

ZONING BOARD OF APPEALS

Thursday, November 19, 2015

6:00 pm

Council Board Room

One Batavia City Centre, Batavia, NY

AGENDA

- I. Roll Call
- II. Call to order
- III. Pledge of Allegiance
- IV. Approval of October 22, 2015 minutes
- V. Statement about the role of the Zoning Board of Appeals and the procedure it follows
- VI. Variance Requests

401-409 West Main Street (proposed Dunkin Donuts)
Kip Finley, agent for the owner

- Area Variances:
- 1. Driveway distance from side lot line
 - 2. Number of parking spaces
 - 3. Front yard setback
 - 4. Drive-in height
 - 5. Driveway width

Actions:

- 1. Review application
- 2. Public hearing
- 3. Action by the board

- VII. New Business/Updates
- VIII. Setting of Next Meeting: December 17, 2015
- IX. Adjournment

ZONING BOARD OF APPEALS

Minutes

Thursday, October 22, 2015

6:00 pm

Council Board Room

One Batavia City Centre, Batavia, NY

Members present: *Jeffrey Gillard, Lee Hyatt, Sandra Licata, Paul McCarthy*

Members absent: William Hayes

Others present: Meg Chilano - Recording Secretary, Doug Randall – Code Enforcement Officer

I. Roll Call

Roll call of the members was conducted. Four members were present and Chairman Gillard declared a quorum.

II. Call to Order

Mr. Gillard called the meeting to order at 5:58 pm.

III. Pledge of Allegiance

IV. Approval of Minutes

MOTION: Mr. McCarthy moved to approve the minutes as written; the motion was seconded by Dr. Licata, and on roll call, was approved 4-0.

Result: Approval of September 24, 2015 minutes.

V. Zoning Board of Appeals statement

Mr. Gillard explained the role of the Zoning Board of Appeals and the procedures it follows.

VI. Variance Requests

- A. Placement of 40 lin. ft. of 8' tall wooden fence on this property, parallel to the west property line

Address: 9 Holmes Avenue

Applicant: Brian Hale, owner

- Actions:
1. Review application
 2. Public hearing and discussion
 3. Action by the board

1. Review Application

Mr. Hyatt, acting as Vice Chair, read the proposal summary for the board.

2. Public Hearing and Discussion

Mr. Gillard opened the public hearing at 6:02 pm. There were no calls or correspondence and no one present who wished to speak. Mr. Gillard closed the public hearing at 6:03 pm.

Mrs. Hale explained that there had been 60' tall pine trees along the back of the property which have been cut down. She said they would like to put up the fence for privacy.

Mr. Hyatt asked about what is located behind the Hales' property. Mr. Randall said that there is a church and an apartment complex. He explained that the apartment complex, which shares a border with Hales' property, is located within the C-2 district. In this district 8' fences are permitted.

Mr. McCarthy asked why an 8' high fence is necessary. Mr. Hale responded that they have a two-tiered deck and they would like some privacy from the playground and sports fields behind their property.

Dr. Licata asked if any of the neighbors object to a fence that is higher than usual. Mrs. Hale pointed out that the pines had been 60' high so the height of the fence is not really problematic.

3. Action by the Board

Mr. Gillard went through the list of supporting criteria for the variance:

- Undesirable change in neighborhood character: no
- Alternative cure sought: no
- Substantiality: not substantial
- Adverse effect or impact on neighborhood/community: no
- Self-created: no

MOTION: Dr. Licata moved to approve the application with 60 days to obtain the permit. The motion was seconded by Mr. Gillard, and on roll call, was approved 4-0.

Result: Approval of Area Variance

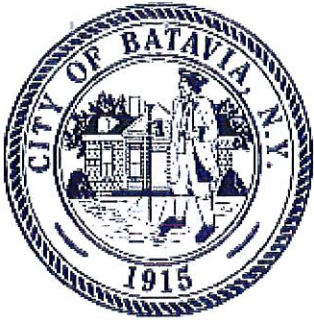
VII. New Business: none

VIII. Setting of Next Meeting: November 19, 2015

IX. Adjournment

Dr. Licata moved to adjourn the meeting at 6:08 pm; Mr. Gillard seconded. All voted in favor.

Meg Chilano
Bureau of Inspection Clerk



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 10/30/15

Re: 401-409 West Main St.
Tax Parcel No. 84.006-1-4

Zoning Use District: C-2

NOTE: This project was previously reviewed and subsequently changed to incorporate some design features recommended by the reviewing bodies. A new site plan has been provide and the applicant is requesting this new submittal be reviewed.

The applicant, Kip Finley (agent for the owner), has filed applications for; minor subdivision, site plan review, special use permit for drive-in restaurant, area variances and special sign permits. He is proposing to subdivide this existing parcel into two separate parcels and construct an approximately 2,170 sq.' Dunkin Donuts restaurant with a drive-through window on the newly created parcel.

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of a state road or highway.

City Planning and Development Committee-

- 1) **Minor Subdivision-** Pursuant to BMC section 162-2 and 162-4 the PDC shall approve plot plans prior to being recorded with Genesee County.
162-40 Minor subdivisions are to be processed in the same manner as Major Subdivisions with the exceptions of A-F of this section.
- 2) **Site Plan Review-** Pursuant to BMC section 190-44 C. (1) (a) and (c) the Planning and Development Committee shall review and approve site plans in compliance with this section.
- 3) **Special Use Permit-** Pursuant to BMC section 190-37, the PDC shall review and authorize Special Use Permits prior to issuance.
190-37 E. Special use permits may be issued for Drive-in restaurants provided compliance with 190-37 E (1, 2, 3, 4, 8, 12, and 13) and 190-37 K (1- 14) is followed.

- 4) **Special Sign Permits-** Pursuant to BMC section 190-43 R, the PDC shall approve or deny Special Sign Permits.

190-43 F and Exhibit A. The number, size and location of signs proposed exceeds the requirements of this section. Three (3) Special Sign Permits are required.

1) One wall sign facing a street frontage is permitted. A Special sign permit is required for the wall sign on the east elevation.

2) One free standing sign, less than 40 sq.' in area is permitted. The Dunkin pylon sign in the north yard is 80 sq.' in area.

- Free standing signs are to be located at least 5' from property lines. The Dunkin pylon sign is setback from the north property line 2'.

3) Only one free standing sign is permitted per parcel. The menu board sign located to the rear of the building requires a Special Sign Permit.

- 5) **Variance Referral-** Pursuant to BMC section 190-49 C., the PDC shall review all applications that involve parking variances and make recommendations to the ZBA.

Zoning Board of Appeals- Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) BMC 190-37 E (3) Driveways for drive-in restaurants are not permitted to be closer than 20' from side lot lines. The proposed West Main Street curb cuts, west side of parcel ingress and east side exit, driveways cross the proposed side lot lines at the street, and are on the line for the majority of the driveways length.
- 2) BMC 190-37 E (8) Parking is required at the rate of 4 spaces for each 100 sq.' of principal building space of drive-in restaurants. 88 spaces are required, 30 spaces are proposed on this parcel, difference of 58 spaces.
- 3) BMC 190-37 E. (2)(b) and 190-29 A and Schedule I The front yard clear space shall be a minimum of 25'. 12' is proposed for a difference of 13'.
- 4) BMC 190-37 E. (2)(d) and 190-29 A and Schedule I The maximum permitted height for a drive-in restaurant is 18'. 25.29' is proposed for a difference of 7.29'.
- 5) BMC 190-37 E. (3) Driveways for drive-in restaurants may not be less than 20' in width. 14' is proposed at the West Main Street exit (northeast corner of parcel). Difference of 6'.

The Planning and Development Committee will be the lead agency to conduct SEQR.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 344-2580 Ext. 5467

DEPARTMENT USE ONLY:

GCDP Referral # _____



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

Required According to:

GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N

(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATIONBoard(s) Planning and Development CommitteeAddress One Batavia City CentreCity, State, Zip Batavia, NY 14020Phone (585) 345 - 6347 Ext. _____**2. APPLICANT INFORMATION**Name Kip Finley (Indus Group)Address 1080 Pittsford Victor Rd.City, State, Zip Pittsford, NY 14534Phone (585) 451 - 6538 Ext. _____ Email _____MUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia**3. TYPE OF REFERRAL:** (Check all applicable items)☒ Area Variance☐ Use Variance☒ Special Use Permit☒ Site Plan Review☐ Zoning Map Change☐ Zoning Text Amendments☐ Comprehensive Plan/Update☒ Other: Special Sign Permit

Subdivision Proposal

☐ Preliminary☒ Final**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**A. Full Address 401-409 West Main St.B. Nearest intersecting road RiverC. Tax Map Parcel Number 84.006-1-4

D. Total area of the property _____ Area of property to be disturbed _____

E. Present zoning district(s) C-2**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?

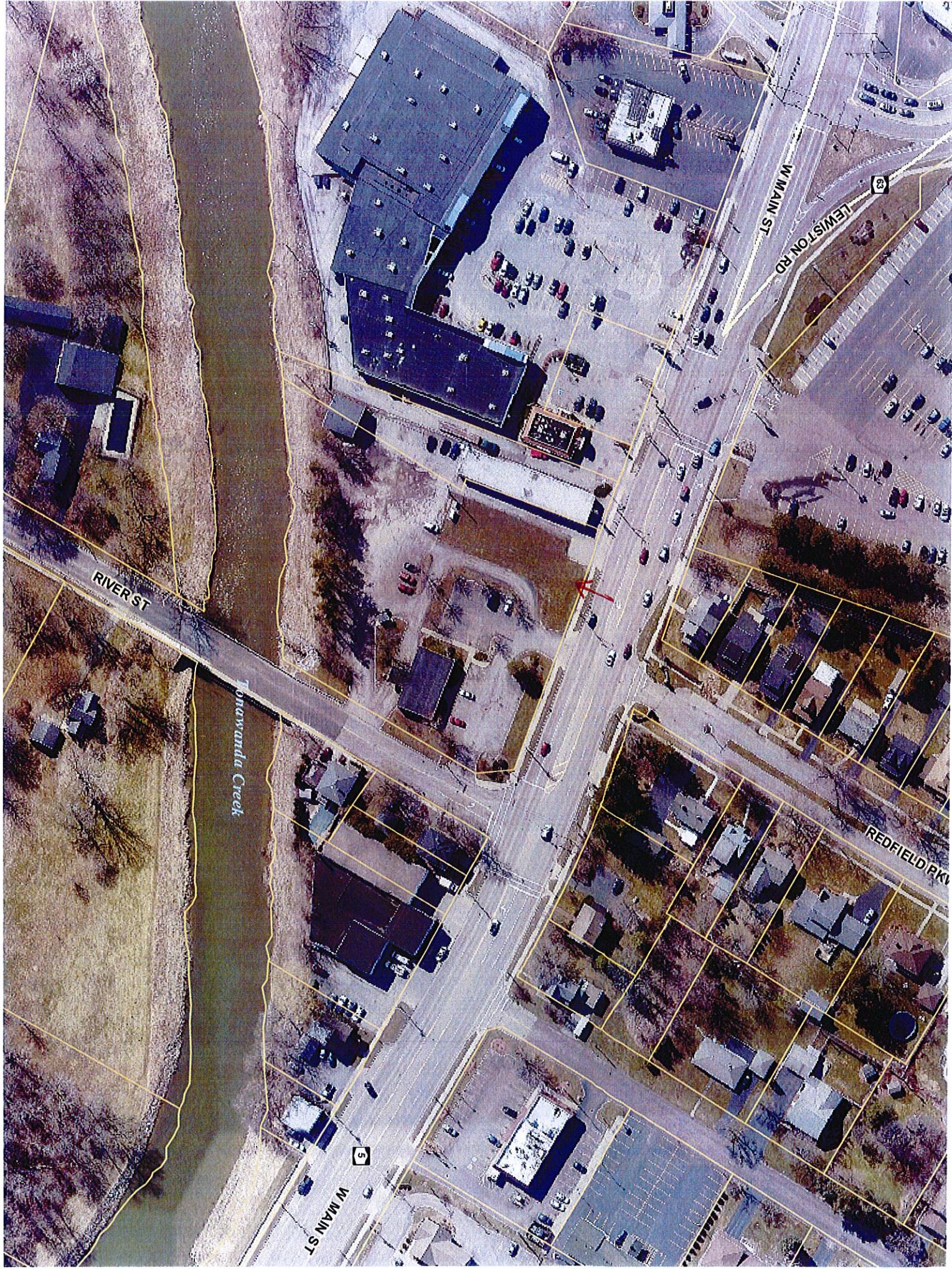
☐ NO ☒ YES If yes, give date and action taken 6/12/14 No action; 9/11/14 No action; 8/13/15 Disapproval

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

BMC 190-37 E; 190-37K; 190-37 E(3); 190-37 E(8); 190-37 E(2)(b), 190-29A; 190-37E(2)(d), 190-29A; 190-37E(3)C. Please describe the nature of this request Minor subdivision, site plan review, special use permit for drive-in rest.,Special sign permits and area variances for subdivision of existing parcel with development of the newly createdparcel to a 2,170 sq.' Dunkin Donuts drive-in restaurant.**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral☒ Local application☒ Site plan☒ Subdivision plot plans☒ SEQR forms☐ Zoning text/map amendments☐ Location map or tax maps☒ Elevation drawings☐ Agricultural data statement☐ New or updated comprehensive plan☒ Photos☐ Other: Cover letter

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.

Email to planning@co.genesee.ny.us**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drrandall@batavianewyork.com



CITY OF BATAVIA

BUILDING PERMIT APPLICATION

DATE: 06/25/2015APPLICANT NAME & PHONE: Indus Group (Contact Person: Kip Finley 585-451-6538)Project Location and Information

Permit #: _____ Fee: _____

Address of Project: 401-409 West Main StreetOwner & Address: Five Star Bank 401-409 West Main Street Batavia NY 14020Phone: Refer To Owner Authorization AttachedProject Type/Describe Work

Estimated cost of work: _____

Start date: Fall 2015Describe project: Subdividing of Land w/ Subsequent Development of Another 2,170
Square Foot Quick Service Restaurant w/ Drive Through Building To Be
Wood FrameContractor Information – Insurance certificates (liability & workers comp) required to be on fileGENERALName/Address: Indus Group 1080 Pittsford Victor Road, Suite 201Phone: 585-248-2440 Pittsford, New York 14534PLUMBING (City of Batavia Licensed Plumber Required)Name/Address: To Be Determined

Phone: _____

HEATINGName/Address: To Be Determined

Phone: _____

ELECTRICAL (Third Party Electrical Inspection Required)Name/Address: To Be Determined

Phone: _____

FOR OFFICE USE ONLY

Zoning District: _____ Flood Zone: _____ Corner Lot: _____ Historic District/Landmark: _____

Zoning Review: _____ Variance Required: _____ Site Plan Review: _____ Other: _____

National Grid Sign Off (Pools): _____ Lot Size: _____

Existing Use: _____ NYS Building Code Occupancy Class: _____

Proposed Use: _____ NYS Building Code Occupancy Class: _____

REQUIRED INSPECTIONS

Contact the Bureau of Inspection at (585) 345-6345 twenty-four (24) hours in advance to schedule all inspections.

IT IS THE RESPONSIBILITY OF THE OWNER AND/OR AGENT TO CONTACT THIS OFFICE & BE PRESENT FOR ALL INSPECTIONS

☐ Site ☐ Water Service ☐ Sewer Service
☐ Footing before Placing Concrete ☐ Smoke & Carbon Monoxide Detectors
☐ Foundation before backfill
☐ Framing before enclosing (After mechanical inspection)
☐ Electrical before enclosing (Third Party Electrical Inspection Agency)
☐ Plumbing before enclosing (City of Batavia Licensed Plumber Required)
☐ Insulation before enclosing ☐ Ice/Water Shield ☐ Final Completion

In consideration of the granting of the permit hereby petitioned for, the undersigned hereby agrees to: 1) comply with the terms thereof, the laws of the State of New York, the Ordinance of the City of Batavia, and the Regulations of the various departments of the County of Genesee and the State of New York; 2) preserve the established building line; 3) request all the necessary inspections and authorize and provide the means of entry to the premises and building to the Bureau of Inspection, and 4) will not use or permit to be used the structure or structures covered by the permit until sanitary facilities are completely furnished and either a Certificate of Occupancy or Certificate of Completion is issued. The undersigned hereby certifies that all of the information in this petition is correct and true.

