

PLANNING & DEVELOPMENT COMMITTEE

Tuesday, October 16, 2018

6:00 pm

Council Board Room

One Batavia City Centre, Batavia NY

AGENDA

- I. Roll Call
- II. Call to Order
- III. Approval of Minutes – 9/18/18
- IV. Proposals

Address: 219 East Main St.
Applicant: Scott Neff (owner)

Proposal 1: Alter the exterior appearance to this building by removing all aspects of the existing drive-through banking teller equipment and canopy structure on the west elevation of this one-story commercial building. The existing masonry wall will be restored to match the appearance of the existing surfaces as closely as possible

Actions: 1. Review application
2. Discussion and action by the board

Address: 54 Cedar St.
Applicant: Peter Yasses

Proposal 2: Use Variance to allow individual public storage rental unit buildings with outside storage on this vacant parcel located within the I-2 Industrial District

Actions: 1. Review application
2. Discussion and recommendation to the ZBA

Address: 4A Treadeasy Ave.
Applicant: Alex Amering, PE (Project Manager for Amada Tool)

Proposal 3: Site Plan approval for expansion of an existing 49,000 sq.' manufacturing facility by placing a 19,000 sq.' one-story addition with associated site work on the west side of this parcel

Actions: 1. Review application
2. Public hearing
3. SEQR
4. Discussion and action by the board

Address: 312 Ellicott St.

Applicant: Rick Mancuso (owner)

Proposal 4: Demolition Permit to demolish and remove a “non-conforming use” two-family dwelling from this parcel located in the Central Commercial District. The applicant proposes to redevelop the parcel for use as a permitted principal use parking area

Actions:

1. Review application
2. Discussion by the board
3. SEQR
4. Action by the board
5. Recommendation to the ZBA for two Area Variances

V. Other/ New Business/Updates

VI. Setting of Next Meeting: November 20, 2018

VII. Adjournment

PLANNING & DEVELOPMENT COMMITTEE

DRAFT MINUTES

September 27, 2018

6:00 pm

Council Board Room

One Batavia City Centre, Batavia NY

Members present: *Edward Flynn, Tammy Hathaway, Robert Knipe, Duane Preston*

Members absent: Matt Gray, Marc Staley

Others present: Meg Chilano – Recording Secretary, Doug Randall – Code Enforcement Officer

I. Roll Call

Roll call of the members was conducted. Four members were present and Chairman Duane Preston declared a quorum.

II. Call to order

Mr. Preston called the meeting to order at 6:02 pm.

III. Previous Meeting Minutes

There were no corrections to the minutes. Mr. Preston assumed the motion and the minutes were approved as written by unanimous consent.

RESULT: Approval of August 21, 2018 meeting minutes.

IV. Proposals

- A. Recommendation to the ZBA for an Area Variance: widen an existing 20' wide asphalt driveway by placing 12.58' of asphalt to the east (right) side of the existing driveway

Address: *7 Burke Dr.*

Applicant: John Bryant DeGolia (owner)

- Actions:
1. Review application
 2. Discussion and recommendation to the ZBA

1. Review Application

Mr. Preston read the summary of the proposal.

2. Discussion and Recommendation by the Board

Mr. DeGolia explained that in the neighborhood where he lives, no one parks on the street. Since the lower part of the driveway needs repair, he would like to widen it at the same time. Also, the fire hydrant in the middle of his front yard must be kept clear so there is no place for visitors to park. He noted that if he was able to get his truck into the driveway, it would make it easier for plows to remove snow from the street.

Mr. Flynn asked if Mr. DeGolia puts his vehicles in the garage and Mr. DeGolia said that he does.

Mr. Flynn pointed out that the space in the driveway along with the space in the garage allows for four parking places. Mr. DeGolia responded that he has three vehicles and the driveway does not allow enough space for him to park his truck in the driveway without tearing up his yard.

Mr. Flynn wanted to know why Mr. DeGolia would want to extend the driveway beyond the front of the garage. Mr. DeGolia said that he is anticipating the addition of a trailer of some sort and he would like to park it next to the garage.

The board members discussed the sharpness of the driveway and how it should be tapered instead. Mr. Flynn asked if the width could be reduced by 2' to make the total width 30'. Mr. DeGolia said that would be fine.

Mr. Knipe asked if Mr. DeGolia's intention is to make the driveway look like the driveway of the neighbor to the east, and Mr. DeGolia said yes.

MOTION: Mr. Flynn moved to recommend approval of Area Variance with the following modifications: the amount of the addition to the driveway is reduced to 10'; and, the driveway will be tapered toward the rear. The motion was seconded by Mr. Knipe, and on roll call, was approved 4-0.

RESULT: Recommendation to the ZBA for approval of the Area Variance with modifications.

B. Recommendation to City Council for a proposed zoning change for these seven parcels from R-3 (Residential) to C-3 (Commercial)

Address: *110-116 Liberty St.; 42 Central Ave.; 112-116 Liberty St.; 118-120 Liberty St.; 122 Liberty St.; 122-124 Liberty St. Rear; 124-126 Liberty St.*

Applicant: Martin Macdonald (agent for City Church)

- Actions:
1. Review application
 2. Public hearing and discussion
 3. Recommendation to City Council

1. Review Application

Mr. Preston read the summary of the proposal. He reported that the Genesee County Planning Board recommended approval of the proposal with modifications, which is that 124-126 Liberty St. remain in the residential district. The Comprehensive Plan update recommended that this area should be zoned as Restoration/Residential, and keeping 124-126 Liberty St. in the residential district would provide a buffer between the commercial district and the residential district.

2. Public Hearing and Discussion

MOTION: Mr. Knipe moved to open the public hearing; the motion was seconded by Mr. Flynn, and on roll call, was approved 4-0.

RESULT: Public hearing opened at 6:14 pm.

Pastor Macdonald said that the parcels are being used to provide a place for young people to gather for art, dance, music, and other activities. The current zoning does not allow for the buildings to be used for these purposes.

Mr. Flynn asked if the property will include businesses that are for profit. Mr. Randall answered that City Church intends to lease the space, so there will be some business occupancy and some assembly occupancy, which are not permitted in a residential district.

Mr. Flynn asked why the proposed change is to C-3 rather than C-1. Mr. Randall pointed out that the parcels would adjoin an area that is already zoned C-3. Mr. Flynn said that he thinks making the parcels part of a C-1 district creates a better transition between the C-3 and R-3 zones. However, Mr. Randall explained that creating a zone different from any of the surrounding zones could be considered spot zoning.

Mr. Flynn asked if a Planned Development zone had been considered. Mr. Randall responded that the C-3 district was proposed because the parcels are adjacent to the C-3 zone, which allows the uses City Church has planned for the property. This solution would be the most direct and least complicated. Mr. Flynn expressed concern over what uses the property could be put to by future owners if City Church sold it.

Ms. Hathaway suggested restricting the title. Pastor Macdonald said restrictions have already been established. Mr. Flynn asked how long the restrictions last, but Pastor Macdonald did not know.

Mr. Flynn believes that a separate zone should be created to acknowledge the transitional nature of the property and the uses to which it could be put.

There was no one present who wished to speak, and no calls, letters, or email concerning the proposal.

MOTION: Mr. Flynn moved to close the public hearing; the motion was seconded by Ms. Hathaway, and on roll call, was approved 4-0.

RESULT: Public hearing closed at 6:32 pm.

Discussion on uses within particular zones continued. Mr. Randall showed the board the section of the Batavia Municipal Code regarding zoning uses, which indicated that City Church's plans could not be realized within a C-1 district.

3. Recommendation to City Council

MOTION: Mr. Knipe moved to recommend approval of the proposed zoning change of site plan from R-3 to C-3, with the exception of 124-126 Liberty St., which should remain the same; the motion was seconded by Mr. Preston, and on roll call, the vote was 2-1-1.

Votes in favor: 2 (Robert Knipe, Duane Preston)

Votes opposed: 1 (Edward Flynn)

Votes abstained: 1 (Tammy Hathaway)

RESULT: Report results to City attorney to determine if vote is sufficient for recommendation to City Council.

- C. Sign Code Review: City Council has requested that the PDC review the recently adopted sign code to determine if the application and implementation of the new code has been satisfactorily achieved and whether the desired results have been realized. Council wishes for the PDC to make recommendations regarding potential revisions to section 190-43 of the Batavia Municipal Code

Applicant: City Council

- Actions: 1. Review application
2. Discussion and recommendation to City Council

1. Review Application

Mr. Preston asked if everyone had read the summary of the proposed changes and had comments or questions.

2. Discussion and Recommendation to City Council

Mr. Flynn observed that the wording regarding menu signs is vague and could allow for the possibility for as many as eight drive-through signs. Mr. Randall suggested to change the wording to allow for a maximum of two drive-through menu signs.

Mr. Knipe noted that the code says menu signs must be 5' from property lines. He referred to the past situation with the Dunkin Donuts on West Main St. where the drive-through runs along the property line, and asked if that meant that the menu board would not be allowed on the side of the property line where it would be most easily seen. Mr. Randall verified that a menu sign would now not be allowed in such a location.

Mr. Flynn said he thought that 42 sq.' for a menu board was too large. Ms. Hathaway pointed out that if a patron driving a truck, a large menu board is necessary. Mr. Preston and Mr. Knipe agreed that 42 sq.' seemed an appropriate size.

Mr. Flynn reported that he had checked on the codes regarding electronic message boards in residential areas for Geneva, Clarence, Lockport, and Corning. Mr. Randall said that the change is in acknowledgement of technological advances. According to Mr. Randall, the change in this section is in response to problems encountered in the past year.

MOTION: Mr. Knipe moved to recommend approval of the changes to the Sign Code to City Council; the motion was seconded by Ms. Hathaway, and on roll call, was approved 3-1-0.

