S.



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REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	06/29/17	PER CITY SKETCH PLAN REVIEW	RAM

**ELLCOTT STATION**

ELLCOTT STREET  
CITY OF BATAVIA  
COUNTY OF GENESEE  
STATE OF NEW YORK

DRAWING TITLE:	
UTILITY PLAN	
DRAWN BY:	DRIV
DESIGNED BY:	RAM
CHECKED BY:	BAM
SCALE:	AS NOTED
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TAX MAP#:	61 031-1-11



STATE ROUTE 63 (ELLCOTT STREET)  
(99.0' R.O.W.)

EX SAN MH  
RW = 890.91  
INV = 871.09

EX SAN MH  
RW = 890.45  
INV = 870.95

EX SAN MH  
RW = 872.80  
INV = 872.80

WHITE STRIPE  
TRAVEL LANE  
SOLID YELLOW STRIPE  
OPEN YELLOW STRIPE  
CENTER TURNING LANE  
OPEN YELLOW STRIPE  
SOLID YELLOW STRIPE  
TRAVEL LANE  
WHITE STRIPE  
DESIGNATED BIKE LANE  
WHITE STRIPE  
CURB SIDE PARKING  
CONCRETE CURB

INSTALL AND MAINTAIN  
SILT FENCE AND  
TEMPORARY FENCING  
DURING CONSTRUCTION

INSTALL AND MAINTAIN  
SILT FENCE AND  
TEMPORARY FENCING  
DURING CONSTRUCTION

INSTALL AND MAINTAIN  
SILT FENCE AND  
TEMPORARY FENCING  
DURING CONSTRUCTION

INSTALL AND MAINTAIN  
SILT FENCE AND  
TEMPORARY FENCING  
DURING CONSTRUCTION

AREA TO BE USED AS  
TEMPORARY SEDIMENT  
TRAP DURING  
CONSTRUCTION - MIN  
10,800 CUBIC FOOT  
VOLUME REQUIRED

INSTALL AND MAINTAIN  
SILT FENCE AND  
TEMPORARY FENCING  
DURING CONSTRUCTION

INSTALL AND MAINTAIN  
INLET PROTECTION  
DURING CONSTRUCTION  
(TYP)

INSTALL AND MAINTAIN  
SILT FENCE AND  
TEMPORARY FENCING  
DURING CONSTRUCTION

BLDG - C  
15376SF  
1 STORY  
18FT HEIGHT  
USE:  
COMMERCIAL OFFICE

BLDG - R  
56,655SF  
PLUS 12,733SF  
PARKING  
5 STORIES  
60FT HEIGHT  
51 UNITS  
83 BEDS  
USE:  
MULTI-RESIDENTIAL

BLDG - B  
7816SF  
2 STORY  
222 OCCUPANCY  
USE:  
FACTORY/RESTAURANT

JACKSON STREET  
(66.0' R.O.W.)

0 20 40 Feet

1 GRADING PLAN  
1"=20'

CONSTRUCTION SEQUENCE:

- 1) COMPLETE SITE REMEDIATION
- 2) INSTALL PERIMETER CONTROLS
- 3) INSTALL SEDIMENT TRAP W/ OUTLET STRUCTURE
- 4) CLEAR AND STRIP SITE
- 5) EXCAVATE FOUNDATIONS AND ESTABLISH ROUGH GRADES
- 6) INSTALL UTILITIES AND STONE SUBBASE
- 7) INSTALL CURBING
- 8) FINAL GRADE & EXCAVATE SEDIMENT OUT OF TRAP
- 9) INSTALL BIOTENTION W/ SILT FENCE PROTECTION
- 10) INSTALL PAVING
- 11) SEED, MULCH AND LANDSCAPE

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REVISIONS

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ELLICOTT STATION

ELLICOTT STREET  
CITY OF BATAVIA  
COUNTY OF GENESEE  
STATE OF NEW YORK

DRAWING TITLE

GRADING PLAN

DRAWN BY:	DRV
DESIGNED BY:	RAM
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C300