Kip Kiley
Applicant Signature

6/24/15
Date

N/A
Roofing Disclaimer - Per the Residential & Building Code of New York State

R907.3 Recovering versus Replacement

New roof coverings shall not be installed without first removing existing roof coverings where any of the following conditions occur:

1. Where the existing roof or roof coverings is water-soaked or has deteriorated to the point that the existing roof or roof covering is not adequate as a base for additional roofing.
2. Where the existing roof covering is wood shake, slate, clay, cement or asbestos-cement tile.
3. Where the existing roof has two or more applications of any type of roof covering.

Exceptions:

1. Complete and separate roofing systems, such as standing-seam metal roof systems, that are designed to transmit the roof loads directly to the building's structural system and that do not rely on existing roofs and roof coverings for support shall not require the removal of existing roof coverings.
2. Metal panel, metal shingle, and concrete and clay tile roof coverings shall be permitted to be installed over existing wood shake roofs when applied in accordance with Section R907.4.

I, _____ owner and/or agency of the property located at _____ for Building Permit No. _____
_____ have reviewed and understand the requirements of Section 907.3 Recovering versus Replacement.

Applicant Signature

Date

N/A
Fence Disclaimer

I understand Section 190-33.B Fences, Walls and Hedges of the City of Batavia Zoning Ordinance regulated the installation of fences as follows:

"Fences, hedges and walls in Residential Districts shall not exceed three (3) feet above ground level when located within fifteen (15) feet of the property line abutting any street and shall not exceed six (6) feet above ground level when located elsewhere on the property. However, there shall be no height limit for hedges in rear yards within residential zones. In commercial and Industrial Districts, fences, hedges, and walls shall not exceed eight (8) feet in height unless permitted by a special use permit from the Planning & Development Committee. A fence designed to be structurally supported by posts, cross members or rails on one (1) side only shall be erected with the posts, cross members or rails on the fence owner's side, and the finished side of the fence shall face adjacent properties."

I, _____ owner and/or agent of the property located at _____ for Permit No. _____ understand that this permit is issued based on information supplied by owner/agent and that the City of Batavia accepts no responsibility for inaccurate documentation or information supplied to secure the permit.

Applicant Signature

Date

SCHEDULE "B"

FORM OF PROPERTY OWNER AUTHORIZATION

STATE OF NEW YORK)
COUNTY OF MONROE) ss:

The undersigned certifies that it is the sole owner of the property at 401-409 West Main Street, Tax Account No. 084.005-2-7.001 in the City of Batavia, Genesee County, New York, being the subject of the Purchase Contract ("Contract") dated January 9, 2014 between Five Star Bank ("Seller"), and Goonjit Mehta, as agent for an existing entity or to be formed ("Buyer"). We hereby authorize the Buyer, and its agents, contractors, engineers, architects, counsel, consultants and/or employees, to apply on our behalf to all relevant governmental or other entities for any licenses, permits, certifications and/or approvals associated with Buyer's commercial development of and use of the portion of the property subject to such Contract, including but not limited to, any subdivision approval and/or rezoning.

FIVE STAR BANK

By: [Signature]
Name: Rubell M. Layton
Title: VP & CO

Sworn and subscribed before me this
13 day of January, 2014.

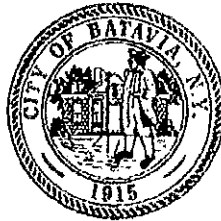
[Signature]
Notary Public

notus.3193.010(clean)

Lindsey R. Rutherford
Notary Public, State of New York
No. 01RU0252987
Qualified in Wyoming County
My Commission Expires
December 19, 2015

Application No.: _____

Date: _____



MINOR SUBDIVISION APPLICATION

CITY OF BATAVIA

10 West Main Street, Batavia, NY 14020
Phone: (716) 343-8180 • Fax (716) 343-9221

ADDRESS OF SUBDIVISION 401-409 West Main Street

OWNER: Five Star Bank
Name E-mail Address
401-409 West Main Street
Street Address Phone Fax
Batavia, NY 14020
City, State, Zip Code

SIGNATURE (Refer To Property Owner Authorization Letter Attached)

FEES: \$50 Residential Subdivision

☒ \$100 Non-Residential Subdivision

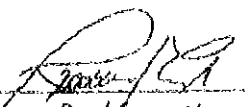
SCHEDULE "B"

FORM OF PROPERTY OWNER AUTHORIZATION

STATE OF NEW YORK)
COUNTY OF MONROE) ss:

The undersigned certifies that it is the sole owner of the property at 401 409 West Main Street, Tax Account No. 084.005-2-7.001 in the City of Batavia, Genesee County, New York, being the subject of the Purchase Contract ("Contract") dated January 9, 2014 between Five Star Bank ("Seller"), and Goonjit Mehta, as agent for an existing entity or to be formed ("Buyer"). We hereby authorize the Buyer, and its agents, contractors, engineers, architects, counsel, consultants and/or employees, to apply on our behalf to all relevant governmental or other entities for any licenses, permits, certifications and/or approvals associated with Buyer's commercial development of and use of the portion of the property subject to such Contract, including but not limited to, any subdivision approval and/or rezoning.

FIVESTAR BANK

By: 
Name: Rahul M. Singh
Title: VP & CO

Sworn and subscribed before me this
13 day of January, 2014.


Notary Public

b6j0c.1191.010(clean)

Lindsey R Rutherford
Notary Public, State of New York
No. 01RU0262067
Qualified in Wyoming County
My Commission Expires
December 19, 2015



CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.: _____
Hearing Date/Time: _____

APPLICANT: Inclus Group (Contact Person: Kip Finley) KFinley@inclusdevelopment.com
Name E-Mail Address
1080 Pittsford Victor Road 585-451-6538 585-248-3271
Street Address Phone Fax
Pittsford New York 14534
City State Zip

STATUS: ☐ Owner ☒ Agent for Owner ☐ Contractor

OWNER: Five Star Bank
Name E-Mail Address
401-409 West Main Street
Street Address Phone Fax
Batavia New York 14020
City State Zip

LOCATION OF PROPERTY: 401-409 West Main Street

DETAILED DESCRIPTION OF REQUEST: Refer To Attached Description

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Kip Finley
Applicant's Signature Date 6/24/15

(Refer To Property Owners Authorization Letter)
Owner's Signature Date

To be Filled out by Zoning Officer

TAX PARCEL: 84.006-1-4 ZONING DISTRICT: C-2 FLOOD PLAIN: AE

TYPE OF APPEAL: ☒ Area Variance FEE: ☐ \$50 (One or Two Family Use)
☐ Use Variance ☒ \$100 (All other Uses)
☐ Interpretation
☐ Decision of Planning Committee

Provision(s) of the Zoning Ordinance Appealed: BMC 190-37 E(3) and 190-37 E(8)
19037 E.(2)(b) and 190-29 A; 190-37 E.(2)(d) and 190-29 A; 190-37 E(3)

Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.
Refer To Attached Description
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. Refer To Attached Description
3. **Substantiality.** The requested area variance is not substantial. Refer To Attached Description
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.
Refer To Attached Description
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title. Refer To Attached Description

Kip Finley
Applicant's Signature

6/24/15
Date

PERMIT NO. _____



SPECIAL USE PERMIT

CITY OF BATAVIA, NEW YORK

LOCATION: 401-409 West Main St.
OWNER: Five Star Bank
Address: 401-409 West Main St.

Application Date: 6/25/15
Tax Parcel No.: 084.05-2-7.1
Phone No. _____

X COUNTY PLANNING REVIEW

X ZONING VARIANCE REQUIRED

C-2 ZONING DISTRICT

No HISTORIC DISTRICT

AE FLOOD ZONE

No HISTORIC LANDMARK

Yes CORNER LOT

No CITY ENGINEER REVIEW

X SITE PLAN REVIEW

No CITY COUNCIL REVIEW

No BID

No OTHER

PROJECT DESCRIPTION:

Subdivision of Land w/ Subsequent Development of An ^{2,170.}~~1,700.~~ Square
Foot Quick Service Restaurant w/ Drive Through Building To Be
Wood Frame.

EXISTING USE: Overflow Parking

PROPOSED USE: "Drive In Restaurant"

N.Y.S. BLDG. CODE OCC. CLASS: _____

N.Y.S. BLDG. CODE OCC. CLASS: _____

(Overall)

LOT SIZE: ± 253' x ± 350'

(Overall)

LOT AREA: ± 1.654 Acres

CITY PLANNING & DEVELOPMENT REVIEW:

___ APPROVAL AS PRESENTED ___ DISAPPROVAL ___ APPROVAL WITH CONDITIONS

CHAIRMAN SIGNATURE: _____ DATE: _____

Applicant Signature

Date

Issuing Officer

Permit Fee: _____

Issue Date: _____

617.20
Appendix B
Short Environmental Assessment Form

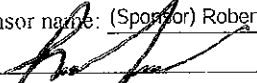
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: City of Batavia Dunkin Donuts							
Project Location (describe, and attach a location map): 401-409 West Main Street (Refer to Site Plans for Location Map)							
Brief Description of Proposed Action: Subdivision of land with subsequent development of an 1,700 ^{2,170} square foot quick service restaurant with drive through. Building to be wood frame.							
Name of Applicant or Sponsor: Indus Group (Contact: Kip Finley)		Telephone: (585) 451-6538 E-Mail: kfinley@indusdevelopment.com					
Address: 1080 Pittsford Victor Road, Suite 201							
City/PO: Pittsford		State: New York	Zip Code: 14534				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"><tr><td style="width: 50%; padding: 2px;">NO</td><td style="width: 50%; padding: 2px;">YES</td></tr><tr><td style="text-align: center; padding: 2px;"><input checked="" type="checkbox"/></td><td style="text-align: center; padding: 2px;"><input type="checkbox"/></td></tr></table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Approval From The City of Batavia			<table border="1" style="width: 100%; border-collapse: collapse;"><tr><td style="width: 50%; padding: 2px;">NO</td><td style="width: 50%; padding: 2px;">YES</td></tr><tr><td style="text-align: center; padding: 2px;"><input type="checkbox"/></td><td style="text-align: center; padding: 2px;"><input checked="" type="checkbox"/></td></tr></table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3. a. Total acreage of the site of the proposed action? 1.654 acres b. Total acreage to be physically disturbed? 0.839 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.0 acres							
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: (Sponsor) Robert Fitzgerald, P.E.		Date: June 25, 2015
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.


<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<hr/> <div> <div>Name of Lead Agency</div> <div>Date</div> </div>	
<hr/> <div> <div>Print or Type Name of Responsible Officer in Lead Agency</div> <div>Title of Responsible Officer</div> </div>	
<hr/> <div> <div>Signature of Responsible Officer in Lead Agency</div> <div>Signature of Preparer (if different from Responsible Officer)</div> </div>	

PRINT



City of Batavia

To: City of Batavia Planning and Development Committee

From: Jason Molino, City Manager 

Date: November 3, 2015

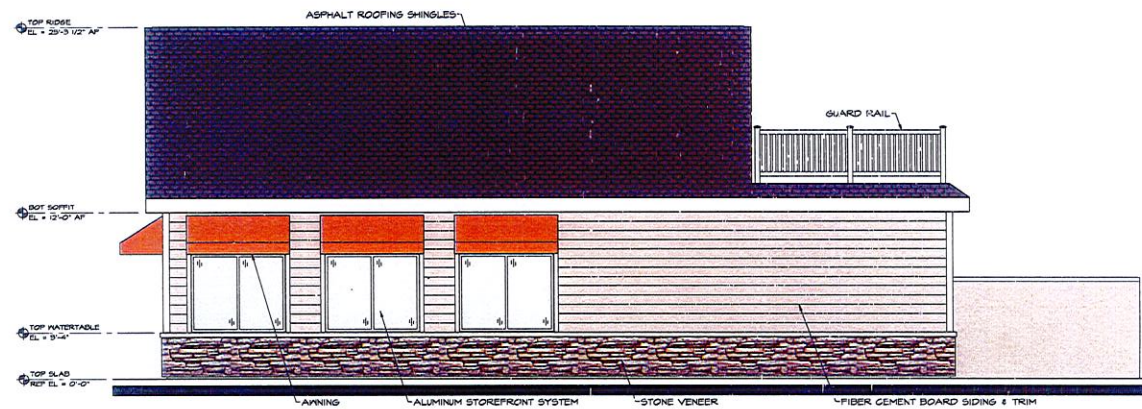
Subject: Batavia Municipal Code: Chapter 162-12

Pursuant to BMC 162-12, the City Manager shall review any proposed preliminary plat with respect to land subdivisions and transmit any findings to the Planning Board for their review.

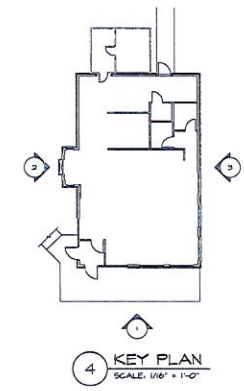
I have received the preliminary site plan drawings for Dunkin Donuts at 401-409 West Main Street, Batavia. Below please find my comments and findings regarding the proposed preliminary plat. It should be noted that this project was previously reviewed and subsequently changed to incorporate some design features recommended by the Planning and Development Committee. A new site plan has been provide and the applicant is requesting this new submittal be reviewed.

1. The traffic study completed by the applicant on December 14, 2014 was submitted to the New York State Department of Transportation for review and comment. The DOT reviewed the proposed plans and study and reported no outstanding issues, aside from reconfiguring the queue on to Route 5 to provide greater onsite storage capacity. The current submission has addressed those concerns.
2. Access easements with both the east and west side property owners have been identified by the applicant. It is recommended that all easements be executed as a condition of a building permit being issued.
3. While there are requests for front yard clear space/set back, parking, driveway widths and building height variances all provide added value to the project by enhancing the curb side ascetic appeal, walkability for patrons and pedestrians and providing greater queue capacity.