Votes in favor: 3 (Tammy Hathaway, Robert Knipe, Duane Preston)

Votes opposed: 1 (Edward Flynn)

Votes abstained: 0

RESULT: Recommendation to City Council for approval of the proposed changes to the Sign Code.

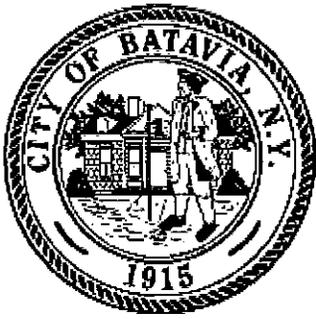
V. Other/New Business/Updates: none

VI. Setting of Next Meeting: October 16, 2018

VII. Adjournment

Mr. Knipe moved to adjourn the meeting at 7:05 p.m.; the motion was seconded by Mr. Preston. All voted in favor.

Meg Chilano
Bureau of Inspection Secretary



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 10/2/18

Re: **219 East Main St.**
Tax Parcel No. **84.011-1-21**

Zoning Use District: C-3

The applicant, Scott Neff (owner), is requesting approval to alter the exterior appearance to this building by removing all aspects of the existing drive-through banking teller equipment and canopy structure on the west elevation of this one story commercial building. The existing masonry wall will be restored to match the appearance of the existing surfaces as closely as possible.

Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (1).

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

City Planning and Development Committee- Pursuant to section 190-14 D(2)(a) of the zoning ordinance, the Planning and Development Committee shall review all applications for building permits that involve exterior changes in the Downtown Batavia Business Improvement District.

SEND OR DELIVER TO:
GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 344-2580 Ext. 5467

DEPARTMENT USE ONLY:
GCDP Referral # _____



*** GENESEE COUNTY *
PLANNING BOARD REFERRAL**

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) Planning and Development Committee
Address One Batavia City Centre
City, State, Zip Batavia, NY 14020
Phone (585) 345 - 6347 Ext. _____

2. APPLICANT INFORMATION

Name Scott Neff Ameriprise Financial Services Inc.
Address 335 Ellicott St.
City, State, Zip Batavia, NY 14020
Phone (585) 219 - 4602 Ext. _____ Email scott.neff@ampf.com

MUNICIPALITY: City Town Village of Batavia

3. TYPE OF REFERRAL: (Check all applicable items)

- | | | |
|---|---|---|
| <input type="checkbox"/> Area Variance | <input type="checkbox"/> Zoning Map Change | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance | <input type="checkbox"/> Zoning Text Amendments | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final |
| <input type="checkbox"/> Site Plan Review | <input checked="" type="checkbox"/> Other: <u>Exter. change in B.I.D.</u> | |

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

- A. Full Address 219 East Main St.
B. Nearest intersecting road Summit
C. Tax Map Parcel Number 84.011-1-21
D. Total area of the property _____ Area of property to be disturbed _____
E. Present zoning district(s) C-3

5. REFERRAL CASE INFORMATION:

- A. Has this referral been previously reviewed by the Genesee County Planning Board?
 NO YES If yes, give date and action taken _____
- B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

- C. Please describe the nature of this request Approval to alter the exterior appearance of a building in the B.I.D.

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

- | | | |
|---|--|---|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments | <input type="checkbox"/> New or updated comprehensive plan |
| <input type="checkbox"/> Site plan | <input type="checkbox"/> Location map or tax maps | <input checked="" type="checkbox"/> Photos |
| <input type="checkbox"/> Subdivision plot plans | <input type="checkbox"/> Elevation drawings | <input checked="" type="checkbox"/> Other: <u>cover letters</u> |
| <input type="checkbox"/> SEQR forms | <input type="checkbox"/> Agricultural data statement | |

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.
Email to planning@co.genesee.ny.us

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com

Douglas E. Randall

From: Neff, Scott <Scott.Neff@ampf.com>
Sent: Friday, September 28, 2018 4:31 PM
To: Douglas E. Randall
Subject: removal of drive-thru @ 219 East Main St

Doug, again thank you for taking the time to meet on site and address my questions. As we discussed, here is a picture of the drive-thru on our building that we would like permission to take down to enhance the exterior presence. The process involves demoing the rooftop overhang and taking out the correlating foundation. The affected drive-way areas will then be repaired and covered over with asphalt (the entire driving/parking surfaces will be resealed and striped in the spring). The exposed portion of the building from the overhang removal will be filled in with color matching brick. Please let me know if there is any additional information needed at this time.

Regards,



P.S. Are you ready to make the first step towards financial confidence? Take the [3-Minute Confident RetirementSM check](#) and share your results with me today.

Scott M. Neff

Financial Advisor | Senior Vice President
The Mulcahy Neff Group
A financial advisory practice of Ameriprise Financial Services, Inc.

.....
Ameriprise Financial Services, Inc.
335 Ellicott Street
Batavia, NY 14020

O: 585.219.4602 | F: 585.201.7247

Ameriprise Financial Services, Inc
259 Main Street, Suite 205
East Aurora, NY 14052

O: 716.652.0002

Support staff contact information is available on [my website](#)



*We shape financial
solutions for a lifetime®*

An Ameriprise Financial Franchise. Ameriprise Financial Services, Inc. offers financial advisory services, investments, insurance and annuity products. RiverSource® and Columbia Management® products are offered by affiliates of Ameriprise Financial Services, Inc., Member FINRA and SIPC.

From: Scott Neff <smneff69@gmail.com>
Sent: Friday, September 28, 2018 4:16 PM
To: Neff, Scott <Scott.Neff@ampf.com>
Subject:

Google Maps NY-5

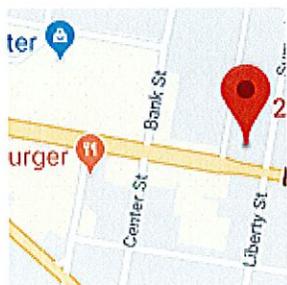


Image capture: Sep 2017 © 2018 Google

Batavia, New York

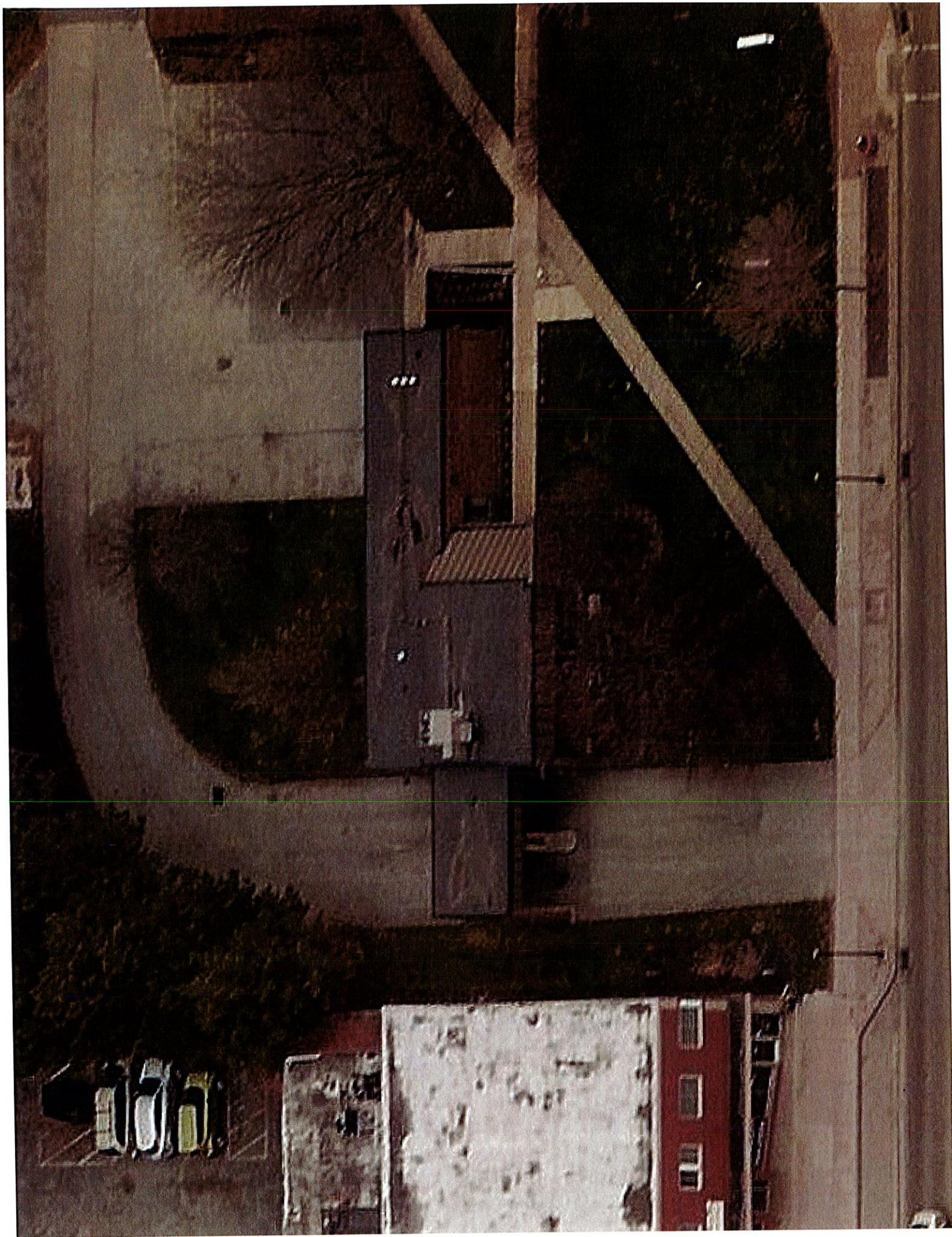
Google, Inc.