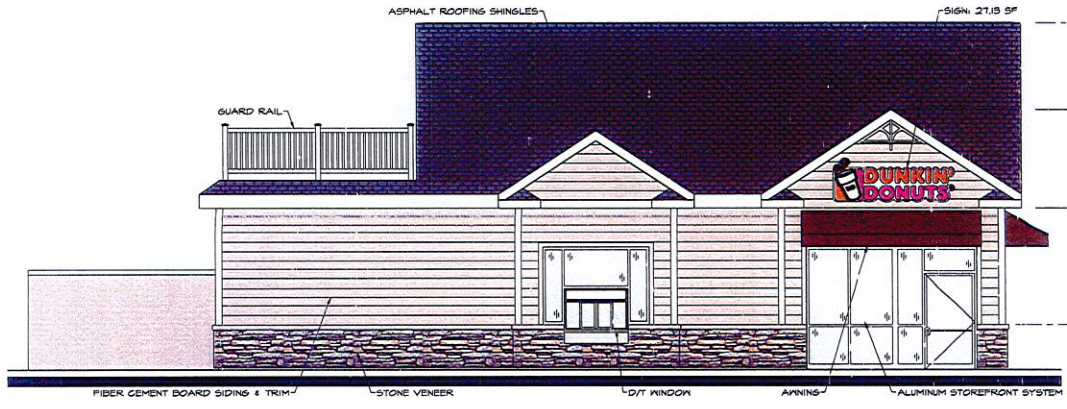
Please feel free to contact me should you need any additional information



3 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



4 KEY PLAN
SCALE: 1/16" = 1'-0"



2 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

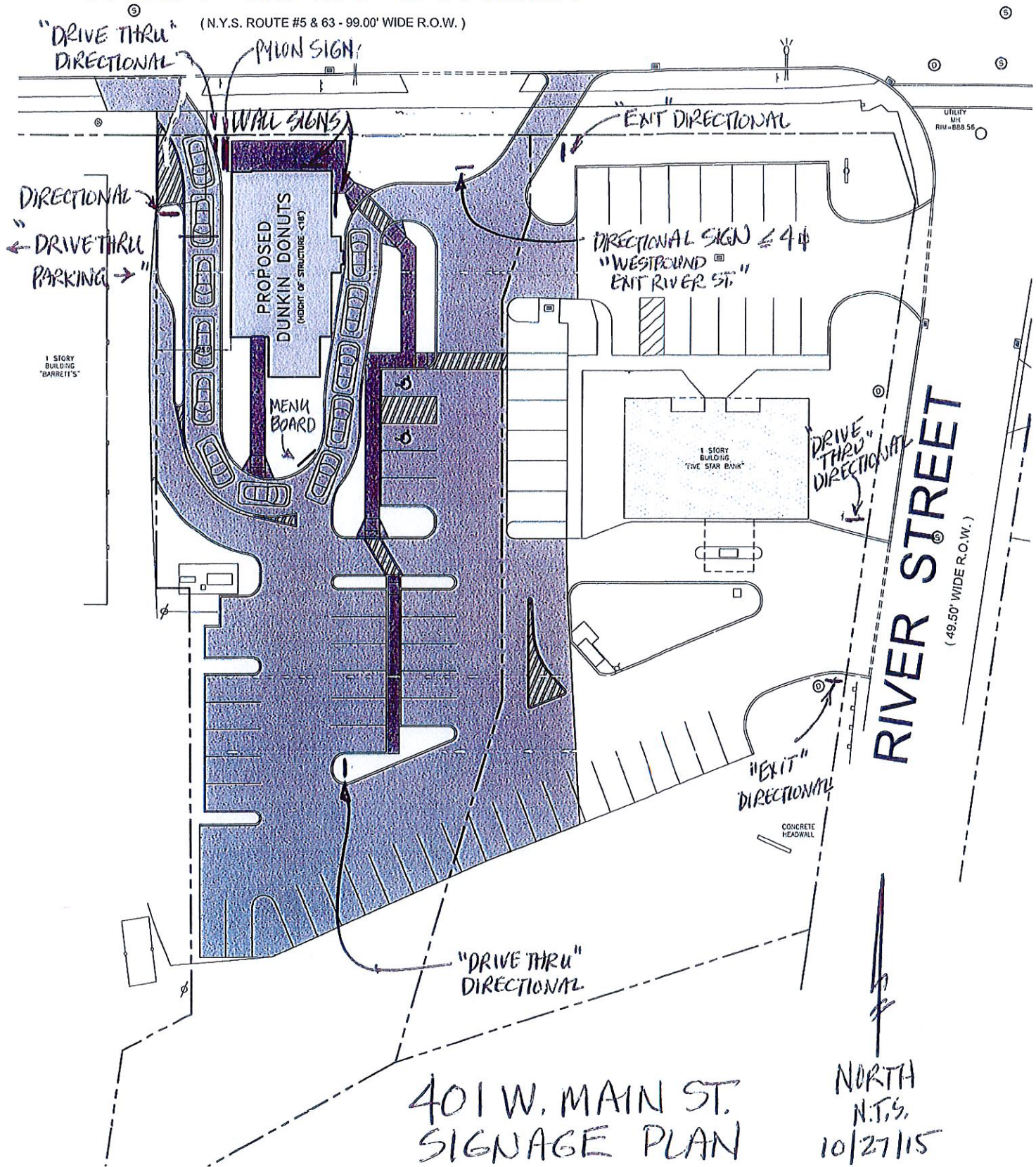


AHARONIAN
& ASSOCIATES, INC.
ARCHITECTS
180 E. 11th Street
Batavia, NY 14020
Phone: 585-343-3333
www.ahar.com

DUNKIN' DONUTS
409 WEST MAIN ST
BATAVIA, NEW YORK
SEPTEMBER 29, 2015

WEST MAIN STREET

(N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W.)



401 W. MAIN ST.
SIGNAGE PLAN

NORTH
N.T.S.
10/27/15



SIGN PERMIT APPLICATION

CITY OF BATAVIA

10 West Main Street, Batavia, NY, 14020
Phone: (585) 345-6320 • Fax (585) 343-9221

Permit No.: _____

Date: _____

Zone: C-2

Special Sign: Yes

APPLICANT:

Indus Group

kfinley@indushg.com

Name

E-mail Address

1080 Pittsford-Victor Road Suite 201

Street Address

Phone

Fax

Pittsford, NY 14534

585-451-6538

585-248-3271

City, State, Zip Code

OWNER:

Indus Real Estate

Name

E-mail Address

1080 Pittsford-Victor Road Suite 201

Street Address

Phone

Fax

Pittsford, NY 14534

585-451-6538 (KIP)

City, State, Zip Code

ADDRESS OF SIGN: 401 W. MAIN STREET ; PYLON SIGN

SIGN AREA: Length 69 1/8" Width 156 1/8" Area 80 sq ft

TYPE OF SIGN:

1. All sign applications must have an illustration of the sign with its dimensions and copy.
2. Freestanding signs must have a Site Plan to show the sign's location on the property
3. All other signs must include an elevation plan to show the sign's placement on the building

☒ Freestanding:

Set Back 2' to face of Height 22' (pole @ $\pm 9'$ from Row)
Wall Length Sign box Wall Height _____ Area _____

☐ Wall

☐ Projecting

☐ Marquee

☐ Awning/Canopy

☐ Window

☐ Portable

Length _____ Height _____ Area _____
Window Length _____ Window Height _____ Area _____

LIGHTING: ☒ Internal

☐ External

Note: Set back 2' from front prop. line.

EXISTING SIGNS (Please list all existing signs with dimensions):

No existing signage for Dunkin Donuts parcel; subdividing from Five Star Bank parcel.

Applicant's Signature: Kip Finley

Date: 10/27/15

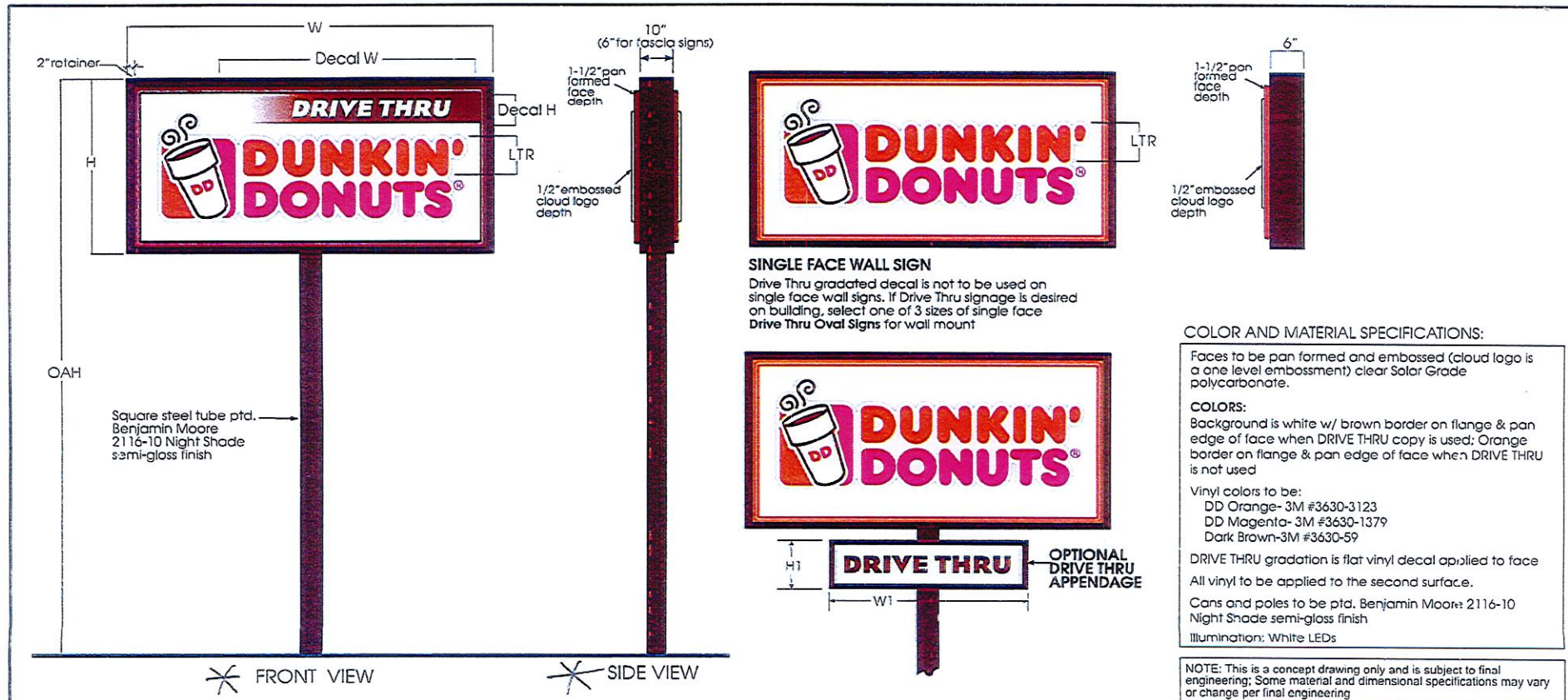
Issuing Officer: _____

Date: _____

Planning Board Chairperson: _____

Date: _____

FEES: \$25 Sign Permit ☒ \$50 Special Sign Permit \$10 Portable Sign



PYLONS & WALL SIGNS:

Nominal Size	Applies to:	H	W	OAH	LTR	Decal W	Decal H	Area (Sq. Ft.)	Illumination
3 x 6	Pylons & Wall Signs	35-3/4"	74-1/2"	13'	8"	49-13/16"	6-7/16"	20	White LEDs
4 x 9	Pylons & Wall Signs	49-11/16"	109-5/8"	15'	12"	74-7/16"	9-1/4"	40	White LEDs
6 x 13	Pylons Only	69-7/8"	156-1/8"	22'	17"	109-15/16"	14-1/2"	80	White LEDs

OPTIONAL DRIVE THRU APPENDAGE:

Nominal Size	H1	W1	Area (Sq. Ft.)	Illumination
1' x 4'	12"	48-9/16"	4.04	White LEDs
1.5' x 6'	18"	72-13/16"	9.10	White LEDs
2' x 8'	24"	97-1/16"	16.17	White LEDs

NOTE: THESE DRAWINGS ARE FOR IMAGE DESIGN GUIDANCE ONLY. IT IS THE SOLE RESPONSIBILITY OF THE ARCHITECTS AND ENGINEERS RETAINED BY THE FRANCHISEE TO PREPARE ALL NECESSARY CONSTRUCTION DOCUMENTS FOR THE PARTICULAR PROJECT LOCATION. DUNKIN' BRANDS, INC., THEIR AGENTS AND EMPLOYEES, DO NOT WARRANT THE ACCURACY OF THESE DRAWINGS, NOR DOES DUNKIN' BRANDS, INC. GUARANTEE THAT THESE DRAWINGS AND THEIR COMPONENTS MEET THE REQUIREMENTS OF ANY FEDERAL STATE OR LOCAL LAWS, REGULATIONS, ORDINANCES, BUILDING CODES OR INDIVIDUAL SITE CONDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE FRANCHISEE AND OF THE ARCHITECT AND ENGINEERS RETAINED BY THE FRANCHISEE TO ENSURE COMPLIANCE WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES, CODES AND OTHER REQUIREMENTS, INCLUDING, WITHOUT LIMITATION, AMERICANS WITH DISABILITIES ACT.



Everbrite

4949 South 110th Street
PO Box 20020
Greenfield, WI 53220-0020
414.529.7131

dunkin'
brandsSM

Revisions:

DD LED Illum'd Pylon
& Wall Signs

FILE

Date: 8/12/15

Scale: NTS

Drawn: C HART

SS-4

401 W. MAIN

W



SIGN PERMIT APPLICATION

CITY OF BATAVIA

10 West Main Street, Batavia, NY, 14020
Phone: (585) 345-6320 • Fax (585) 343-9221

Permit No.: _____

Date: _____

Zone: C-2

Special Sign: Yes

APPLICANT:

Indus Group

kfinley@indushg.com

Name

E-mail Address

1080 Pittsford-Victor Road Suite 201

Street Address

Phone

Fax

Pittsford, NY 14534

585-451-6538

585-248-3271

City, State, Zip Code

OWNER:

Indus Real Estate

kfinley@indushg.com

Name

E-mail Address

1080 Pittsford-Victor Road Suite 201

Street Address

Phone

Fax

Pittsford, NY 14534

585-451-6538

585-248-3271

City, State, Zip Code

ADDRESS OF SIGN:

401 W. MAIN STREET: MENU BOARD

SIGN AREA: Length

62" x Width 74"

Area 34.5

(Second Freestanding Sign)

TYPE OF SIGN:

1. All sign applications must have an illustration of the sign with its dimensions and copy.
2. Freestanding signs must have a Site Plan to show the sign's location on the property
3. All other signs must include an elevation plan to show the sign's placement on the building

☒ Freestanding:

Set Back next to bldg.

Height 86"

☐ Wall

Wall Length _____

Wall Height _____

Area 34.5

☐ Projecting

☐ Marquee

☐ Awning/Canopy

Length _____

Height _____

Area _____

☐ Window

Window Length _____

Window Height _____

Area _____

☐ Portable

speaker pedestal has no graphics

LIGHTING: ☒ Internal

☐ External

EXISTING SIGNS (Please list all existing signs with dimensions):

No existing signage for Dunkin' Donuts parcel; subdividing from Five Star Bank parcel.

Applicant's Signature: Kip Finley

Date: 10/27/15

Issuing Officer: _____

Date: _____

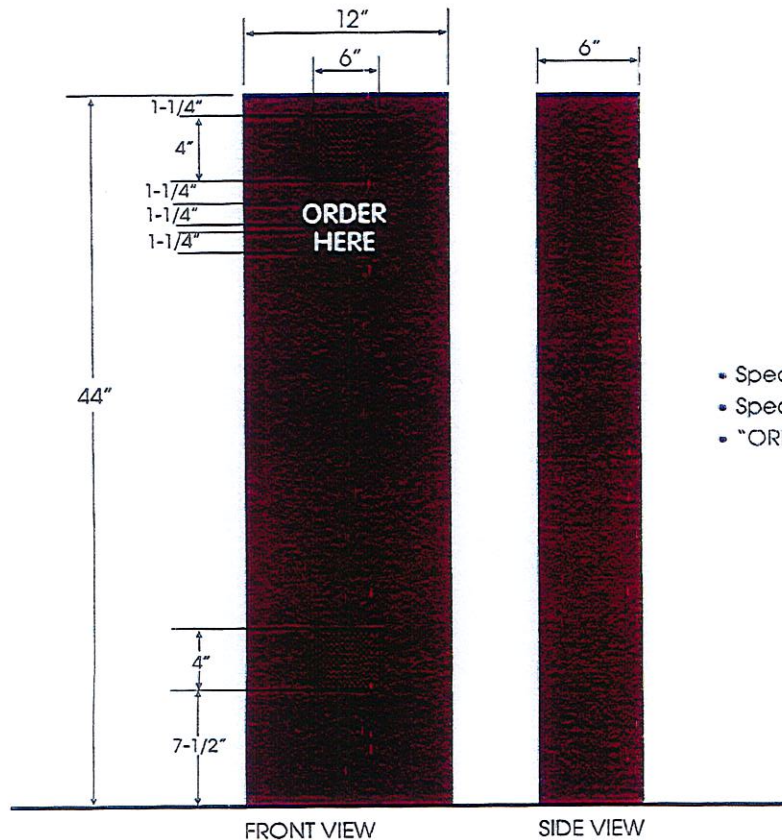
Planning Board Chairperson: _____

Date: _____

FEES: \$25 Sign Permit

☒ \$50 Special Sign Permit

\$10 Portable Sign



- Speaker tower ptd. Benjamin Moore 2116-10 Night Shade semi-gloss
- Speaker/microphone furnished and installed by others
- "ORDER HERE" graphic is white vinyl decal

NOTE: This is a concept drawing only and is subject to final engineering. Some material and dimensional specifications may vary or change per final engineering

NOTE: THESE DRAWINGS ARE FOR IMAGE DESIGN GUIDANCE ONLY. IT IS THE SOLE RESPONSIBILITY OF THE ARCHITECTS AND ENGINEERS RETAINED BY THE FRANCHISEE TO PREPARE ALL NECESSARY CONSTRUCTION DOCUMENTS FOR THE PARTICULAR PROJECT LOCATION. DUNKIN' BRANDS, INC., THEIR AGENTS AND EMPLOYEES, DO NOT WARRANT THE ACCURACY OF THESE DRAWINGS. NOR DOES DUNKIN' BRANDS, INC. GUARANTEE THAT THESE DRAWINGS AND THEIR COMPONENTS MEET THE REQUIREMENTS OF ANY FEDERAL, STATE OR LOCAL LAWS, REGULATIONS, ORDINANCES, BUILDING CODES OR INDIVIDUAL SITE CONDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE FRANCHISEE AND OF THE ARCHITECT AND ENGINEERS RETAINED BY THE FRANCHISEE TO ENSURE COMPLIANCE WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES, CODES AND OTHER REQUIREMENTS, INCLUDING, WITHOUT LIMITATION, AMERICANS WITH DISABILITIES ACT.



Everbrite

4949 South 110th Street
PO Box 20020
Greenfield, WI 53220-0020
414.529.7131



Revisions:

Drive Thru
Speaker Tower

FILE

Date: 9/30/09

Scale: NTS

Drawn: C HART

DT-5

* APPLICANT UNDERSTANDING IS THAT SPEAKER POST FOR MENU DOES NOT REQUIRE PERMITS FYI
401 W. MAIN

5



SIGN PERMIT APPLICATION

CITY OF BATAVIA
10 West Main Street, Batavia, NY, 14020
Phone: (585) 345-6320 • Fax (585) 343-9221

Permit No.: _____
Date: _____
Zone: C-2
Special Sign: YES

APPLICANT: Indus Group kfinley@indushg.com
Name E-mail Address
1080 Pittsford-Victor Road Suite 201
Street Address
Pittsford, NY 14534 585-451-6538 585-248-3271
City, State, Zip Code Phone Fax

OWNER: Indus Real Estate
Name E-mail Address
1080 Pittsford-Victor Road Suite 201
Street Address
Pittsford, NY 14534 585-451-6538 (KIP)
City, State, Zip Code Phone Fax

ADDRESS OF SIGN: 401 W. MAIN STREET; BUILDING SIGNS

SIGN AREA: Length 38'6" Width 103' Area 27.264 X 2 SIGNS

TYPE OF SIGN: East elev.
1. All sign applications must have an illustration of the sign with its dimensions and copy.
2. Freestanding signs must have a Site Plan to show the sign's location on the property
3. All other signs must include an elevation plan to show the sign's placement on the building

☐ Freestanding: Set Back _____ Height _____
☒ Wall Wall Length 103' Wall Height 38'6" Area 27.264
☐ Projecting
☐ Marquee
☐ Awning/Canopy Length _____ Height _____ Area _____
☐ Window Window Length _____ Window Height _____ Area _____
☐ Portable

LIGHTING: ☐ Internal ☐ External

EXISTING SIGNS (Please list all existing signs with dimensions):

No existing signage for Dunkin Donuts parcel; subdividing from Five Star Bank parcel.

Applicant's Signature: Kip Finley

Date: 10/27/15

Issuing Officer: _____

Date: _____

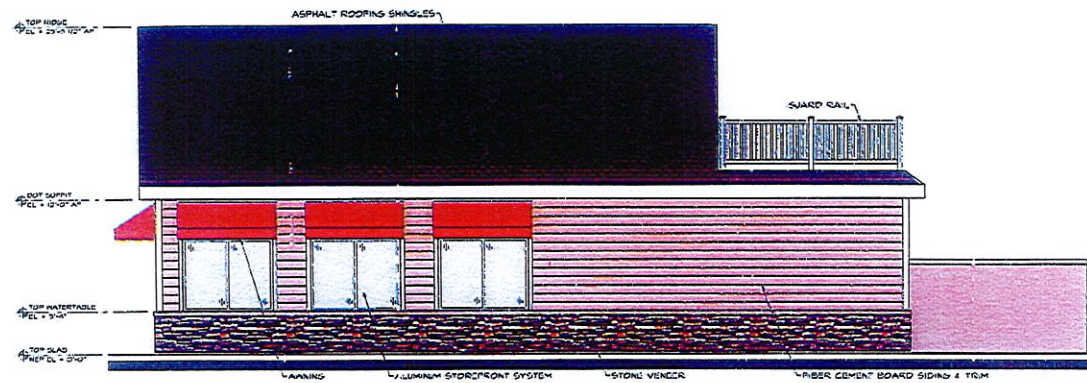
Planning Board Chairperson: _____

Date: _____

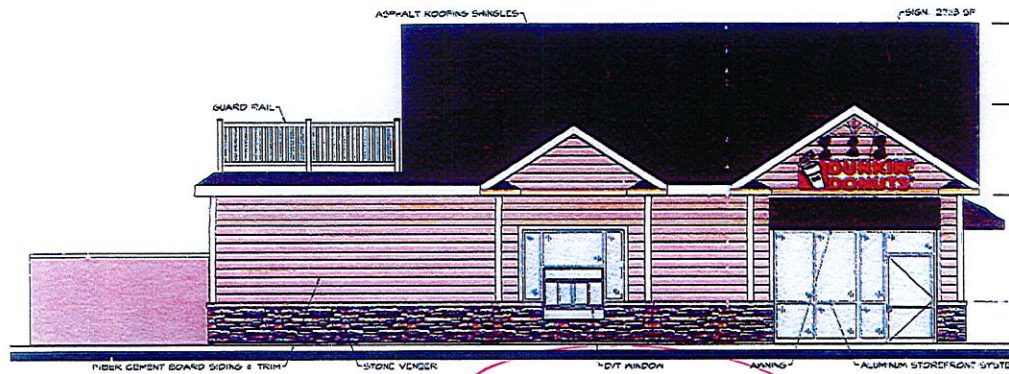
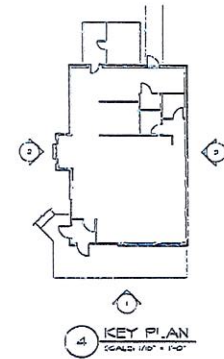
FEES: _____ \$25 Sign Permit ☒ \$50 Special Sign Permit _____ \$10 Portable Sign

76.5 sq. ft. permitted.
27.264 Proposed
(eh)

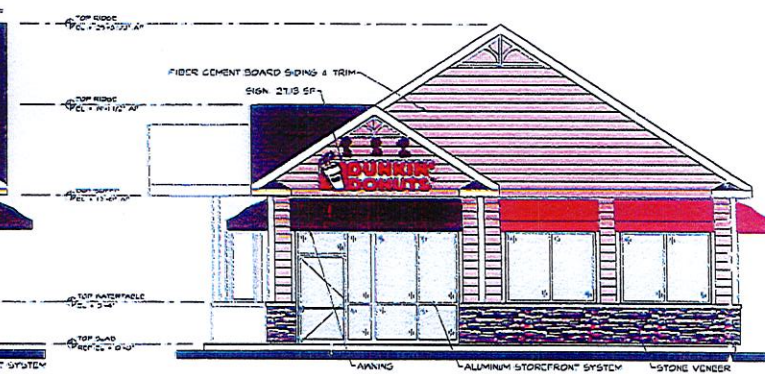
510 sq. ft.
Area 27.264 X 2
= 54.528



2 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



401 W. MAIN

01



SIGN PERMIT APPLICATION

CITY OF BATAVIA
10 West Main Street, Batavia, NY, 14020
Phone: (585) 345-6320 • Fax (585) 343-9221

Permit No.: _____

Date: _____

Zone: C-2

Special Sign: NO

APPLICANT:

Indus Group

kfinley@indushg.com

Name

E-mail Address

1080 Pittsford-Victor Road Suite 201

Street Address

Phone

Fax

Pittsford, NY 14534

585-451-6538

585-248-3271

City, State, Zip Code

OWNER:

Indus Real Estate

Name

E-mail Address

1080 Pittsford-Victor Road Suite 201

Street Address

Phone

Fax

Pittsford, NY 14534

585-451-6538 (KIP)

City, State, Zip Code

ADDRESS OF SIGN:

401 W. MAIN STREET ; BUILDING SIGNS

SIGN AREA: Length

38 1/8"

Width 103"

Area

27.26 sq ft

X 2 SIGNS

TYPE OF SIGN:

North Elev.

1. All sign applications must have an illustration of the sign with its dimensions and copy.
2. Freestanding signs must have a Site Plan to show the sign's location on the property
3. All other signs must include an elevation plan to show the sign's placement on the building

72.6 sq. ft. Permitted
27.26 Proposed

☐ Freestanding:

Set Back _____

Height _____

☒ Wall

Wall Length 103"

Wall Height 38 1/8"

Area 27.26 X 2

☐ Projecting

☐ Marquee

☐ Awning/Canopy

☐ Window

☐ Portable

Length _____

Height _____

Window Length _____

Window Height _____

Area _____

Area _____

484 sq. ft.
54.52 sq. ft.

LIGHTING: ☐ Internal

☐ External

EXISTING SIGNS (Please list all existing signs with dimensions):

No existing signage for Dunkin Donuts parcel; subdividing from Five Star Bank parcel.

Applicant's Signature:

Kip Finley

Date:

10/27/15

Issuing Officer: _____

Date: _____

Planning Board Chairperson: _____

Date: _____

FEES: ☒

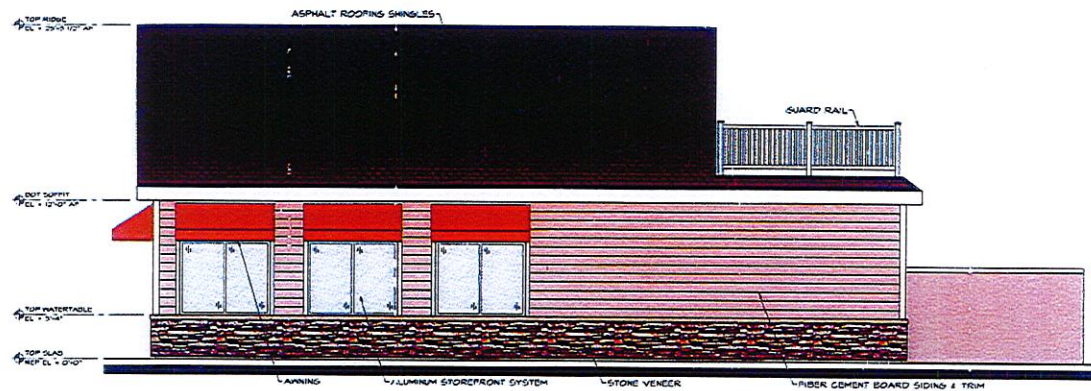
\$25 Sign Permit

☐

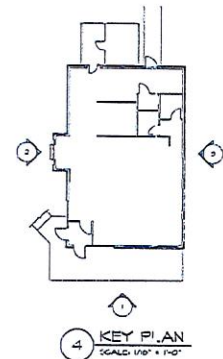
\$50 Special Sign Permit

☐

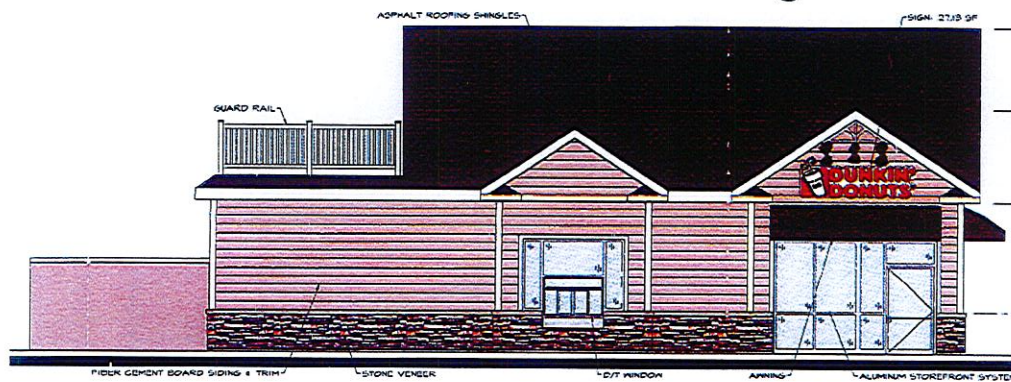
\$10 Portable Sign



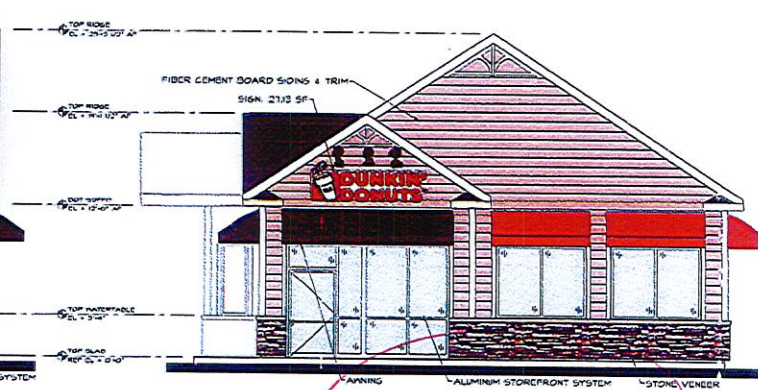
3 PROPOSED SIDE ELEVATION
SCALE: 3/4" = 1'-0"



4 KEY PLAN
SCALE: 1/8" = 1'-0"



2 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



AHARONIAN
ASSOCIATES, INC.
ARCHITECTS
401.212.0011
WWW.AHARONIAN.COM

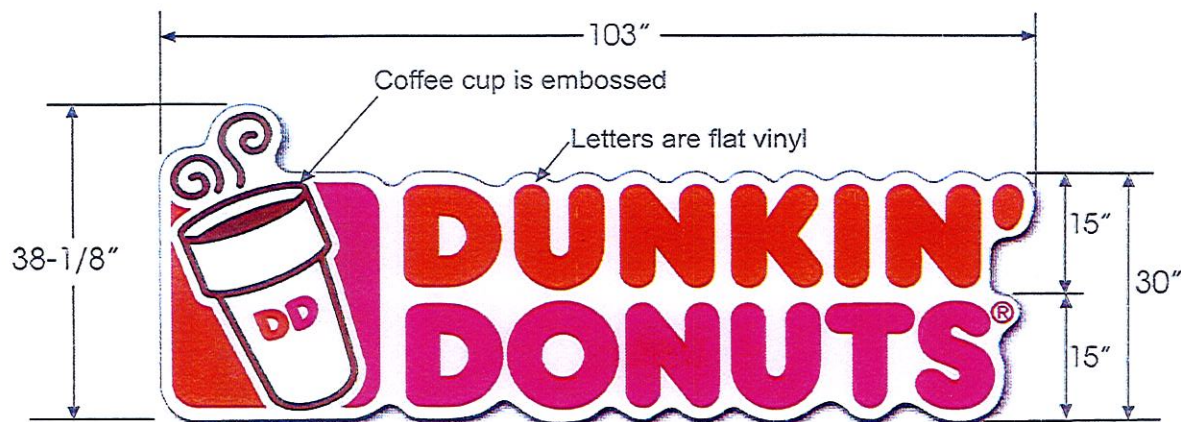
DUNKIN' DONUTS
409 WEST MAIN ST
BATAVIA, NEW YORK
SEPTEMBER 29, 2015

401 W. MAIN

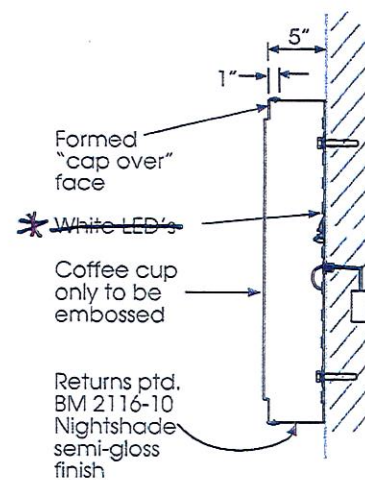
2



LED LED CLOUD SIGN



E004017B- 15" DD STACKED ~~LED~~ CLOUD SIGN 27.26 SQ. FT.