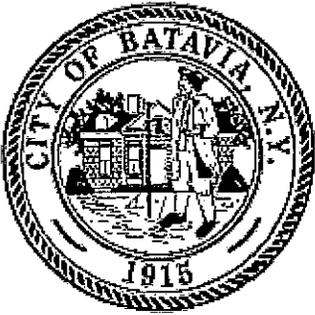
Street View - Sep 2017





E Main St





City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 10/2/18

Re: **54 Cedar St.**
Tax Parcel No. **84.020-1-10**

Zoning Use District: **I-2**

The applicant, Peter Yasses, has filed an application for a use variance to allow individual public storage rental unit buildings with outside storage on this vacant parcel located within the I-2 Industrial District.

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the boundary of a County or State park or other recreation area.

City Planning and Development Committee- Pursuant to section 190-49 C of the zoning ordinance, the Planning and Development Committee shall review applications for variances that include non-permitted uses and make recommendation to the ZBA.

Zoning Board of Appeals- Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Use

- 1) **BMC 190-16 Individual public storage rental units with outside storage area is not a permitted principal use in the I-2 industrial use district.**

The Zoning Board of Appeals will be the lead agency to conduct SEQR.

SEND OR DELIVER TO:
GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 344-2580 Ext. 5467

DEPARTMENT USE ONLY:
GCDP Referral # _____



*** GENESEE COUNTY *
PLANNING BOARD REFERRAL**

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) Zoning Board of Appeals

Address One Batavia City Centre

City, State, Zip Batavia, NY 14020

Phone (585) 345 - 6347 Ext. _____

2. APPLICANT INFORMATION

Name Peter Yasses

Address 6956 Byron-Holley Rd.

City, State, Zip Byron, NY 14422

Phone (585) 548 - 2564 Ext. _____ Email pyasses@rochester.rr.com

MUNICIPALITY: City Town Village of Batavia

3. TYPE OF REFERRAL: (Check all applicable items)

- Area Variance
 Use Variance
 Special Use Permit
 Site Plan Review

- Zoning Map Change
 Zoning Text Amendments
 Comprehensive Plan/Update
 Other: _____

- Subdivision Proposal
 Preliminary
 Final

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

A. Full Address 54 Cedar St.

B. Nearest intersecting road East Main St.

C. Tax Map Parcel Number 84.020-1-10

D. Total area of the property 7.46 acres Area of property to be disturbed _____

E. Present zoning district(s) I-2

5. REFERRAL CASE INFORMATION:

A. Has this referral been previously reviewed by the Genesee County Planning Board?

NO YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

BMC 190-16 Public storage rental unit buildings with outside storage is not a permitted principal use

C. Please describe the nature of this request Approval to include public storage rental units with outside storage as

a permitted principal use on this parcel located within the I-2 Industrial District.

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

- Local application
 Site plan
 Subdivision plot plans
 SEQR forms

- Zoning text/map amendments
 Location map or tax maps
 Elevation drawings
 Agricultural data statement

- New or updated comprehensive plan
 Photos
 Other: Cover letter

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.

Email to planning@co.genesee.ny.us

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____

Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drrandall@batavianewyork.com

DATE: 9/26/19

APPLICANT NAME & PHONE: 54 CEDAR, LLC

Project Location and Information

Permit #: _____ Fee: _____

Address of Project: 54 CEDAR STREET BATAVIA N.Y.

Owner & Address: 54 CEDAR STREET, 6956 BYRON-HOLLEY RD, BYRON, N.Y.

Phone: (805) 548-2564 11422

Project Type/Describe Work

Estimated cost of work: 100,000

Start date: 1/1/19

Describe project:

CONSTRUCTION OF ONE OR POSSIBLY TWO STORAGE FACILITY BUILDINGS

Contractor Information – Insurance certificates (liability & workers comp) required being on file

GENERAL

Name/Address: ~~THE~~ YASSES TRUCKING + CONSTRUCTION, LLC

Phone: 548-5014 6954 BYRON-HOLLEY RD., BYRON, N.Y. 11422

PLUMBING (City of Batavia Licensed Plumber Required)

Name/Address: NONE

Phone: _____

HEATING

Name/Address: NONE

Phone: _____

ELECTRICAL (Third Party Electrical Inspection Required)

Name/Address: UNKNOWN AT THIS TIME

Phone: _____

FOR OFFICE USE ONLY

Zoning District: _____ Flood Zone: _____ Corner Lot: _____ Historic District/Landmark: _____

Zoning Review: _____ Variance Required: _____ Site Plan Review: _____ Other: _____

National Grid Sign Off (Pools): _____ Lot Size: _____

Existing Use: _____ NYS Building Code Occupancy Class: _____

Proposed Use: _____ NYS Building Code Occupancy Class: _____



CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

PAID

OCT - 3 2018

Application No.: 18-17

Hearing Date/Time: _____

APPLICANT: 54 CEDAR LLC
Name: PETER N. YASSEL E-Mail Address: PYASSEL@ROCHESTER.NY.COM
Street Address: 6956 BYRON-HOLLY RD. Phone: (585) 548-2564 Fax: 548-7100
City: BYRON State: N.Y. Zip: 14422

STATUS: Owner _____ Agent for Owner _____ Contractor

OWNER: PETER N. YASSEL OWNER OF LLC
Name: _____ E-Mail Address: _____
Street Address: _____ Phone: _____ Fax: _____
City: _____ State: _____ Zip: _____

LOCATION OF PROPERTY: 54 CEDAR ST. BATAVIA N.Y.

DETAILED DESCRIPTION OF REQUEST: APPLICANT WANTS TO BUILD STORAGE UNIT FACILITIES UPON THIS PROPERTY WHICH IS ZONED I-2 (NOTE: A PORTION OF THIS PROPERTY IS ZONED I-1 HOWEVER NO UNITS BUILT IN I-1)

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

[Signature]
Applicant's Signature

9/26/18
Date

[Signature]
Owner's Signature

9-26-18
Date

To be Filled out by Zoning Officer

TAX PARCEL: 84.020-1-10 ZONING DISTRICT: I-2 FLOOD PLAIN: C

TYPE OF APPEAL: Area Variance Use Variance Interpretation Decision of Planning Committee
FEE: \$50 (One or Two Family Use) \$100 (All other Uses)

Provision(s) of the Zoning Ordinance Appealed: BMC 190-16 Individual public storage unit buildings with outside storage area is not a permitted principal use in the I-1 Industrial District.

Use Variance Application
Statement of Unnecessary Hardship

In order for the Zoning Board of Appeals to grant a use variance, an applicant must show documentation in the record that the restrictions of the Zoning Ordinance has caused unnecessary hardship. In order to prove such unnecessary hardship the applicant shall demonstrate to the Zoning Board of Appeals that for each and every permitted use under the Zoning Ordinance for the particular district where the property is located, that all four (4) requirements as per §81-b of the General City Law have been proven. Additional documentation may be included. If any one of these requirements have not been proven, the Zoning Board of Appeals must deny the variance, as per §81-b of the General City Law.

Explain **how** the request conforms to EACH of the following requirements (additional pages may be attached):

1. **Reasonable Return.** The subject property is not capable of yielding a reasonable rate of return if used for its present use or developed, redeveloped or used for any other use permitted in the district in which such property is located. There is no means other than the granting of the variance by which the property can yield a reasonable return. Such inability to yield a reasonable return must be shown by specific fact (dollars and cents) from an expert or authority in economic deprivation, not the unsupported opinion of the owner or those appearing for the owner.

"The applicant cannot realize a reasonable return, provided that lack of return is substantial as demonstrated by competent financial evidence"

NONE OF THE USES ALLOWED BY I-1 OR I-2 ZONES ARE SUITABLE FOR USE ON 54 CEDAR ST. IT IS IDEALLY SITED FOR STORAGE FACILITY BUILDINGS FOR WHICH THERE IS A SIGNIFICANT NEED WITHIN THE CITY OF BATAVIA. BY ALLOWING THIS USE IT IS ANTICIPATED THAT THIS LONG DORMANT FORMER CITY DUMP WILL BE DEVELOPED TO PROVIDE VITAL STORAGE NEEDS FOR THE CITIZENS OF BATAVIA.

(Please provide / attach competent financial evidence)

2. **Unique Hardship.** The inability to yield a reasonable return results from a unique circumstance peculiar to the subject property which does not apply to or affect other properties in the immediate vicinity that are subject to the same regulations. The personal situation of the owner shall not be considered unique.

"The alleged hardship relating to the property in question is unique, and does not apply to a substantial portion of the district or neighborhood"

PROPERTY FOR DECADES WAS A CITY DUMP. NO DEVELOPMENT HAS BEEN PROPOSED FOR THIS PROPERTY FOR THAT REASON. THIS MAKES THE PROPERTY UNIQUE IN THE CITY.

USE VARIANCE

Statement of Income and Expense

All Entries Must be Completed and Documented for at Least Two (2) Calendar Years or From the Date of Purchase Whichever is Less

PROPERTY ADDRESS: 54 Cooper

A. PROPERTY DATA

- 1. Date property was purchased by current owner
2. Was a Certificate of Occupancy issued? NO
Date of Issuance? NO
If so, for what use(s)? NU
If not, why? NU

- 3. Cost of Purchase
4. a) Amount of Mortgage 0 Interest Rate 0
Mortgage Holder
Address

- b) Amount of Mortgage
Mortgage Holder
Address

- c) Amount of Mortgage
Mortgage Holder
Address

- 5. 4 Is the property for sale? YES Had been for while Decade
If so, for how long
asking price
for what use(s)
Have any offers been received
If so, for what amount(s)

Summarize any attempts to sell the property MARKeted Everywhere

- 6. Present value of property
Source(s)

USE VARIANCE

Statement of Income and Expense

All Entries Must be Completed and Documented for at Least Two (2) Calendar Years
or From the Date of Purchase Whichever is Less

PROPERTY ADDRESS: 54 CEDAR ST

A. PROPERTY DATA

1. Date property was purchased by current owner AUG 15
2. Was a Certificate of Occupancy issued? NO
Date of Issuance? NO
If so, for what use(s)? _____
If not, why? _____
3. Cost of Purchase \$ 3,000 ⁰⁰
4. a) Amount of Mortgage _____ Interest Rate _____
Mortgage Holder NA Duration _____
Address _____
- b) Amount of Mortgage _____ Interest Rate _____
Mortgage Holder NA Duration _____
Address _____
- c) Amount of Mortgage _____ Interest Rate _____
Mortgage Holder NA Duration _____
Address _____
5. Is the property for sale? _____
If so, for how long _____
asking price _____
for what use(s) _____
Have any offers been received _____
If so, for what amount(s) _____

Summarize any attempts to sell the property _____

6. Present value of property \$ 3,000 ⁰⁰
Source(s) _____

B. GROSS ANNUAL INCOME [BASED ON PERMITTED USE(S)]

USE	INCOME
1. <u>AT CURRENT PERMITTED USES</u>	<u>NO MARKET</u>
2. <u>MINING - DUST - TRAFFIC</u>	_____
3. <u>Like INDUSTRIAL</u>	_____
4. <u>INDUSTRIAL OFFICE</u>	_____
5. <u>RESEARCH LAB</u>	_____
6. <u>TUNK YARD</u>	_____
7. _____	_____
8. _____	_____
9. _____	_____
10. _____	_____

TOTAL RENTAL INCOME _____
 LESS VACANCY FACTOR _____
 (Attach explanation if greater than 8%)
 TOTAL GROSS INCOME _____

C. ANNUAL EXPENSES

UNABLE TO DETERMINE

- Annual Fixed Charges

Real Estate Taxes (City & County) _____

Insurance..... _____

Average Annual Interest (over next 5 years) _____
- Operating Expenses

Electric..... VACANT LOT

Fuel..... _____

Water..... _____

Advertising..... _____

Miscellaneous (attach explanation) _____
- Maintenance Expenses (attach list)

Repairs..... _____

General Building Maintenance..... _____

Yard and Ground Care..... _____

Miscellaneous..... _____

TOTAL ANNUAL EXPENSES _____
 Profit or Loss _____

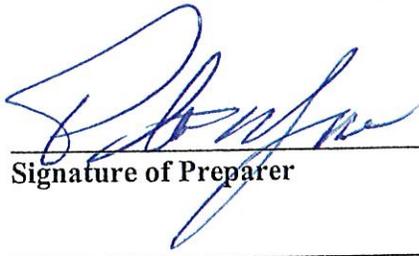
D. TOTAL INVESTMENT

- 1. Down payment..... _____
- 2. Capital Improvements (attach list) _____
- 3. Principal Paid to date (original mortgage less
current principal balance)..... _____

TOTAL INVESTMENT _____
(Sum of D1, D2, & D3)

E. RATE OF RETURN = Profit or Loss

TOTAL INVESTMENT _____



Signature of Preparer

9-30-18

Date

Profession of Preparer

617.20
Appendix B
Short Environmental Assessment Form

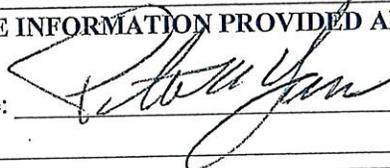
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
54 CEDAR LLC			
Name of Action or Project: CEDAR STREET STORAGE			
Project Location (describe, and attach a location map): 54 CEDAR ST. BATAVIA, N.Y.			
Brief Description of Proposed Action: APPLICANT PROPOSES TO CONSTRUCT UP TO 6 STORAGE BUILDINGS CONTAINING INDIVIDUAL UNITS WITHIN EACH FOR STORAGE RENTAL			
Name of Applicant or Sponsor: PETER N. VASSES		Telephone: (505) 548-2564	
		E-Mail: PVASSES@ROCHESTER.RR.COM	
Address: 6956 BYRON-HOLLEN RD.			
City/PO: BYRON	State: N.Y.	Zip Code: 14422	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES
			X
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES
			X
3.a. Total acreage of the site of the proposed action?		7.4 acres	
b. Total acreage to be physically disturbed?		3.0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		7.4 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	X		
b. Consistent with the adopted comprehensive plan?		X	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____			X
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	X		
b. Are public transportation service(s) available at or near the site of the proposed action?			X
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			X
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____			X
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____			X
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____			X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	X		
b. Is the proposed action located in an archeological sensitive area?	X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	X		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	X		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?			X
16. Is the project site located in the 100 year flood plain?			X
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____			X

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: <u>CITY DUMP FOR YEARS</u>	NO	YES
		X
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <u>TIRES WERE REMOVED FROM THE PREMISES</u>	NO	YES
		X
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u></u> Date: <u>9/26/18</u> Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)







SITE PLAN



| PROPOSED 6 STORAGE BUILDINGS

□ PROPOSED FENCED IN OUTDOOR STORAGE

▬ PROPOSED SMALL BURM W BRICK SIGN















City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 10/1/18

Re: **4A Treadeasy Ave.**
Tax Parcel No. 84.013-1-42.1

Zoning Use District: P-1

The applicant, Alex Amering, PE (Project Manager for Amada Tool), has filed a site plan application to expand this existing 49,000 square foot manufacturing facility by placing a 19,000 square foot one story addition with associated site work on the west side of this parcel.

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the boundary of the city.

City Planning and Development Committee- Pursuant to section 190-44 B(1) of the zoning ordinance, the Planning and Development Committee shall perform site plan review for expansions of nonresidential buildings that increase the lot coverage by more than 3 percent or 1,300 square feet.

BMC 190-24 B through H. Planning Development Dist. P-1 (see attached)

The Planning and Development Committee will conduct an uncoordinated review of SEQR for this unlisted action.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 344-2580 Ext. 5467



*** GENESEE COUNTY *
PLANNING BOARD REFERRAL**

DEPARTMENT USE ONLY:
GCDP Referral # _____

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) Planning and Development Committee
Address One Batavia City Centre
City, State, Zip Batavia, NY 14020

2. APPLICANT INFORMATION

Name Alexander Amering, PE (Costich Engineering)
Address 217 Lake Ave.
City, State, Zip Rochester, NY 14608

Phone (585) 345 - 6347 Ext. _____ Phone (585) 458 - 3020 Ext. _____ Email alex@costich.com

MUNICIPALITY: City Town Village of Batavia

3. TYPE OF REFERRAL: (Check all applicable items)

- | | | |
|--|--|---|
| <input type="checkbox"/> Area Variance | <input type="checkbox"/> Zoning Map Change | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance | <input type="checkbox"/> Zoning Text Amendments | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Other: _____ | |

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

A. Full Address 4 A Treadeasy Ave.
B. Nearest intersecting road _____
C. Tax Map Parcel Number 84.013-1-42.1
D. Total area of the property 6.80 acres Area of property to be disturbed 2.3 acres
E. Present zoning district(s) P-1

5. REFERRAL CASE INFORMATION:

A. Has this referral been previously reviewed by the Genesee County Planning Board?
 NO YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

C. Please describe the nature of this request Site plan approval for 19,000 sq.' building addition with site work

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

- | | | |
|---|--|---|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments | <input type="checkbox"/> New or updated comprehensive plan |
| <input checked="" type="checkbox"/> Site plan | <input type="checkbox"/> Location map or tax maps | <input checked="" type="checkbox"/> Photos |
| <input type="checkbox"/> Subdivision plot plans | <input checked="" type="checkbox"/> Elevation drawings | <input checked="" type="checkbox"/> Other: <u>Cover letters</u> |
| <input checked="" type="checkbox"/> SEQR forms | <input type="checkbox"/> Agricultural data statement | |

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.
Email to planning@co.genesee.ny.us

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com



Beant Street (N 550)

Apache Industrial Boulevard

Apache Drive

Industrial Boulevard

Treacasy Avenue

75225th Street

Reservoir Way

City of Batavia, NY
Tuesday, October 2, 2018

Chapter 190. Zoning

Article VII. Special Districts

§ 190-24. Planned Development District P-1.

- A. Area boundary. The premises hereinafter described, being formerly zoned as I-1, is rezoned as Planned Development District P-1:

All that tract or parcel of land situated in the City of Batavia, County of Genesee and State of New York, bounded as follows:

Beginning at the intersection of the south boundary of Pearl Street with the north boundary of the former NYCRR Cohocton grade;

Thence easterly along the north bounds of the former NYCRR Cohocton grade for a distance of 130± feet to a point;

Thence northerly for a distance of 60± feet to a point in the south boundary of Pearl Street 163± feet easterly from the point of beginning;

Thence westerly along the south bounds of Pearl Street to the point of beginning; also beginning at the point of intersection of the west bounds of village lot No. 64 with the City line of the City of Batavia;

Thence northeasterly along said lot line a distance of 590± feet to the south boundary of Pearl Street;

Thence easterly along said south boundary of Pearl Street 280± feet to a point;

Thence easterly along the south boundary of the former NYCRR Conhocton grade a distance of 1254± feet to a point;

Thence southwesterly along the east bounds of land belonging now or formerly to Louis L. Colantonio a distance of 630± feet to a point on the north boundary of the NYCRR Tonawanda Branch;

Thence easterly along said north boundary a distance of 1640± feet to the center of a Holland Land alley between the east bounds of village lot No. 57 and the west bounds of village lot No. 56;

Thence southwesterly along the center line of said Holland alley a distance of 210± feet to a point on the north boundary of the former NYCRR main line;

Thence southeasterly at an angle of 90 degrees from said north boundary a distance of 140± feet to a point on the south boundary of said former NYCRR main line;

Thence southwesterly along the south boundary of the former NYCRR main line a distance of 1950± feet to the City line of the City of Batavia;

Thence northwesterly along said City line a distance of 1465± feet to the point of beginning.