SIDE VIEW

COLOR & MATERIAL NOTES:

15" STACKED ~~LED~~ CLOUD SIGN EXTERNAL ILLUMINATION- SEE HI-LITE CUTSHEET *

Faces are formed clear solar grade polycarbonate, decorated second surface vinyl

Vinyl colors: DD Orange- 3M #3630-3123; DD Magenta- 3M #3630-1379; Dark Brown (on cup logo)- 3M #3630-59

Coffee cup portion of logo to be 1/2" emboss depth.

Formed "cap-over" face fits over aluminum returns ptd. Benjamin Moore 2116-10 Nightshade semi-gloss finish; Cabinet to be 5" deep

Illumination: 90 white LED's *

PC#

City: BATAVIA State: N.Y.

Signature: _____ Date: _____



Everbrite

For More Information about the Dunkin' Donuts Sign Program or other Dunkin Brand Sign programs manufactured by Everbrite, LLC, please contact a Dunkin Brands Specialist at toll free 888-505-1002 or dunkinbrands@everbrite.com. We are pleased to assist you.

401 W. MAIN

279301 2/15/12



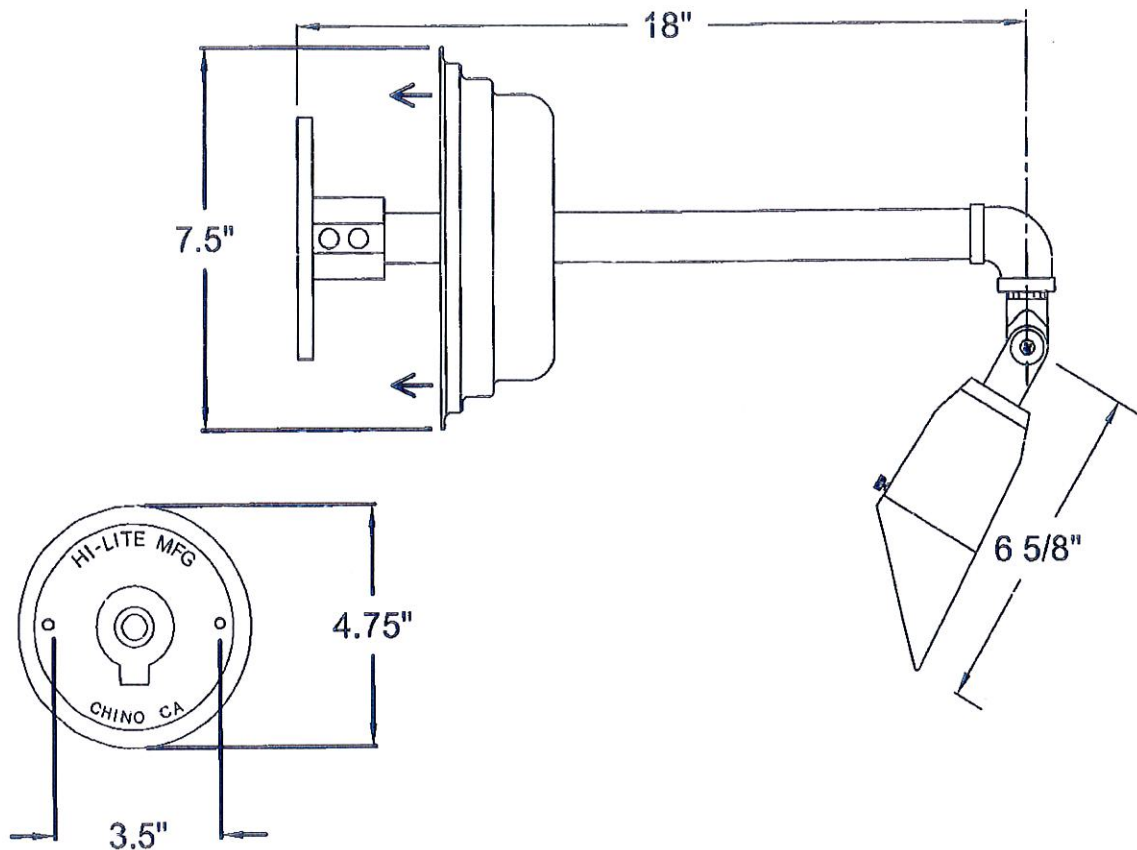
10



HI-LITE MFG. CO., INC.

13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1999
Toll Free: (800) 465-0211
Fax: (909) 465-0907
www.hilitemfg.com

Job Name:
Type:
Quantity:

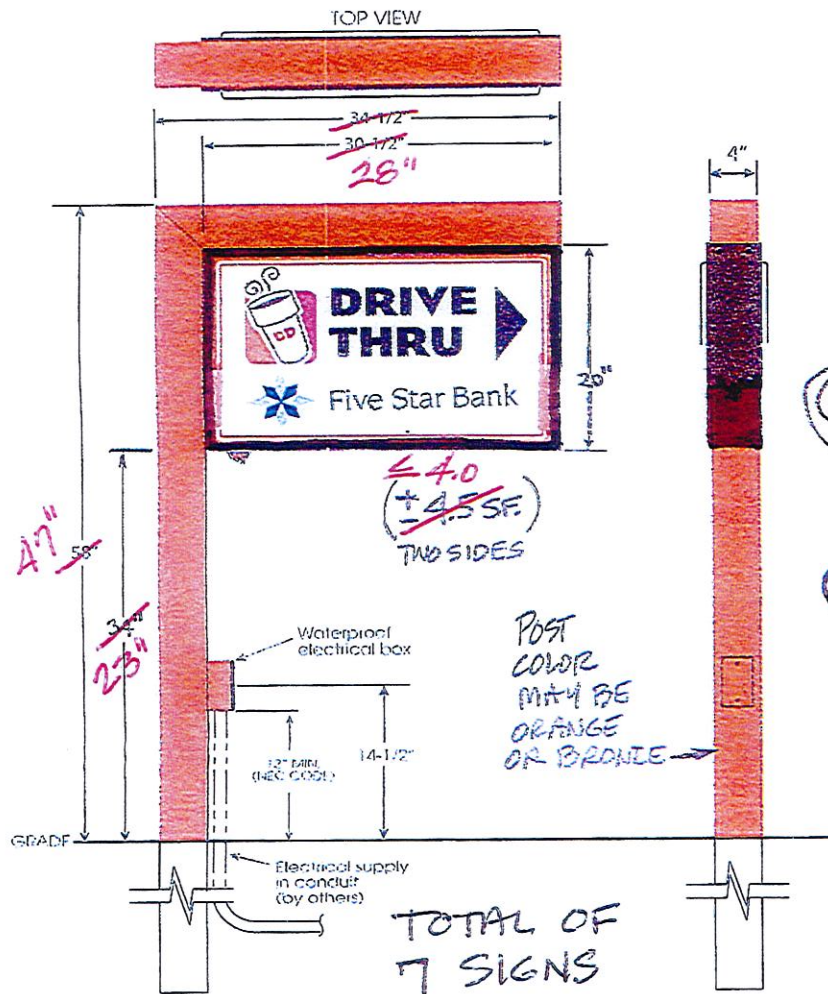


401 W. MAIN

3 EACH FOR BUILDING SIGNS

Item Number	Lens	Wattage	Voltage
HDMR16/18-1/119/50W/LV/BCM	Clear	50W	12V/120V

Material	Finish	Lamp/Socket	Mounting
Aluminum	119 (Bronze)	GU 5.3 Bi-Pin	Wall Mount



CHECK BOX NEXT TO THE FACES YOU NEED AND STATE QUANTITY
NOTE! If face has a directional arrow right, opposite side will need an arrow left layout

<input type="checkbox"/> DT-AR QTY.	<input type="checkbox"/> DT-AL QTY.
<input type="checkbox"/> ENT-AR QTY.	<input type="checkbox"/> ENT-AL QTY.
<input type="checkbox"/> EX-AR QTY.	<input type="checkbox"/> EX-AL QTY.
<input type="checkbox"/> DD4-AR QTY.	<input type="checkbox"/> DD4-AL QTY.
<input type="checkbox"/> DD6-AR QTY.	<input type="checkbox"/> DD6-AL QTY.
<input type="checkbox"/> DD7-AR QTY.	<input type="checkbox"/> DD7-AL QTY.
<input type="checkbox"/> DD5-AR QTY.	<input type="checkbox"/> DD5-AL QTY.
<input type="checkbox"/> DD3 QTY.	<input type="checkbox"/> DNE QTY.
<input type="checkbox"/> DD1 QTY.	<input type="checkbox"/> SYS QTY.
<input type="checkbox"/> DD2 QTY.	<input type="checkbox"/> WB QTY.

Rev 7/8/15 to meet code

GENERAL SPECIFICATIONS:

Materials:
4" x 4" x 1/8" alum. tube support; Alum. extrusion cabinet; Pan flat poly faces

Decoration: Vinyl 2nd surface

Area Squared: 2.75

Area Actual: 2.75

Weight (Est.):
• Crated: (TBE)
• Uncrated: (TBE)

Wind Load: 35 psf/90 mph

ELECTRICAL

Illumination:
• (1) F30 T12 CW/HO

Line Load:
• Amps @ 120 VAC
• (1) 20 Amp circuit

Disconnect Switch: Bottom of sign cabinet

COLORS:

All exposed surfaces of support column:
PMS 165C Orange

Sign Cabinet:
BM 2116-10 Nightshade

(A) "DRIVE-THRU" TEXT USED AT ENTRANCES

(B) "EXIT" TEXT USED AT EXITS

* APPLICANT UNDERSTANDING IS THAT DIRECTIONAL SIGNS DO NOT REQUIRE PERMIT: PROVIDED FYI

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Everbrite

Everbrite LLC
4949 S 110th Street, Greenfield, WI 53220
Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

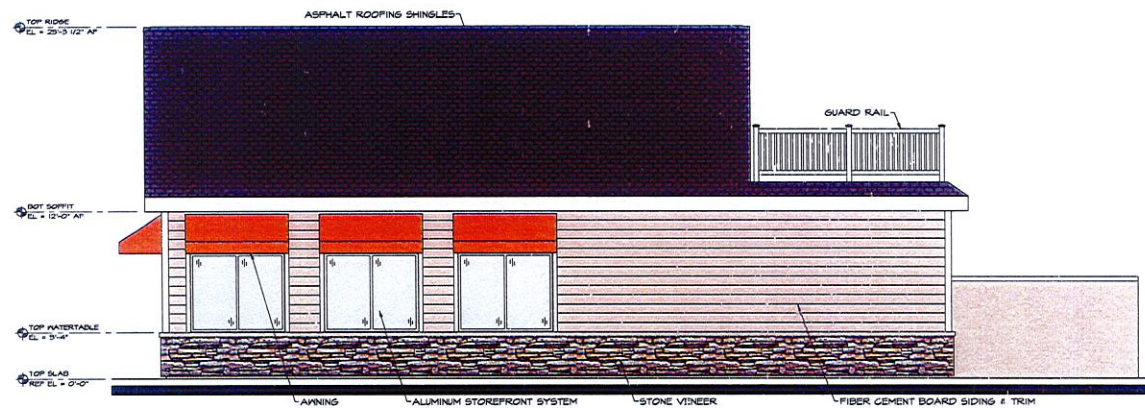
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Project No: 292014-1
Date: 2/21/13
Drawn By: CH

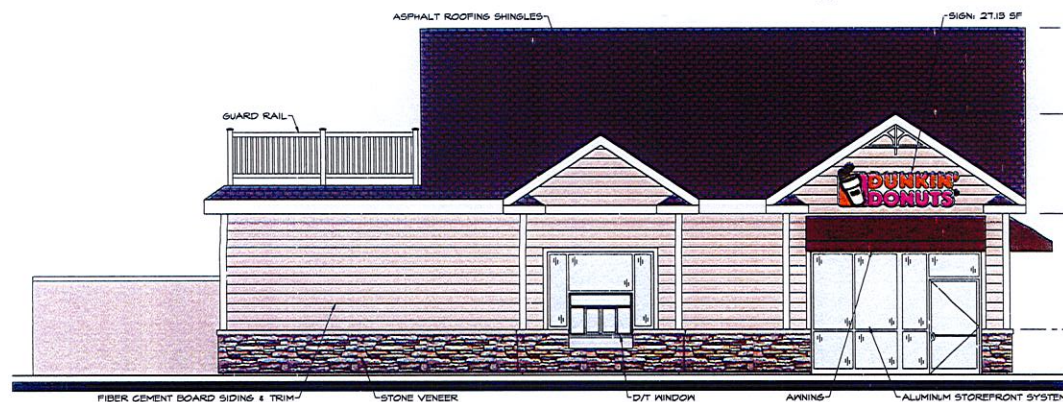
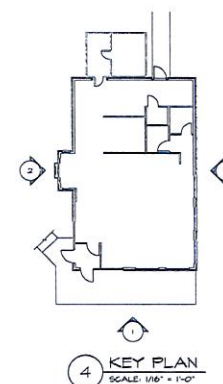


401 W. MAIN

(11)



3 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"

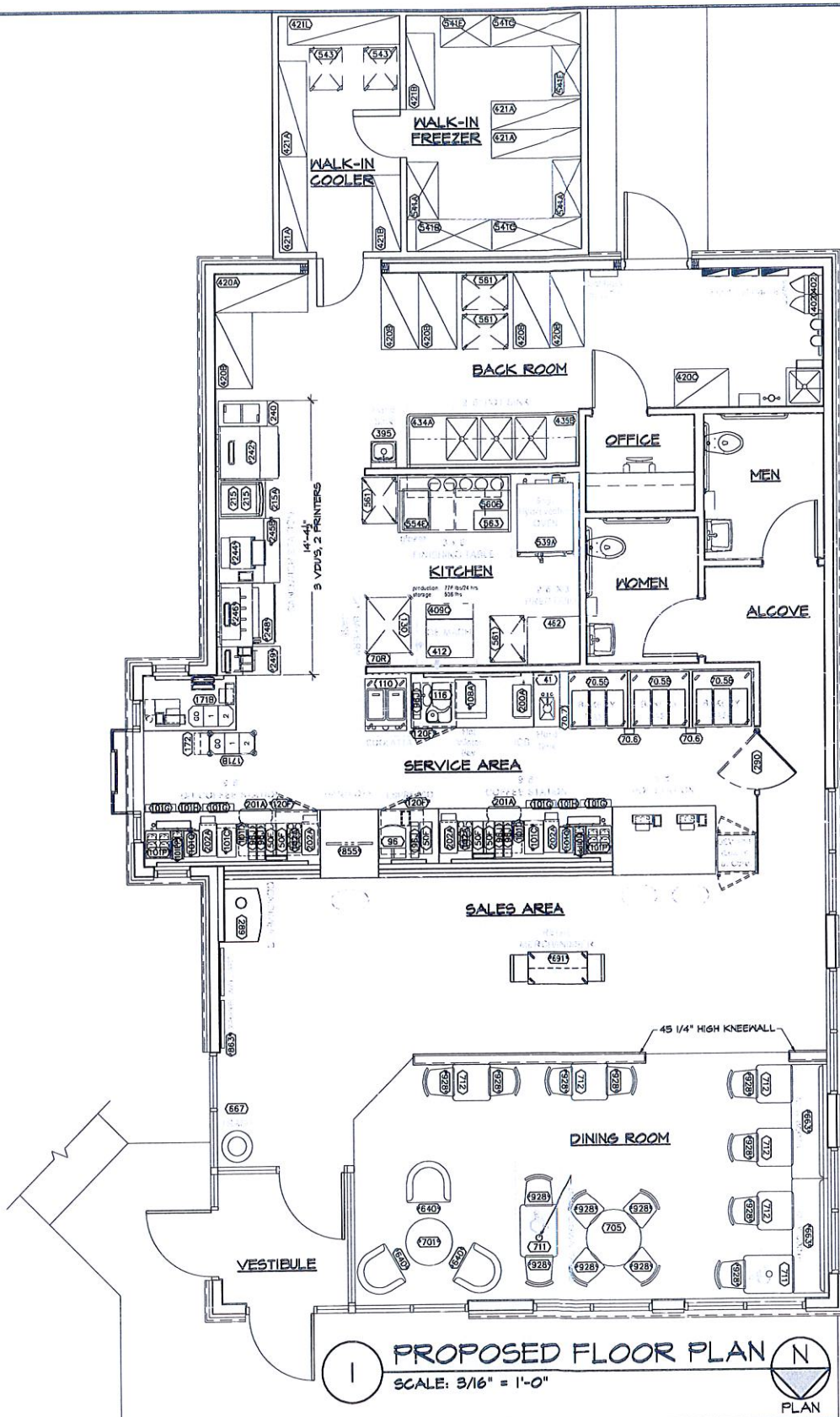


2 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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**AHARONIAN
& ASSOCIATES INC.**
ARCHITECTS

310 George Washington Highway
Suite 100
Smithfield, Rhode Island
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T 401-232-5010
F 401-232-5080
WWW.ARCH-ENG.COM

REVISIONS		
NUMBER	REMARKS	DATE

PROJECT TITLE

DUNKIN' BRANDS
[dunkin' brands]
PC# 333439

409 WEST MAIN STREET
BATAVIA, NY
GENESEE COUNTY

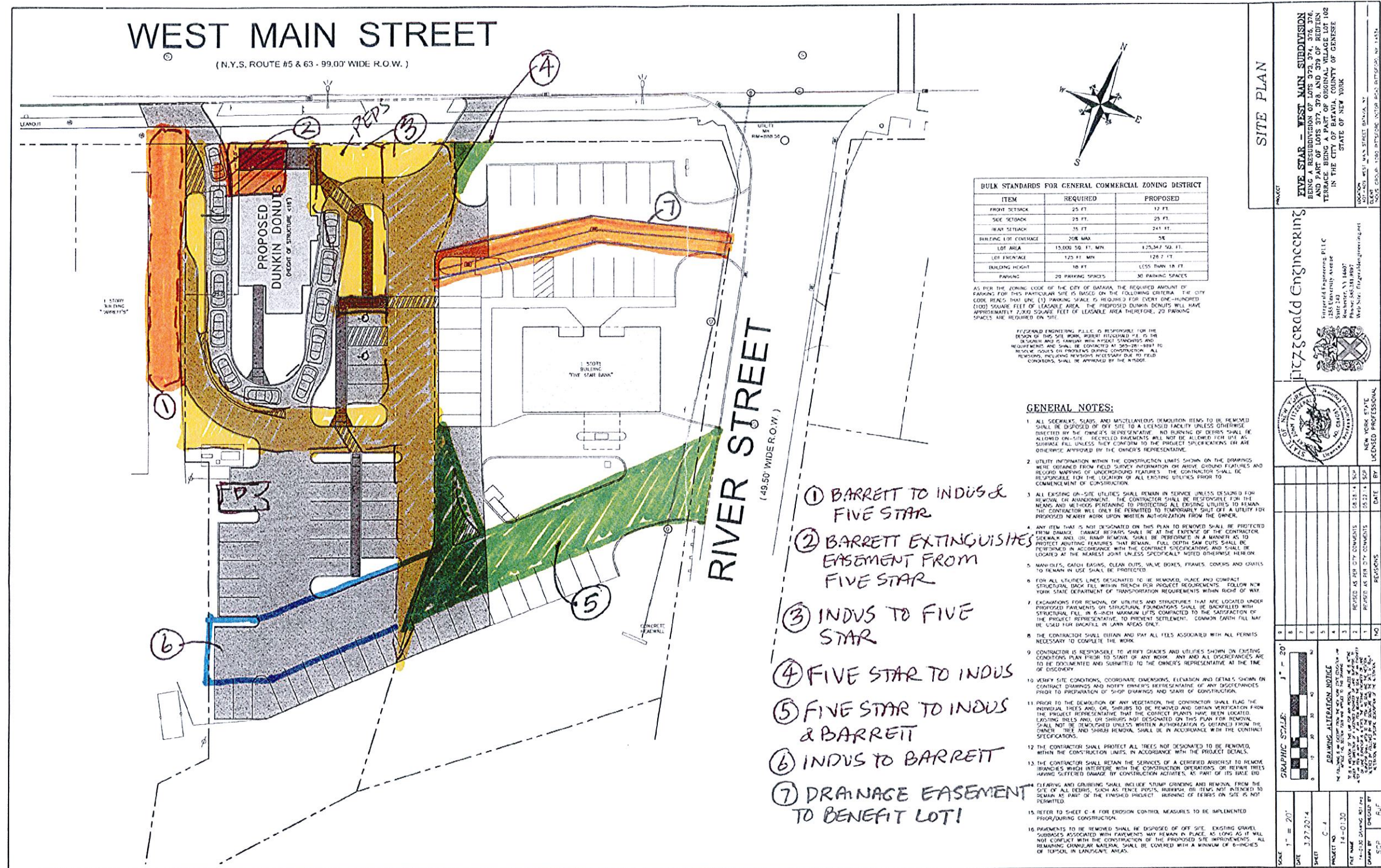
FOR REVIEW

DRAWING TITLE

**PROPOSED
FLOOR PLAN**

DATE SEPT 24, 2015	PROJ NO 15080
DRAWN BY JB	CHECKED BY AZ
DRAWING NUMBER K1.1	

10/5/15 KF
Rev 10/27/15 KF



SITE PLAN DRAWINGS

FOR

CITY OF BATAVIA DUNKIN DONUTS

401-409 WEST MAIN STREET
CITY OF BATAVIA, COUNTY OF GENESEE, STATE OF NEW YORK

STANDARD ABBREVIATIONS			
ASPH	=	ASPHALT	
BC	=	BOTTOM OF CURB	
BO	=	BOTTOM OF OPENING	
CAP	=	CORRUGATED ALUMINUM PIPE	
CB	=	CATCH BASIN	
CP	=	CAST IRON PIPE	
CMP	=	CORRUGATED METAL PIPE	
CHF	=	COULD NOT FIND	
CONC	=	CONCRETE	
CP	=	CONCRETE PIPE	
CSP	=	CORRUGATED STEEL PIPE	
CULV	=	CULVERT	
DIP	=	DUCTILE IRON PIPE	
DIA	=	DIAMETER	
DMH	=	DRAINAGE MANHOLE	
DS	=	DRAINAGE STRUCTURE	
DWG	=	DRAWINGS	
EA	=	EACH	
EHW	=	EXTREME HIGH WATER	
EL	=	ELEVATION	
ELEV	=	ELEVATION	
ELW	=	EXTREME LOW WATER	
ES	=	END SECTION	
FP	=	FIRE PROTECTION	
G	=	GAS	
HDPE	=	HIGH DENSITY POLYETHYLENE PIPE	
HM	=	HEADMILL	
INV	=	INVERT	
IP	=	IRON PIN OR IRON PIPE	
LF	=	LINEAR FOOT (FEET)	
LP	=	LIGHT POLE	
MAX	=	MAXIMUM	
MB	=	MAILBOX	
MH	=	MANHOLE	
MIN	=	MINIMUM	
MHW	=	MEAN HIGH WATER	
MON	=	MONUMENT	
N&W	=	NAIL AND WASHER	
OD	=	OUTER DIAMETER	
OG	=	ORIGINAL GROUND	
OHW	=	ORDINARY HIGH WATER	
OLW	=	ORDINARY LOW WATER	
O/H	=	OVERHEAD	
PAVT	=	PAVEMENT	
PVC	=	POLYVINYL CHLORIDE PIPE	
RCP	=	REINFORCED CONCRETE PIPE	
R	=	RADIUS	
RIM	=	RIM OF DRAINAGE STRUCTURE	
RR	=	RAILROAD	
RW	=	RETAINING WALL	
SF	=	SQUARE FOOT (FEET)	
SHLDR	=	SHOULDER	
SIOPP	=	SMOOTH INTERIOR CORRUGATED PIPE	
ST	=	STREET	
STY	=	STORY	
SW	=	SIDEWALK	
SWPPP	=	STORMWATER POLLUTION PREVENTION PLAN	
TC	=	TOCH OF CURB	
TG	=	TOP OF GRATE	
TYP	=	TYPICAL	
UMH	=	UNKNOWN MANHOLE	
U/G	=	UNDERGROUND	
VCP	=	VITRIFIED CLAY PIPE	
WS	=	WATER SERVICE	
WW	=	WING WALL	
W/	=	WITH	

Fitzgerald Engineering, PLLC

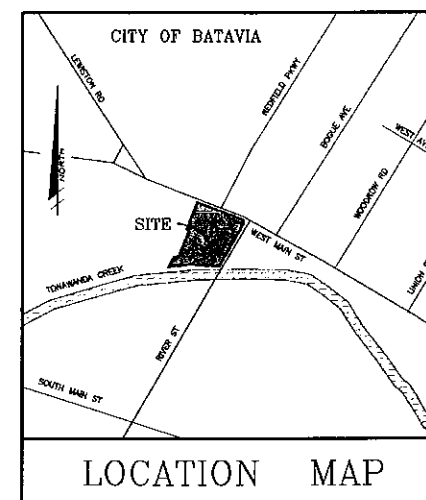
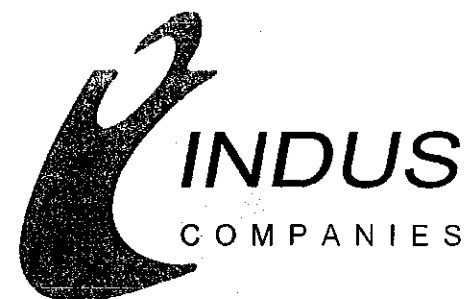


1255 University Avenue
Suite 240
Rochester, NY 14607
Phone: 585.281.9897
Web Site: fitzgeraldengineering.net

LINE LEGEND			
---	PROPERTY BOUNDARY LINE	---	SANITARY SEWER MAIN
---	PROPOSED CONTOUR LINE	---	SANITARY LATERAL
---	EXISTING CONTOUR LINE	---	STORM SEWER MAIN
---	OVERHEAD WIRES	---	STORM SEWER LATERAL
---	UNDERGROUND UTILITIES	---	GAS MAIN
---	WATER MAIN	---	GAS SERVICE
---	WATER SERVICE	---	FILTER FABRIC
---	FIRE SERVICE	---	VEGETATION
LINE STYLES			
---	FEATURE TO BE REMOVED (FADED LINE WEIGHT)		
---	EXISTING FEATURE (LIGHT LINE WEIGHT)		
---	PROPOSED FEATURE (HEAVY LINE WEIGHT)		

TABLE OF CONTENTS:

1. EXISTING CONDITIONS MAP
2. SUBDIVISION PLAT
3. SITE PREPARATION PLAN
4. SITE PLAN
5. UTILITY PLAN
6. GRADING/E&SC PLAN
7. LANDSCAPE PLAN
8. LIGHTING PLAN
9. DETAIL SHEET (SITE)
10. DETAIL SHEET (UTILITIES)
11. DETAIL SHEET (E&SC/LANSCAPE)



SYMBOL LEGEND			
---	SIGN	---	STORM MANHOLE
---	UTILITY POLE	---	CATCH BASIN
---	CURB BOX	---	TREE TO BE REMOVED
---	FLOW ARROW	---	TREE PROTECTION
---	WATER VALVE	---	CONIFEROUS TREE
---	FIRE HYDRANT	---	DECIDUOUS TREE
---	GAS VALVE	---	BORING PIT LOCATION
---	SANITARY MANHOLE	---	LIGHT POLE
---	SANITARY CLEANOUT	---	STONE CHECK DAM

WEST MAIN STREET

(N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W.)

UFPO NOTE
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE FOR ORIGIN OF THIS PLAN TO LOCATE BURIED UTILITIES/STRUCTURES. CALL UFPO AT 1-800-962-7962 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK FOR FIELD VERIFICATION OF UTILITY TYPES AND LOCATIONS.

DIG SAFELY - NEW YORK
Underground Facilities Protective Organization
1-800-962-7552

GENERAL NOTES:

1. THERE SHALL BE NO INTERRUPTION OF ANY UTILITY SERVICE, UNLESS WRITTEN APPROVAL TO DO SO IS OBTAINED FROM THE OWNER.
2. THE LOCATIONS, SIZES, AND ELEVATION OF THE EXISTING UTILITIES SHOWN HEREIN ARE BASED ON RECORD DRAWINGS AND FIELD VERIFICATION WHERE POSSIBLE. THIS INFORMATION IS SHOWN AS APPROXIMATE ONLY AND ITS ACCURACY IS NOT GUARANTEED. AS SUCH, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION.
3. ALL UTILITIES AND SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS.
4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AHEAD OF TRENCHING SO THAT ADJUSTMENTS CAN BE MADE IN ELEVATION AND, OR, ALIGNMENT TO PREVENT CONFLICTS, IF REQUIRED.
5. THE PROPOSED LOCATION OF THE WATER, GAS, AND ELECTRIC UTILITIES ARE BASED ON HORIZONTAL ALIGNMENT ONLY. THUS, THE CONTRACTOR MAY HAVE TO INSTALL THESE UTILITIES AT DEPTHS GREATER THAN SPECIFIED TO AVOID VERTICAL CONFLICTS WITH OTHER SITE FEATURES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND REMOVAL OF ALL SHEETING OR SHORING, AS PART OF ITS BASE BID, AND ALL WORK SHALL BE IN CONFORMANCE WITH THE CONTRACT REQUIREMENTS.
7. ALL EXISTING PAVEMENTS TO BE CROSSED BY UTILITY INSTALLATIONS SHALL BE SAW CUT AT

- OR BEYOND THE REQUIRED LIMIT OF DISTURBANCE AND RESURFACED TO THE EDGE OF THE EXISTING PAVEMENT. INSTALLATION OF UTILITIES UNDER NEW PROJECT PAVEMENTS SHALL NOT BE PERMITTED UNLESS THE CONTRACTOR RESURFACES THE ENTIRE AREA AT THE CONTRACTOR'S EXPENSE.
8. ALL EXISTING UTILITIES TO BE CROSSED AND ALL UTILITY POLES NEAR EXCAVATIONS SHALL BE PROTECTED, PRESERVED, AND SUPPORTED AS NECESSARY BY THE CONTRACTOR AS PART OF THE CONTRACTOR'S BASE BID.
9. ANY EXISTING STORM DRAINAGE PIPES, INCLUDING DRIVEWAY CULVERTS, WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH CORRUGATED SMOOTH INTERIOR POLYETHYLENE PIPE WHICH CONFORMS TO AASHTO SPEC. M294 TYPE S, ASTM SPEC. D3350, NYSDOT ENGINEERING INSTRUCTION #90-35, AND NYSDOT STANDARD SPECIFICATION SUBSECTION 706-14.
10. ALL EXISTING AND PROPOSED STORM SEWER INLETS SHALL BE PROTECTED UNTIL FINAL STABILIZATION IS ACHIEVED, AS SPECIFIED ON THE GRADING PLAN AND WITHIN THE CONTRACT SPECIFICATIONS. IF CONTAMINATED, THE CONTRACTOR SHALL CLEAN SEWER INLETS, PIPES, AND THE POND, AT THE CONTRACTOR'S EXPENSE, PRIOR TO ISSUANCE OF SUBSTANTIAL COMPLETION.
11. EXISTING UNDERGROUND UTILITIES THAT ARE NOT DESIGNATED TO BE REMOVED SHALL BE CONSIDERED ACTIVE. AS SUCH, ALL EXISTING UNDERGROUND UTILITIES SHALL BE PROTECTED FROM DAMAGE UNLESS OTHERWISE SPECIFIED FOR ALTERATION AS PART OF THIS PROJECT.
12. THE CONTRACTOR SHALL SURROUND ALL OPEN EXCAVATIONS, HAZARDOUS ITEMS, AND ITEMS REQUESTED BY THE PROJECT REPRESENTATIVE WITH ORANGE TEMPORARY CONSTRUCTION SAFETY FENCE. THE FENCE SHALL BE A MINIMUM 72 INCHES TALL AND MOUNTED ON RIGID POSTS SPACED NO GREATER THAN 48 INCHES APART. THE PERIMETER OF THE CONSTRUCTION LIMIT SHALL BE SURROUNDED WITH TEMPORARY CONSTRUCTION SECURITY FENCE CONTAINING CAUTION SIGNS, IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS. FENCES MAY BE TEMPORARILY REMOVED TO FACILITATE EARTHWORK DURING CONSTRUCTION HOURS. UPON COMPLETION OF THE PROJECT, ALL TEMPORARY FENCING, POSTS, AND CAUTION SIGNS SHALL BE REMOVED.