- B. Permitted principal uses.

- (1) Residential. No residential uses shall be permitted except for a caretaker, watchman or other similar person employed on the premises concerned.
- (2) Commercial.
 - (a) A bank.
 - (b) An office building containing professional and business offices.
 - (c) A restaurant.
 - (d) A retail store or service shop, if accessory and incidental to a use permitted in an industrial zone on the same lot.
 - (e) A radio or television transmission establishment.
 - (f) An auditorium, swimming pool or other recreational or educational use if it is restricted to the interior of a building.
[Amended 6-24-1996]
 - (g) A commercial or technical school.
- (3) Automotive.
 - (a) An automobile service station, or a public garage.
 - (b) A car-washing establishment.
 - (c) A public parking lot.
- (4) Industrial.
 - (a) A warehouse for the storage of goods and materials within a wholly enclosed structure or outside storage located immediately behind the building, screened by fencing and landscaping from public view.
 - (b) A plant for the assembly and manufacture of products within a wholly enclosed structure as follows:
 - [1] An apparel and finished textile product plant.
 - [2] A paper and allied products plant.
 - [3] A furniture and finished lumber products plant.
 - [4] A light metal products plant for the assembly and manufacture of precision instruments, watches, radios and television sets, and other similar products.
 - [5] A printing plant.
 - [6] Manufacturing or industrial use carried on within a wholly enclosed building or structure, or outside storage, screened from public view with approved fencing and landscaping and located on the rear lot immediately behind the building. No junk or salvage yard, automobile wrecking yard or other obnoxious use shall be permitted.

- C. Uses permitted by special use permit. Those uses which because of danger to the general public due to hazards of fire and explosion, including those uses where explosives, combustible gases or flammable liquids are manufactured or stored, shall be permitted only upon issuance of a special use permit according to the provisions of § 190-37 and only in conformance with the State Building Construction Code^[1] and Labor Law of the State of New York.
- [1] *Editor's Note: See Ch. 51, Building Construction.*
- D. Frontage on a street. No person shall hereinafter erect a building or structure and no person shall use any building, structure or land in Planned Development District P-1 unless the land to be so used, or upon which the building is situated, erected or proposed to be erected, fronts on a public street or a private right-of-way having a minimum width of 30 feet, such right-of-way to be in a location approved by the City of Batavia.
- E. Yard requirements.
- (1) Front yard.
 - (a) Distance from front lot line, the greater of 30 feet or the average depth of the front yards of the existing main buildings situated on immediately adjacent lots.
 - (b) Where the land on the opposite side of the street is in a residential district, distance from the center line of the original street allowance shall be 100 feet minimum.
 - (c) In the case of a key lot, the front yard shall be 1/2 of the sum of the normal front yard requirements plus the normal side yard requirement of the adjacent reversed corner lot.
 - (2) Side yard.
 - (a) Distance from side lot lines: 20 feet minimum one side; 10 feet minimum other side.
 - (b) Where the side lot line is a boundary between an industrial zoning district and a residential zoning district, distance from side lot line; 50 feet minimum.
 - (c) On any side lot line which abuts a street, 25 feet minimum, provided that any such side yard shall not be required to exceed the front yard for the same building.
 - (3) Rear yard.
 - (a) Distance from rear lot line, 25 feet minimum.
 - (b) Where the rear lot line is the boundary between an industrial zoning district and a residential zoning district, distance from rear lot line: 50 feet minimum.
 - (c) Where the rear lot line abuts a right-of-way of any railway, no rear yard shall be required.
 - (d) In the case of a through lot where the rear yard is across the street from a residential zoning district, distance from rear lot line: 50 feet minimum.
 - (4) Increase in yard dimension. In the case of a building in excess of 35 feet in height, the minimum side and rear yards shall be increased by one foot for every two feet of additional building height in excess of 35 feet.

F. Parking requirements.

- (1) A parking station, accessible from a street, shall be provided on the same lot on which any building is situated and/or on a parcel of land the nearest point of which is not more than 300 feet distant from the said lot, in compliance with the following: There shall be provided on the same lot or a lot adjacent thereto under the same ownership off-street parking facilities to the number of, or at least equal to the total number of, employees employed on the premises in such industrial use on the maximum shift.
- (2) Where the front yard exceeds 30 feet, such excess yard may be used for parking and for the purpose of calculating the area available for parking.
- (3) No parking or storage of vehicles shall be permitted within 20 feet of any residential zoning district.
- (4) A parking station as required in this subsection shall be in addition to off-street loading requirements as required by Subsection G of this section.
- (5) Parking stations, together with access lanes thereto, shall be surfaced and maintained with concrete, asphalt, crushed stone or other hard surface and dustless materials.
- (6) Where lighting facilities for a parking station are provided, they shall be so constructed as to deflect the light away from any adjacent residential or park area.

G. Off-street loading space requirements.

- (1) For every building or structure hereafter erected in a Planned Development District P-1, there shall be provided and maintained accessible off-street loading facilities consisting of one or more loading spaces at least 35 feet long and 12 feet wide, and having vertical clearance of at least 14 feet and in accordance with the following:

Total Floor Area of Building	Number of Loading Spaces Required
Less than 5,000 square feet	No loading space
Over 5,000 square feet but less than 20,000 square feet	1 loading space
Every 15,000 square feet above 20,000 square feet	2 loading spaces

- (2) Loading facilities shall not face the front of the building.

H. Landscaping.

- (1) The minimum front yard of 30 feet shall be landscaped.
- (2) A chain link fence and a landscaped strip of trees and shrubs, not less than five feet in width, shall be provided along the boundary lines between residential and industrial lands.
- (3) All landscaping shall consist of at least lawn and hardy ornamental shrubs and shall be maintained in a healthy condition, neat and orderly in appearance.

DATE: 9-26-2018

APPLICANT NAME & PHONE: AMDA TOOL AMERICA, INC.

Project Location and Information

Permit #: _____ Fee: _____

Address of Project: 4A TREADBAY AVE. BATAVIA, N.Y. 14020

Owner & Address: SAME

Phone: 585-344-3900

Project Type/Describe Work

Estimated cost of work: \$ 2.5MM

Start date: 11/2018

Describe project: NEW 19,000 S.F. MFG. ADDITION WITH ASSOCIATED SITE IMPROVEMENTS.

Contractor Information - Insurance certificates (liability & workers comp) required to be on file

GENERAL

Name/Address: CHRISTOPHER GUSTI, CORP. 40601 DEWEY AVE. GORHAM, NY 14461

Phone: 585-526-6376

PLUMBING (City of Batavia Licensed Plumber Required) Rick Hale 28 SWAN ST. BATAVIA, NY 14020

Name/Address: ~~ALAN BOSTON, 5505 ROSE RD. BATAVIA, NY 14020~~

Phone: ~~585-343-0115~~ 585-343-3805

HEATING

Name/Address: ARIC REFRIGERATION 26 CEDAR ST. BATAVIA, NY 14020

Phone: 585-343-2670

ELECTRICAL (Third Party Electrical Inspection Required)

Name/Address: ARIZ ELECTRICAL, LLC 336A LOCKPORT RD. OAKFIELD, NY 14125

Phone: 585-343-1023

FOR OFFICE USE ONLY

Zoning District: _____ Flood Zone: _____ Corner Lot: _____ Historic District/Landmark: _____

Zoning Review: _____ Variance Required: _____ Site Plan Review: _____ Other: _____

National Grid Sign Off (Pools): _____ Lot Size: _____

Existing Use: _____ NYS Building Code Occupancy Class: _____

Proposed Use: _____ NYS Building Code Occupancy Class: _____

REQUIRED INSPECTIONS

Contact the Bureau of Inspection at (585) 345-6345 twenty-four (24) hours in advance to schedule all inspections.

IT IS THE RESPONSIBILITY OF THE OWNER AND/OR AGENT TO CONTACT THIS OFFICE & BE PRESENT FOR ALL INSPECTIONS

- Site
- Footing before Placing Concrete
- Foundation before backfill
- Framing before enclosing (After mechanical inspection)
- Electrical before enclosing (Third Party Electrical Inspection Agency)
- Plumbing before enclosing (City of Batavia Licensed Plumber Required)
- Insulation before enclosing
- Water Service
- Sewer Service
- Ica/Water Shield
- Final Completion Duo

In consideration of the granting of the permit hereby petitioned for, the undersigned hereby agrees to: 1) comply with the terms thereof, the laws of the State of New York, the Ordinance of the City of Batavia, and the Regulations of the various departments of the County of Genesee and the State of New York; 2) preserve the established building line; 3) request all the necessary inspections and authorize and provide the means of entry to the premises and building to the Bureau of Inspection, and 4) will not use or permit to be used the structure or structures covered by the permit until sanitary facilities are completely furnished and either a Certificate of Occupancy or Certificate of Completion is issued. The undersigned hereby certifies that all of the information in this petition is correct and true.

Jerome L. Scharlau 9/26/18
 Applicant Signature Date

Roofing Disclaimer - Per the Residential & Building Code of New York State

R907.3 Recovering versus Replacement

New roof coverings shall not be installed without first removing existing roof coverings where any of the following conditions occur:

1. Where the existing roof or roof coverings is water-soaked or has deteriorated to the point that the existing roof or roof covering is not adequate as a base for additional roofing.
2. Where the existing roof covering is wood shake, slate, clay, cement or asbestos-cement tile.
3. Where the existing roof has two or more applications of any type of roof covering.