UTILITY PLAN

FIVE STAR - WEST MAIN SUBDIVISION
BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376, 377, 378, AND 379 OF REDBERRY TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESSEE STATE OF NEW YORK

LOCATION: 401-405 WEST MAIN STREET, BATAVIA, NY

ADJACENT GROUP: 1080 PITTSFORD VICTOR ROAD, PITTSFORD, NY 14534

Fitzgerald Engineering, PLLC
1245 University Avenue
Suite 240
Rochester, NY 14607
Phone: 585.281.9897
Web Site: fitzgeraldengineering.com



NO.	REVISIONS	DATE	BY
1	REVISED AS PER CITY COMMENTS	05.22.14	SCP
2	REVISED AS PER CITY COMMENTS	08.28.14	SCP
3	REVISED AS PER CITY COMMENTS	10.21.15	SCP
4			
5			
6			
7			
8			
9			

GRAPHIC SCALE: 1" = 20'

DRAWING ALTERATION NOTICE
THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EXCAVATION LAW ARTICLE 145, SECTION 2600 AND APPLIES TO THIS DRAWING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A PERMIT TO EXCAVATE AND TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND REMOVAL OF ALL SHEETING OR SHORING, AS PART OF ITS BASE BID, AND ALL WORK SHALL BE IN CONFORMANCE WITH THE CONTRACT REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND REMOVAL OF ALL SHEETING OR SHORING, AS PART OF ITS BASE BID, AND ALL WORK SHALL BE IN CONFORMANCE WITH THE CONTRACT REQUIREMENTS.

PROJECT NO.: C-5
DATE: 3.27.2014
FILE NAME: 14-0130
14-0130 DRAWINGS ROLLING
DOWN BY: CHECKED BY: R/J
SCP

(N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W.)



1 STORY
BUILDING
"BARRETT'S"

"FIVE STAR BANK"

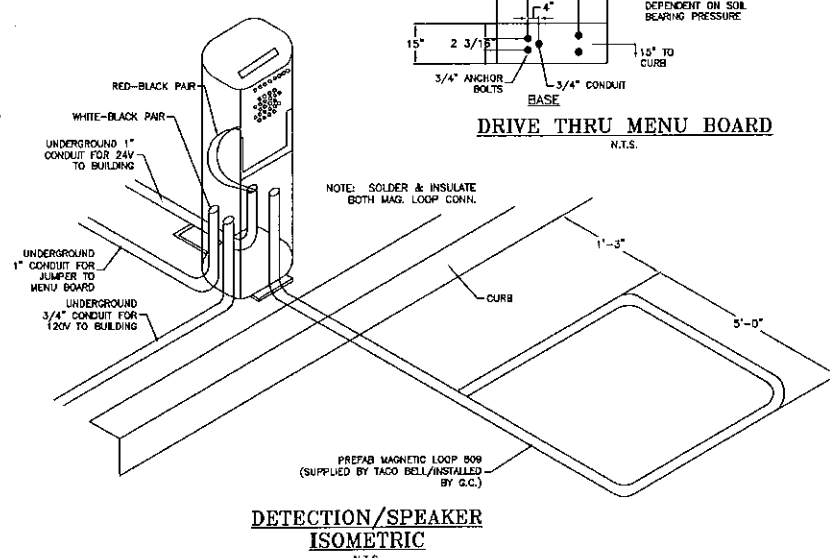
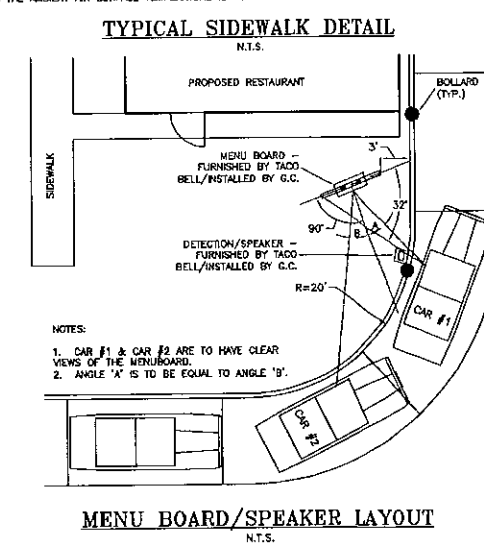
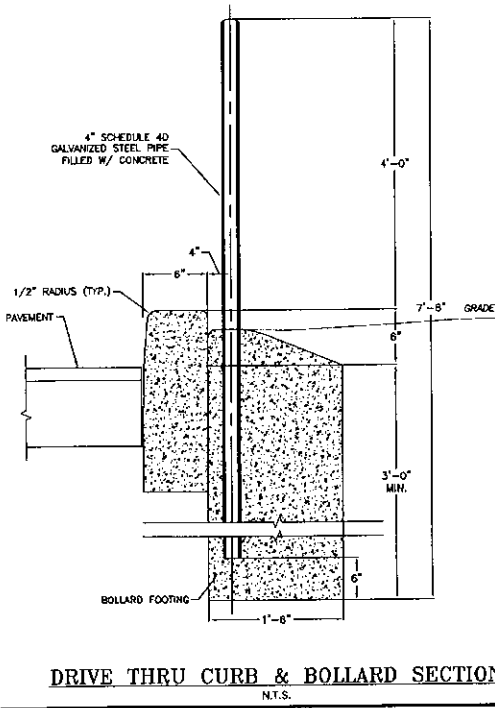
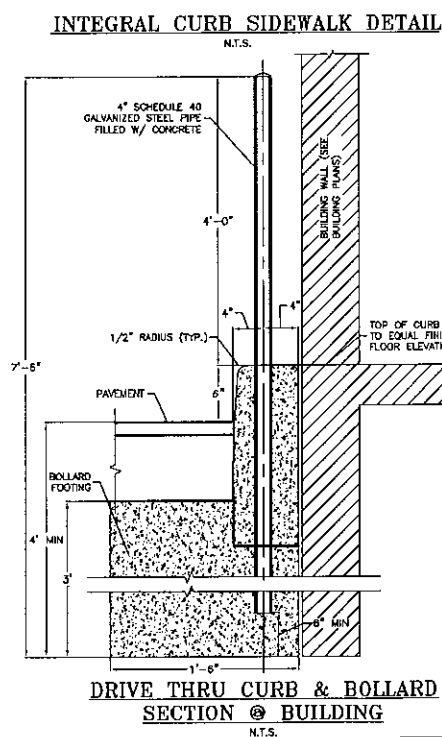
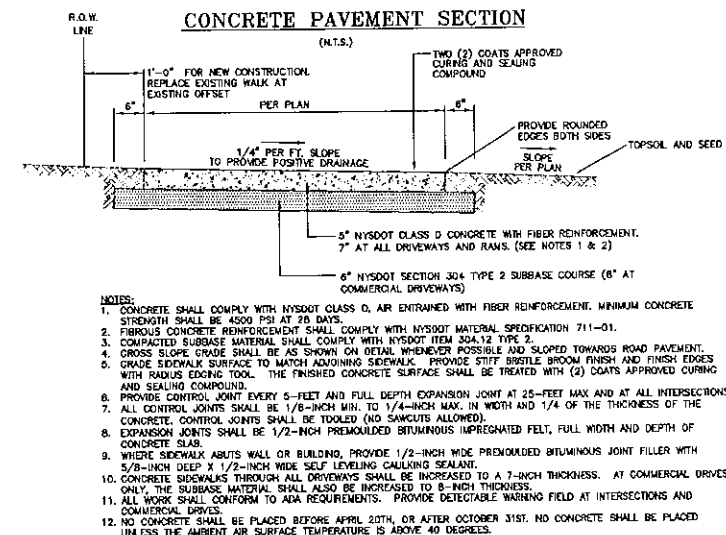
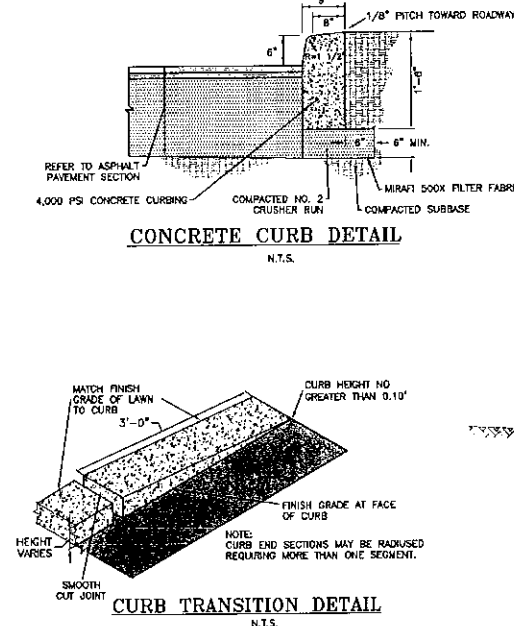
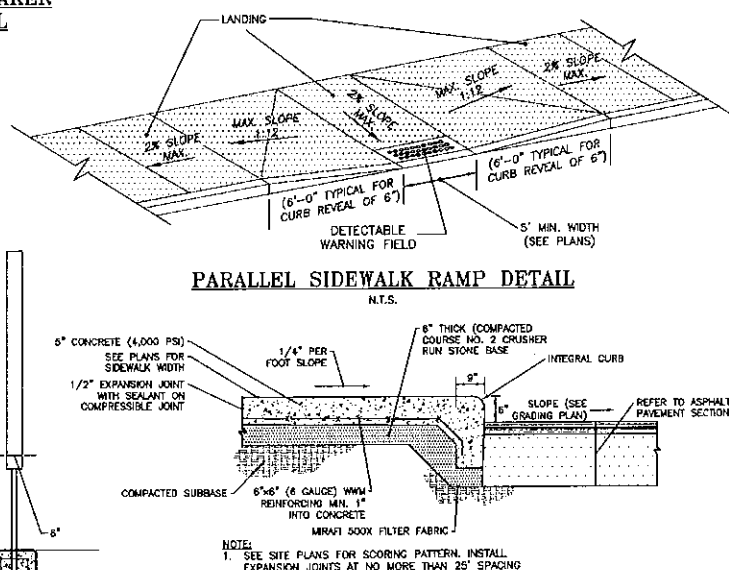
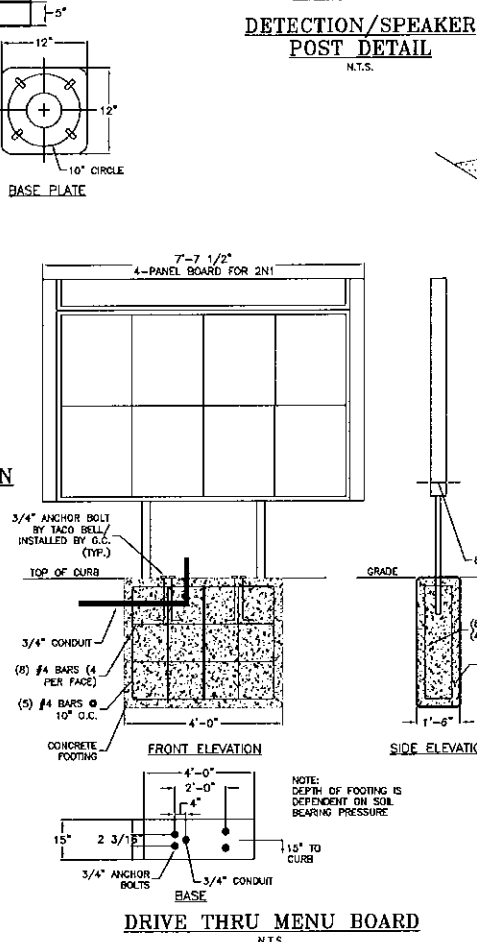
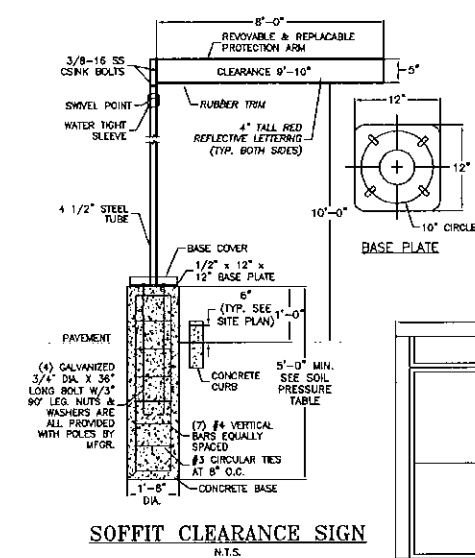
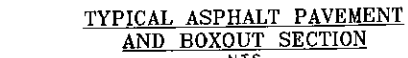
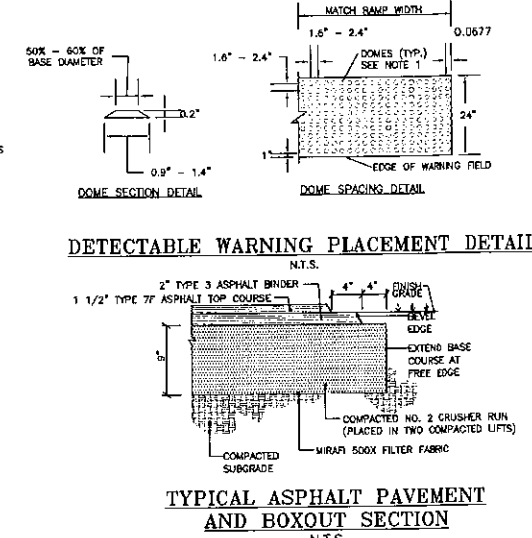
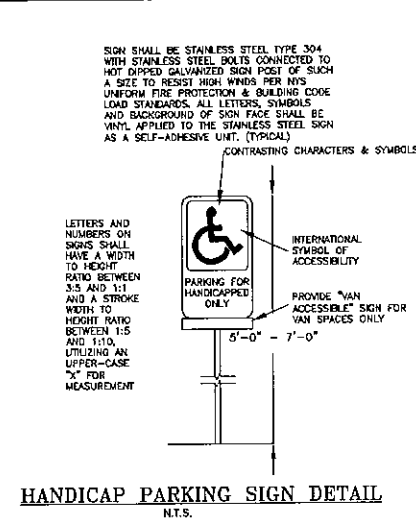
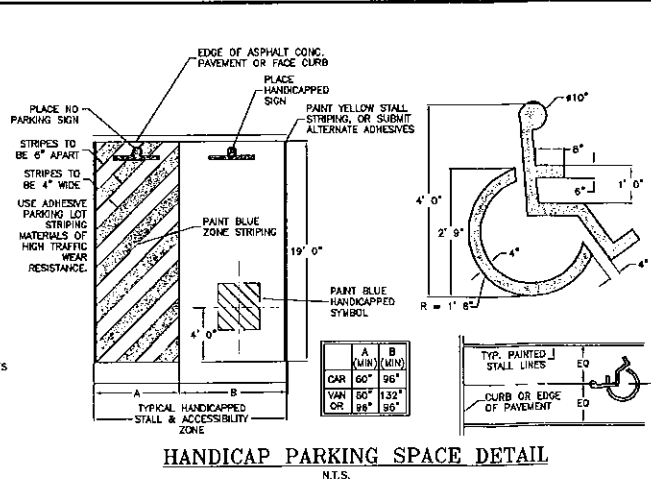
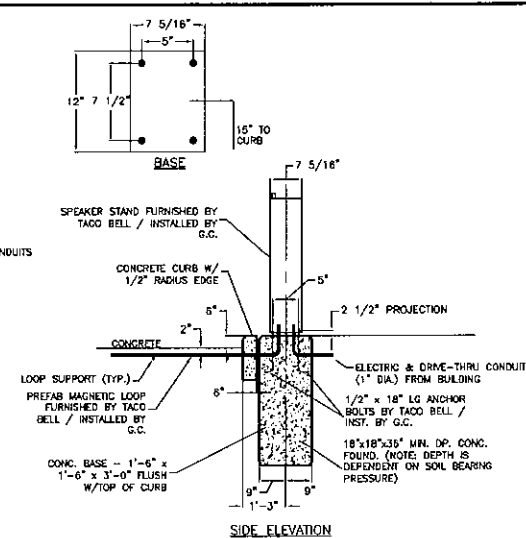
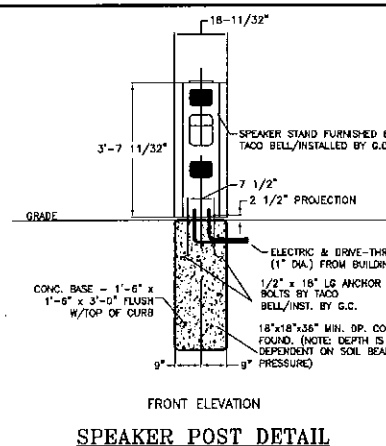
RIVER STREET

(49.50' WIDE STREET)

(49.50' WIDE R.O.W.)