Exceptions:

1. Complete and separate roofing systems, such as standing-seam metal roof systems, that are designed to transmit the roof loads directly to the building's structural system and that do not rely on existing roofs and roof coverings for support shall not require the removal of existing roof coverings.
2. Metal panel, metal shingle, and concrete and clay tile roof coverings shall be permitted to be installed over existing wood shake roofs when applied in accordance with Section R907.4.

I, Jerome L. Scharlau owner and/or agency of the property located at 4A Tradeasy Ave., Batavia for Building Permit No. _____
 have reviewed and understand the requirements of Section 907.3 Recovering versus Replacement

Jerome L. Scharlau 9/26/18
 Applicant Signature Date

Fence Disclaimer

I understand Section 190-33 B Fences, Walls and Hedges of the City of Batavia Zoning Ordinance regulated the installation of fences as follows:

"Fences, hedges and walls in Residential Districts shall not exceed three (3) feet above ground level when located within fifteen (15) feet of the property line abutting any street and shall not exceed six (6) feet above ground level when located elsewhere on the property. However, there shall be no height limit for hedges in rear yards within residential zones. In commercial and Industrial Districts, fences, hedges, and walls shall not exceed eight (8) feet in height unless permitted by a special use permit from the Planning & Development Committee. A fence designed to be structurally supported by posts, cross members or rails on one (1) side only shall be erected with the posts, cross members or rails on the fence owner's side, and the finished side of the fence shall face adjacent properties."

I, Jerome L. Scharlau owner and/or agent of the property located at 4A Tradeasy Ave., Batavia for Permit No. _____
 understand that this permit is issued based on information supplied by owner/agent and that the City of Batavia accepts no responsibility for inaccurate documentation or information supplied to secure the permit.

Jerome L. Scharlau 9/26/18
 Applicant Signature Date

Short Environmental Assessment Form

Part 1 - Project Information

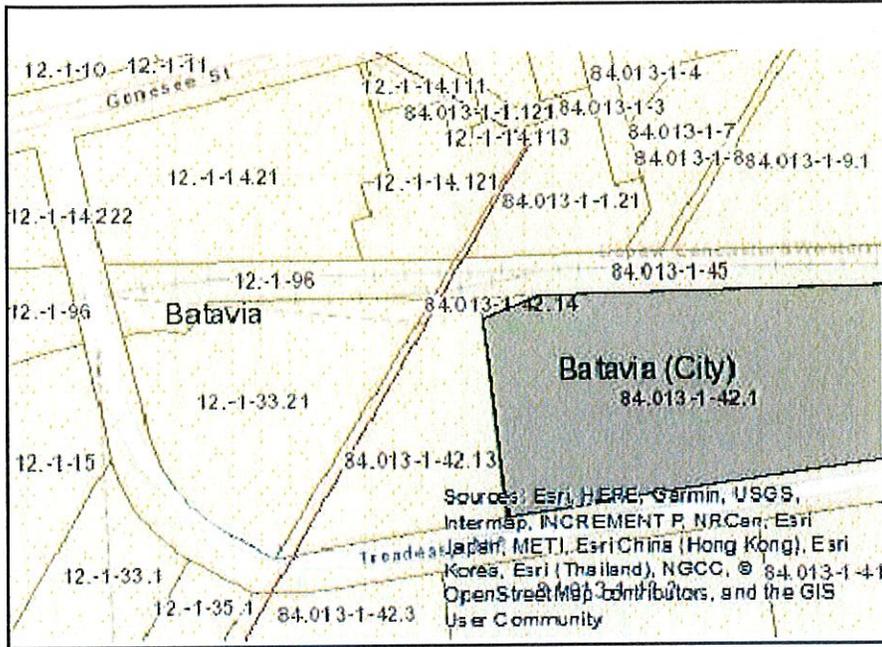
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

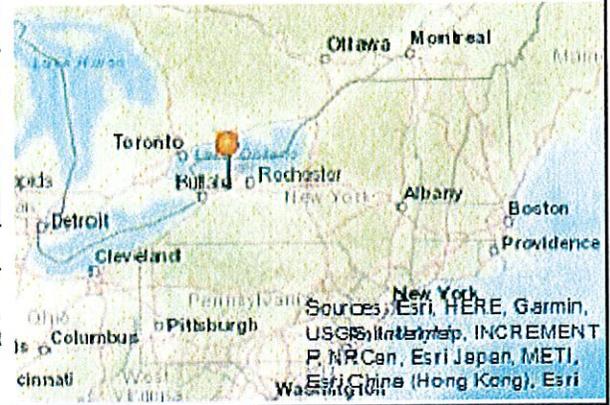
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Amada Tool American			
Project Location (describe, and attach a location map): 4A Treadeasy Avenue. Located approximately 330-ft West of Industrial Boulevard intersection.			
Brief Description of Proposed Action: Associated municipal approvals for the proposed 19k SF building addition to the existing Amada Tool America, Inc. facility located at 4A Treadeasy Avenue in the City of Batavia. The facility operates today as an allowed use in the 'P-1' - Planned Development Industrial District and the proposed layout is consistent with the bulk area requirements. Associated site improvement will include parking areas (including accessible spaces), stormwater management practices, landscape and lighting.			
Name of Applicant or Sponsor: Amada Tool America, Inc.		Telephone: 585-344-3900	
		E-Mail: jscharlau@amada.com	
Address: 4A Treadeasy Avenue			
City/PO: Batavia		State: New York	Zip Code: 14020
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval NYSDEC - SPDES Permit			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?			3.1 acres
b. Total acreage to be physically disturbed?			2.3 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			6.80 acres
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? (Internal to existing facility) If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? (Internal to existing facility) If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area? (Propose development is primarily utilizing areas previously developed.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ All flows to adjacent properties will reduced from pre-developed to developed conditions. Developed portions of the site will only discharge to existing conveyance systems (Storm sewer on Treadeasy Ave.) after being attenuated in Stormwater Management Facilities.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>Storm water management facilities - For purpose of peak flow attenuation in accordance with NYSDEC requirements.</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Alex Amering (As Agent) -Costich Engineering, DPC</u> Date: <u>9-26-2018</u></p> <p>Signature: <u><i>Alex H. Amering</i></u></p>		



**COSTICH
ENGINEERING, D.P.C.**

September 26, 2018

Duane Preston, Chairman
Planning & Development Committee
City of Batavia
1 Batavia City Centre
Batavia, New York 14020

Re: Site Plan Application
Amada Tool America, Inc. – Building Expansion

Dear Chairman Preston and Members of the Board,

On Behalf of our client Amada Tool America, Inc., we are submitting materials for your review for the above referenced project. We are requesting that the project be added to the Board's regularly scheduled October 16th, 2018 agenda for site plan review.

The project represents the proposed expansion of the existing Amada Tool America facility (T.A. 084.013-01-042.001), located at 4A Treadeasy Avenue. The proposal will include all associated improvements, including but not limited to, parking (including accessible spaces), stormwater management facilities, landscape, and lighting.

The proposed expansion will consist of a 19,000 SF addition off the west end of the existing building. The facility will continue to operate as it does today, as an allowed use in the underlying zoning district – 'P-1' Planned Development Industrial District. Review of the bulk area requirements indicate conformance with applicable setback, buffer, and parking requirements for the district. The site will continue to utilize existing access points to Treadeasy Avenue.

We believe the proposed redevelopment is consistent with the objectives of the underlying zoning district, and that the proposed design is conceptually sound.

CIVIL ENGINEERING • LAND SURVEYING • LANDSCAPE ARCHITECTURE

Costich Engineering, D.P.C. • 217 Lake Avenue • Rochester, New York 14608

585-458-3020 • 585-458-2731 (Fax) • www.costich.com

To aid in your review enclosed please find:

- Nine (9) copies of this Letter of Intent
- One (1) copy of the Building Permit Application
- One (1) copy of the Short Environmental Assessment Form
- One (1) copy of the Drainage Report
- One (1) copy of Site Development Plans (22"x34")
- Eight (8) copies of Site Development Plans (11"x17")
- One (1) copy of Architectural Elevation Plan (22"x34")
- Eight (8) copies of Architectural Elevation Plan (11"x17")

We look forward to appearing before the Board at its October 16th, 2018 hearing. In the meantime if you should have any questions or require additional information, please do not hesitate to contact our office.

Respectfully submitted,



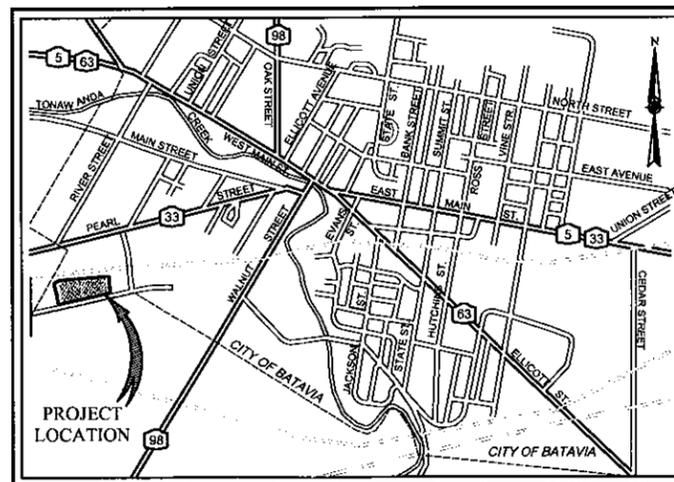
Alexander H. Amering, PE
COSTICH ENGINEERING, DPC

Cc: Jerome Sharlau - Amada Tool America, Inc.
Kevin Bragg - Chrisanntha Construction Corp.
Jay Harris-Maxwell - Hanlon Architects