Calculation Summary							
Label	CalcType	Avg	Max	Min	Avg/Min	Max/Min	Units
SITE Planar	Illuminance	4.73	26.9	0.0	N.A.	N.A.	Fc
PARKING LOT & DRIVE LANES	Illuminance	6.18	26.9	0.1	61.80	269.00	Fc

[illegible]



DETAIL SHEET

WITZGARD Engineering

FIVE STAR -- WEST MAIN SUBDIVISION
BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376,
AND PART OF LOTS 377, 378, AND 379 OF REDFERN
TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102
IN THE CITY OF BATavia, COUNTY OF GENESEE
STATE OF NEW YORK

LOCATION	101-409 WEST MAIN STREET BAYAMA, NY
AGENT	4000 NORTHERN WOODS ROAD, PITTSFORD, NY 14524

Fitzgerald Engineering, PLLC
 1000 N. 1st Street, Suite 100
 Raleigh, NC 27601
 Phone: 919.781.1111
 Fax: 919.781.1112
 Email: info@fe-engineering.com
 Website: www.fe-engineering.com

1255 University Avenue
Suite 240
Rochester, NY 14607
Phone: 585.281.9897
Web Site: fzrvertdesigninc.com



100

NEW YORK STATE
LICENSED PROFESSIONAL

	REVISED AS PER CITY COMMENTS	10.21.15 SCP
	REVISED AS PER CITY COMMENTS	08.28.14 SCP

REVISED AS PER CITY COMMENTS	05.22.14	SCP
REVISIONS	DATE	BY

6	
5	
4	
3	
2	

DRAWING ALLOCATION NOTICE

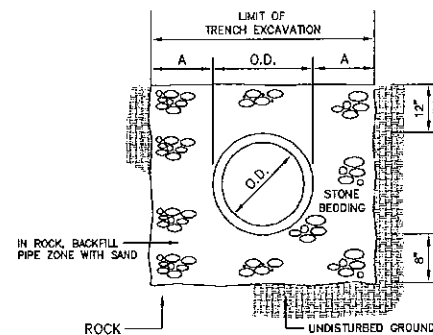
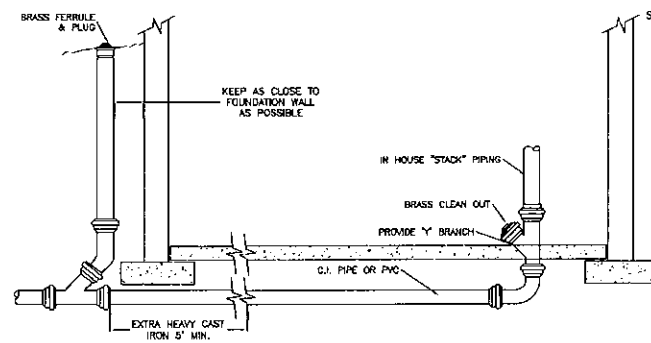
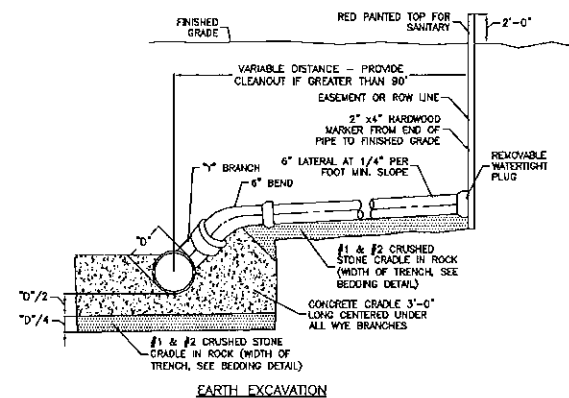
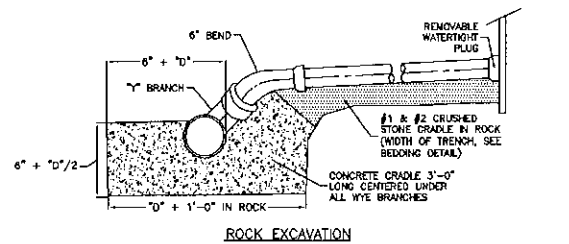
THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW
 ARTICLE 140, SECTION 720 AND APPLIES TO THIS DRAWING:

IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE IS ACTING
 UNDER THE DIRECTION OF A LICENSED ENGINEER, TO PREPARE OR ENGINEER
 ANY DRAWING FOR THE USE OF ANY ENGINEER.

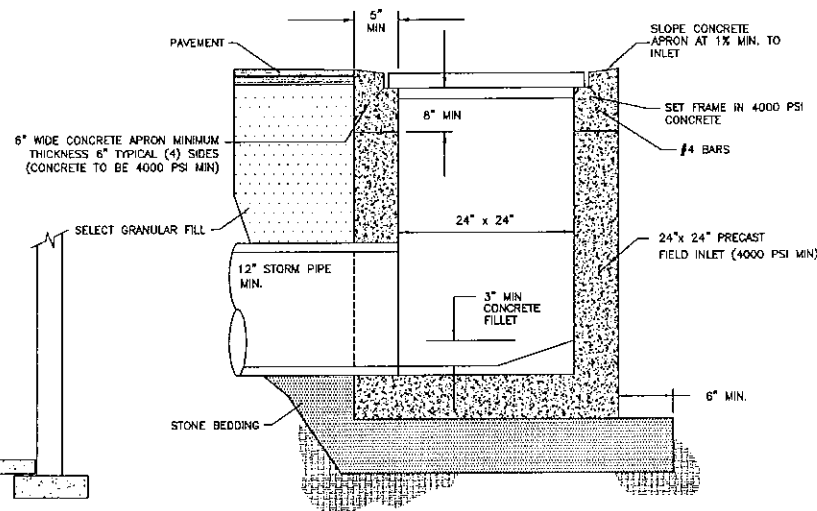
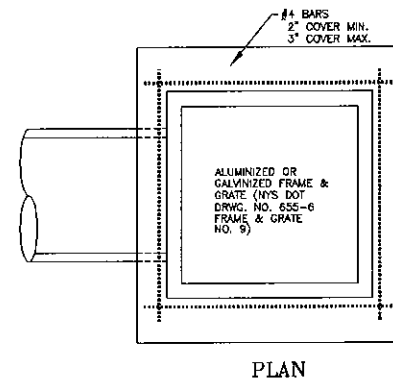
1	THE ALTERING ENGINEER OR LAND SURVEYOR IS ALTERED THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A BRIEF DESCRIPTION OF THE ALTERATION.
NO	

03.27.2014			
SHEET	C-9	PROJECT NO.	14-0130
		FILE NAME	

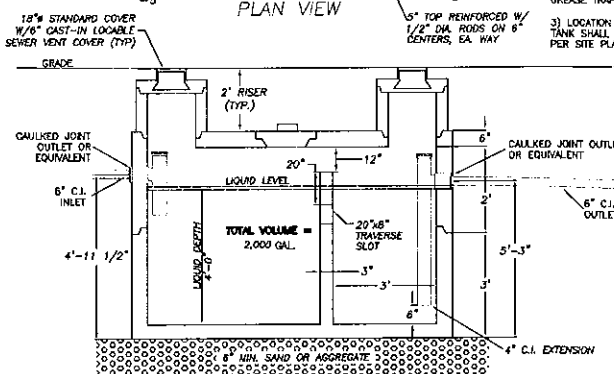
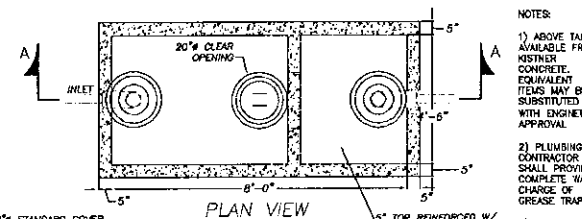
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DRAWN BY	SCP	CHECKED BY RJF



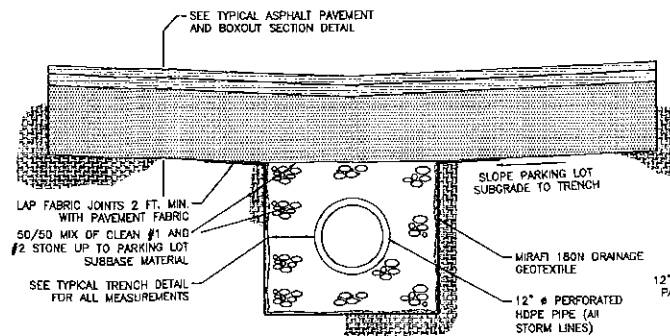
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UP TO 18"	1.0'	6"
21" TO 36"	1.5'	9"
OVER 36"	1.5'	12"



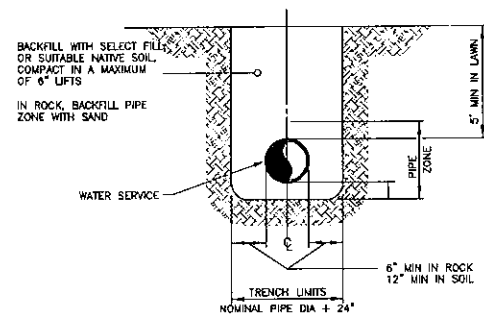
SECTION
STANDARD DROP INLET
N.T.S



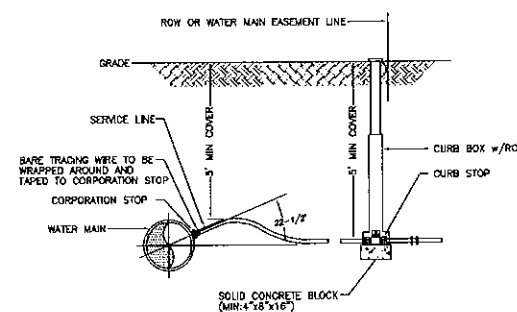
GREASE TRAP DETAILS
H-20 LOAD FOR TRAFFIC:
N/A



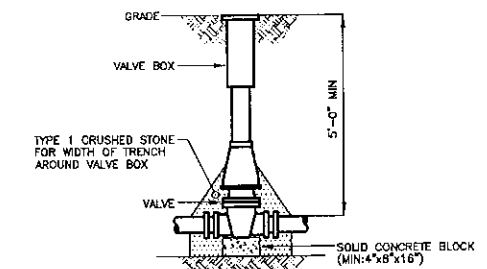
TYPICAL STORMWATER TRENCH DETAIL
N.T.S.



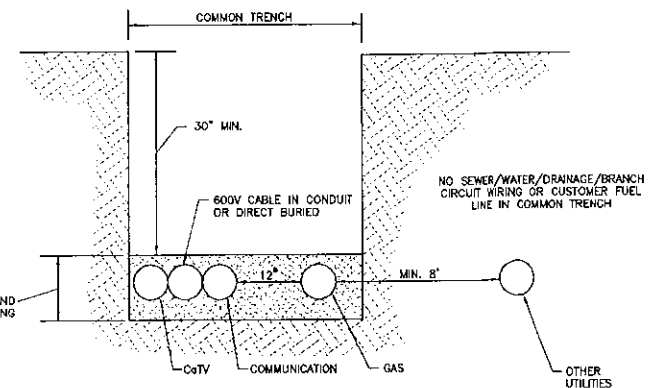
WATER TRENCH DETAIL
N.T.S.



SERVICE INSTALLATION
(N.T.S.)



VALVE DETAIL
N.T.S.



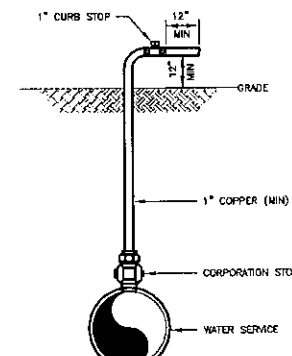
COMMON UTILITY TRENCH
(N.T.S.)

1. WATER SERVICE LINES (LATERALS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MORRIS COUNTY WATER AUTHORITY.
2. WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE.
3. WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
4. WATER SERVICE LINES SHALL BE IDENTIFIED AS:

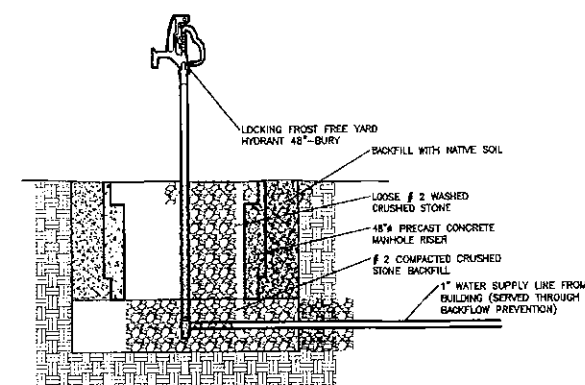
LATERAL IDENTIFICATION	SIZE(1)	MATERIAL(2)	TYPE(3)
MOWA PORTION = FROM THE WATER MAIN TO THE CURB BOX	1"	COPPER TUBING	DS
PRIVATE PORTION = FROM THE CURB BOX TO THE METER	1"	COPPER TUBING	DS

- (1) MINIMUM SIZE IS 1-INCH.
 - (2) ACCEPTABLE MATERIALS ARE EITHER TYPE "C" COPPER OR POLYETHYLENE PLASTIC PE, #3408, SDR 9, ASTM 2737, NSF-PW, 200 PSI (1.125" OD).
 - (3) SERVICE TYPES INCLUDE DOMESTIC = DS, FIRE = FS, OR COMBINED = CUB
5. THE MCHWA PORTION OF THE WATER SERVICE LINE SHALL BE INSTALLED AFTER THE PRIVATE PORTION.
6. METER IN TILE AT STREET FOR ALL RESIDENCES PROPOSED.

PUBLIC WATER SERVICE LINE NOTES



DISINFECTION/BLOW-OFF/SAMPLING TAP
N.T.S.




FROST FREE YARD HYDRANT
N.T.S.

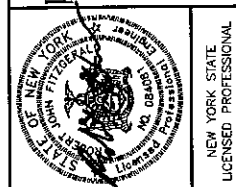
DETAIL SHEET

FIVE STAR — WEST MAIN SUBDIVISION
BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376,
AND PART OF LOTS 377, 378 AND 379 OF DEED NO. 102
TERrace, BEING A PART OF ORIGINAL VILLAGE LOT 102
IN THE CITY OF BATAVIA, COUNTY OF GENESSEE
STATE OF NEW YORK

LOCATION:
401-403 WEST MAIN STREET, BATAVIA, NY
NORIS GROUP, 1080 PITTSFORD VICTOR ROAD, PITTSFORD, NY 14534



Fitzgerald Engineering
 Fitzgerald Engineering, PLLC
 1255 University Avenue
 Suite 240
 Rochester, NY 14607
 Phone: 585.281.8997
 Web Site: fitzgeraldengineering.net



9				
8				
7				
6				
5				
4				
3	REVISED AS PER CITY COMMENTS	10.21.15	SCP	
2	REVISED AS PER CITY COMMENTS	05.28.14	SCP	
1	REVISED AS PER CITY COMMENTS	05.22.14	SCP	
N/A	REVISIONS	DATE	BY	

DRAWING ALIENATION NOTICE

SCALE	NOT TO SCALE
DATE	03.27.2014
SHEET	C-10
PROJECT NO.	14-0130
FILE NAME	14-0130 DRAWINGS R01.dwg
DRAWN BY	CHECKED BY