AMADA TOOL AMERICA INC. BUILDING EXPANSION SITE DEVELOPMENT PLANS 4A TREADEASY AVENUE CITY OF BATAVIA COUNTY OF GENESEE STATE OF NEW YORK

INDEX OF DRAWINGS

SHEET NO.	DRAWING TITLE
GA001	COVER SHEET (SHEET 01 OF 11)
GA002	GENERAL NOTES AND LEGEND SHEET (SHEET 02 OF 11)
VA100	EXISTING FEATURES/DEMOLITION PLAN (SHEET 03 OF 11)
CA110	SITE PLAN (SHEET 04 OF 11)
CA110	UTILITY PLAN (SHEET 05 OF 11)
CA120	GRADING & EROSION CONTROL PLAN (SHEET 06 OF 11)
LA100	LANDSCAPE PLAN (SHEET 07 OF 11)
LA110	LIGHTING PLAN (SHEET 08 OF 11)
CA500	DETAIL SHEET (SHEET 09 OF 11)
CA501	DETAIL SHEET (SHEET 10 OF 11)
CA502	DETAIL SHEET (SHEET 11 OF 11)



LOCATION SKETCH
NOT TO SCALE

PREPARED FOR:
CHRISANNTHA CONSTRUCTION CORP.
4661 DEWEY AVENUE
GORHAM, NEW YORK 14461
PHONE: (585) 526-6376

PREPARED BY:
COSTICH ENGINEERING
217 LAKE AVENUE
ROCHESTER, NEW YORK 14608
PHONE: (585) 458-3020



**COSTICH
ENGINEERING**

• CIVIL
ENGINEERING
• LAND
SURVEYING
• LANDSCAPE
ARCHITECTURE
217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

**AMADA TOOL
AMERICA INC.
BUILDING EXPANSION
SITE DEVELOPMENT PLANS
4A TREADEASY AVENUE
CITY OF BATAVIA
COUNTY OF GENESEE
STATE OF NEW YORK**

PROJECT NAME AND LOCATION

AMADA TOOL AMERICA INC.
4A TREADASY AVENUE
BATAVIA, NEW YORK 14020
T.A. #084 015-01-042-001

PROJECT DESCRIPTION

THIS PROJECT WILL CONSIST OF CLEARING LAND AND CONSTRUCTING A 10 SPACE ANNUARY PARKING AREA FOR THE EXISTING GENERATORS DAY CARE. ASSOCIATED IMPROVEMENTS WILL INCLUDE STORMWATER MANAGEMENT, LANDSCAPE AND RETAINING WALLS. THE ESTIMATED TIME FOR COMPLETION OF THE CONSTRUCTION PROJECT IS 90 CALENDAR DAYS. SOIL DISTURBING ACTIVITIES WILL INCLUDE:

- A. CONSTRUCT TEMPORARY CONSTRUCTION EXITS AT LOCATIONS SHOWN ON THE SWPPP PLAN SHEET.
B. INSTALL PERIMETER SILT FENCES IN THE LOCATIONS SHOWN ON THE SWPPP PLAN SHEET.
C. BEGIN CLEARING AND GRUBBING OPERATIONS. CLEARING AND GRUBBING SHALL BE DONE ONLY IN AREAS WHERE EARTHWORK WILL BE PERFORMED AND ONLY IN AREAS WHERE BUILDING IS PLANNED TO COMMENCE WITHIN 14 DAYS AFTER CLEARING AND GRUBBING.
D. COMMENCE SITE GRADING.
E. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDED AND WATERED.
F. INSTALL INFLOUTLET PROTECTION ON THE LOCATIONS OF ALL GRATE INLETS, CURB INLETS, AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES.
G. FILL/LEVEL PAVEMENT SUBGRADE PREPARATION.
H. CONSTRUCT ALL CURB, CURB INLETS, AREA INLETS, AND STORM SEWER MANHOLES, AS SHOWN ON THE PLANS. INLET PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION PLACE REQUIRED RIPRAP AT LOCATIONS SHOWN ON THE PLANS.
I. REMOVE INLET PROTECTION AND INLET (LAND) MANHOLES NO MORE THAN 48 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
J. INSTALL BASE MATERIAL, AS REQUIRED FOR PAVEMENT.
K. CARRY OUT FINAL GRADING AND SEEDING AND PLANTING.
L. REMOVE SILT FENCING ONLY AFTER ALL PAVING IS COMPLETE AND EXPOSED SURFACES ARE STABILIZED.
M. REMOVE TEMPORARY CONSTRUCTION EXITS ONLY PRIOR TO PAVEMENT CONSTRUCTION IN THESE AREAS (THESE AREAS ARE TO BE PAVED LAST).

EROSION AND SEDIMENT CONTROLS

STABILIZATION PRACTICES (PERMANENT)

PERMANENT STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- A. PERMANENT SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.

STABILIZATION PRACTICES (TEMPORARY)

TEMPORARY STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- A. TEMPORARY SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.
B. MULCHING EXPOSED AREAS.
C. SOIL ROUGHENING.
D. FREQUENT WATERING TO MINIMIZE WIND EROSION DURING CONSTRUCTION.

STRUCTURAL PRACTICES (PERMANENT)

PERMANENT STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- A. STORM SEWER, CURB AND PAVEMENT.
B. RETAINING WALL.

STRUCTURAL PRACTICES (TEMPORARY)

TEMPORARY STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- A. PERIMETER PROTECTION USING SILTATION FENCING.
B. STABILIZED CONSTRUCTION EXIT POINTS.

OFF-SITE VEHICLE TRUCKING

A STABILIZED CONSTRUCTION EXIT WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS ADJACENT TO THE SITE ENTRANCE WILL BE INSPECTED DAILY AND SWEEP AS NECESSARY TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

EXCAVATION SPILL MATERIALS

EXCAVATION SPILL MATERIALS ARE GENERATED DURING THE EXCAVATION OF THE FACILITY'S TRUCKWELL FOOTINGS AND UTILITIES INSTALLATION. THESE MATERIALS MUST BE PROPERLY MANAGED TO PREVENT THEM FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE MATERIALS GENERATED FROM THE DEVELOPMENT OF THIS PROJECT WILL BE MANAGED BY THE FOLLOWING METHOD: USED ON SITE FOR FILL IF APPROVED BY THE GEOTECHNICAL ENGINEER, OTHERWISE Hauled OFFSITE TO AN APPROVED LOCATION.

DUST CONTROL

MINIMIZING WIND EROSION AND CONTROLLING DUST WILL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

- A. COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
B. ROUGHENING THE SOIL TO PROVIDE RIDGES PERPENDICULAR TO THE PREVAILING WIND.
C. FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
D. PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

COMPLIANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS

THE CONTRACTOR WILL OBTAIN COPIES OF ANY AND ALL LOCAL AND STATE REGULATIONS WHICH ARE APPLICABLE TO STORM WATER MANAGEMENT, EROSION CONTROL, AND POLLUTION MINIMIZATION AT THIS JOB SITE AND WILL COMPLY FULLY WITH SUCH REGULATIONS. THE CONTRACTOR WILL SUBMIT WRITTEN EVIDENCE OF SUCH COMPLIANCE IF REQUESTED BY THE OPERATOR OR ANY AGENT OF A REGULATORY BODY. THE CONTRACTOR WILL COMPLY WITH ALL CONDITIONS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION CONSTRUCTION GENERAL PERMIT, INCLUDING THE CONDITIONS RELATED TO MAINTAINING THE SWPPP AND EVIDENCE OF COMPLIANCE WITH THE SWPPP AT THE JOB SITE AND ALLOWING REGULATORY PERSONNEL ACCESS TO THE JOB SITE AND TO RECORDS IN ORDER TO DETERMINE COMPLIANCE.

GENERAL NOTES

- 1. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREA OF THE SITE CONSTRUCTION FOR DESCRIPTIVE AND SURVEY DATA PERTAINING TO THE MONUMENTS CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES. EXISTING UTILITIES (TO REMAIN) ENCOUNTERED IN TRENCH OR PAVEMENT EXCAVATIONS SHALL BE SUPPORTED AS ORDERED BY THE OWNER'S REPRESENTATIVE OR AS DIRECTED BY THE UTILITY COMPANY (THE COST FOR SUPPORTING UTILITIES SHALL BE INCLUDED IN THE PRICE BID FOR EXCAVATION).
3. EXISTING UTILITIES (LOCATION, DEPTH AND INVERTS) SHOWN ON THE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORD MAPS AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVERSED DESIGN LOCATIONS OR THE ALLOWED TO DO SAME WHICH RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IF THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES.

INSPECTION AND MAINTENANCE PROCEDURES

THE FOLLOWING INSPECTION AND MAINTENANCE PRACTICES WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS AND STABILIZATION MEASURES:

- 1. ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS FOLLOWING A RAINFALL EVENT OF 0.3 INCHES OR MORE.
2. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF REPAIRS OR OTHER MEASURES ARE FOUND TO BE NECESSARY, THEY WILL BE INITIATED WITHIN 24 HOURS OF THE TIME OF DISCOVERY.
3. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
4. SILT FENCES WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, ETC., TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE SECURELY IN THE GROUND.
5. THE SEDIMENT BASIN, IF PRESENT, WILL BE INSPECTED FOR DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 25 PERCENT OF THE DESIGN CAPACITY.
6. TEMPORARY AND PERMANENT SEEDING AND ALL OTHER STABILIZATION MEASURES WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
7. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. COPIES OF THE REPORT FORMS TO BE COMPLETED BY THE INSPECTOR ARE INCLUDED IN THIS SWPPP.
8. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SELECTING AND TRAINING THE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR THESE INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT INSPECTION AND MAINTENANCE REPORTS.
9. PERSONNEL SELECTED FOR THE INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE JOB SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS THAT ARE USED ONSITE IN GOOD WORKING ORDER. THEY WILL ALSO BE TRAINED IN THE COMPLETION OF, INITIATION OF ACTIONS REQUIRED BY, AND THE FILING OF INSPECTION FORMS. DOCUMENTATION OF THIS PERSONNEL TRAINING WILL BE KEPT ON SITE WITH THE SWPPP.
10. DISTURBED AREAS AND MATERIALS STORAGE AREAS WILL BE INSPECTED FOR EVIDENCE OF OR POTENTIAL FOR POLLUTANTS ENTERING STORMWATER SYSTEMS.
11. REPORT TO NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION WITHIN 24 HOURS ANY NONCOMPLIANCE WITH THE SWPPP THAT WILL ENDANGER PUBLIC HEALTH OR THE ENVIRONMENT. FOLLOW UP WITH A WRITTEN REPORT WITHIN DAYS OF THE NONCOMPLIANCE EVENT. THE FOLLOWING EVENTS REQUIRE 24 HOUR REPORTING: A) ANY UNANTICIPATED BYPASS WHICH EXCEEDS ANY EFFLUENT LIMITATION IN THE PERMIT, BY ANY UPSET WHICH EXCEEDS ANY EFFLUENT LIMITATION IN THE PERMIT, AND C) A VIOLATION OF A MAXIMUM DAILY DISCHARGE LIMITATION FOR ANY OF THE POLLUTANTS LISTED BY THE EPA IN THE PERMIT TO BE REPORTED WITHIN 24 HOURS. THE WRITTEN SUBMISSION MUST CONTAIN A DESCRIPTION OF THE NON COMPLIANCE AND ITS CAUSE, THE PERIOD OF NON-COMPLIANCE, INCLUDING EXACT DATES AND TIMES, AND IF THE NON-COMPLIANCE HAS NOT BEEN CORRECTED, THE ANTICIPATED TIME IT IS EXPECTED TO CONTINUE, AND STEPS TAKEN OR PLANNED TO REDUCE, ELIMINATE, AND PREVENT REOCCURRENCE OF THE NON-COMPLIANCE.
12. RELEASES OF HAZARDOUS SUBSTANCES OR OR IN EXCESS OF REPORTABLE QUANTITIES (AS ESTABLISHED UNDER 40 CFR 110, 49 CFR 117 OR 49 CFR 302) MUST BE REPORTED. FORM G-1 PROVIDES FURTHER DETAILS ON THE NOTIFICATION AND REPORTING PROCESS.

MATERIALS MANAGEMENT PLAN

MATERIALS COVERED
THE FOLLOWING MATERIALS OR SUBSTANCES ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:
CONCRETE/ADDTIVES/WASTES
CLEANING SOLVENTS
DETERGENTS
PAINTS/SOLVENTS
PESTICIDES
FERTILIZERS
SOLID AND CONSTRUCTION WASTES
SANITARY WASTES
SOIL STABILIZATION ADDITIVES

MATERIAL MANAGEMENT PRACTICES
THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR ENSURING THAT THESE PROCEDURES ARE FOLLOWED:

- A. GOOD HOUSEKEEPING
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT:
1. AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.
2. ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER AND, IF POSSIBLE, UNDER A ROOF OR IN A CONTAINERED AREA. AT A MINIMUM, ALL CONTAINERS WILL BE STORED WITH THEIR LIDS ON WHEN NOT IN USE. DRIP PANS SHALL BE PROVIDED UNDER ALL DISPENSERS.
3. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL IN LEGIBLE CONDITION.
4. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
5. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
6. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
7. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

- B. HAZARDOUS PRODUCTS
THE PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE SWPPP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

- 1. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS WITH THE ORIGINAL LABELS IN LEGIBLE CONDITION.
2. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHEETS (MSDS'S) WILL BE PROCURED AND USED FOR EACH MATERIAL.
3. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL/STATE/FEDERAL RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

- C. HAZARDOUS WASTE
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

- D. PRODUCT SPECIFIC PRACTICES
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON THE JOB SITE:

- 1. PETROLEUM PRODUCTS:
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY PETROLEUM STORAGE TANKS USED ONSITE WILL HAVE AN IMPERVIOUS DIKE OR BERM CONSTRUCTION STRUCTURE CONSTRUCTED AROUND IT TO CONTAIN ANY SPILLS WHICH MAY OCCUR. DRIP PANS SHALL BE PROVIDED FOR ALL DISPENSERS. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE LOCATION OF ANY FUEL TANKS AND/OR EQUIPMENT STORAGE AREAS MUST BE IDENTIFIED ON THE 'GRADING AND EROSION CONTROL PLAN' BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
2. FERTILIZERS:
FERTILIZERS WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED IN THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
3. PAINTS, PAINT SOLVENTS, AND CLEANING SOLVENTS:
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT AND SOLVENTS WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND FEDERAL REGULATIONS.

MATERIALS MANAGEMENT PLAN (CONT.)

- 4. CONCRETE WASTES:
CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE, BUT ONLY IN EITHER (1) SPECIFICALLY DESIGNATED DREDGED AREAS WHICH HAVE BEEN PREPARED TO RECEIVE SUCH WASH WATER OR (2) IN AREAS WHICH ARE TO BE DISPOSED OF IN THE SAME MANNER AS OTHER HAZARDOUS WASTE. CONCRETE CAN BE POURED INTO FORMS TO MAKE RIPRAP OR OTHER USEFUL CONCRETE PRODUCTS. THE HARDENED RESIDUE FROM THE FORMS TO BE NECESSARY, THEY WILL BE INITIATED WITHIN 24 HOURS OF THE TIME OF DISCOVERY. NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS OR MAY BE BROKEN UP AND USED ON SITE AS DEEMED APPROPRIATE BY THE CONTRACTOR. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. THE PROJECT MAY REQUIRE THE USE OF MULTIPLE CONCRETE WASH OUT AREAS. ALL CONCRETE WASH OUT AREAS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE AREA CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BARRS MUST BE IMPLEMENTED TO PREVENT CONCRETE WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF CONCRETE WASH OUT AREAS WILL BE IDENTIFIED ON THE 'GRADING AND EROSION CONTROL PLAN' BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

- A. SOLID AND CONSTRUCTION WASTES:
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN AN APPROPRIATELY COVERED CONTAINER AND/OR SECURELY LIDDED METAL DUMPSTER RENTED FROM A LOCAL WASTE MANAGEMENT COMPANY WHICH MUST BE A SOLID WASTE MANAGEMENT COMPANY LICENSED TO DO BUSINESS IN NEW YORK STATE AND THE LOCAL ENTITY. THE DUMPSTER WILL COMPLY WITH ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED TO A LANDFILL APPROVED BY NEW YORK STATE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ADDITIONAL BARRS MUST BE IMPLEMENTED REGARDING THE CORRECT PROCEDURES FOR WASTE DISPOSAL. ALL WASTE DUMPSTERS AND ROLL-OFF CONTAINERS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE DUMPSTERS CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BARRS MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF WASTE DUMPSTERS AND ROLL-OFF CONTAINERS MUST BE IDENTIFIED ON THE 'GRADING AND EROSION CONTROL PLAN' BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

- B. SANITARY WASTES:
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BARRS MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE 'GRADING AND EROSION CONTROL PLAN' BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

- C. CONTAMINATED SOILS:
ANY CONTAMINATED SOILS (RESULTING FROM SPILLS OF MATERIALS WITH HAZARDOUS PROPERTIES) WHICH MAY RESULT FROM CONSTRUCTION ACTIVITIES WILL BE CONTAINED AND CLEANED UP IMMEDIATELY IN ACCORDANCE WITH THE PROCEDURES GIVEN IN THE MATERIALS MANAGEMENT PLAN AND IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS.

SPILL PREVENTION AND RESPONSE PROCEDURES

THE CONTRACTOR WILL TRAIN ALL PERSONNEL IN THE PROPER HANDLING AND CLEANUP OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN SPILL PREVENTION AND CLEAN UP PROCEDURES.

- A. IN ORDER TO MINIMIZE THE POTENTIAL FOR A SPILL OF HAZARDOUS MATERIALS TO COME INTO CONTACT WITH STORM WATER, THE FOLLOWING STEPS WILL BE IMPLEMENTED:
1. ALL MATERIALS WITH HAZARDOUS PROPERTIES (SUCH AS PESTICIDES, PETROLEUM PRODUCTS, FERTILIZERS, DETERGENTS, CONSTRUCTION CHEMICALS, ACIDS, PAINTS, PAINT SOLVENTS, CLEANING SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CONCRETE CURING COMPOUNDS AND ADDITIVES, ETC.) WILL BE STORED IN A SECURE LOCATION, WITH THEIR LIDS ON, PREFERABLY UNDER COVER, WHEN NOT IN USE.
2. THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS WILL BE KEPT ON THE JOB SITE.
3. A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING, FOR EXAMPLE, ABSORBENT MATERIALS, ACID NEUTRALIZING POWDER, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) WILL BE PROVIDED AT THE STORAGE SITE.
4. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE TRAINED REGARDING THESE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

- B. IN THE EVENT OF A SPILL, THE FOLLOWING PROCEDURES SHOULD BE FOLLOWED:
1. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
2. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH THE HAZARDOUS SUBSTANCES.

- 3. THE PROJECT MANAGER AND THE ENGINEER OF RECORD WILL BE NOTIFIED IMMEDIATELY OF SPILLS OF TOXIC OR HAZARDOUS MATERIALS WHICH MAY BE REPORTED TO THE APPROPRIATE FEDERAL, STATE, AND/OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL. CONTACT INFO TRACK AT 1-888-424-8981 (1-888-HAZMAT) TO DETERMINE WHETHER THE SPILL IS REPORTABLE. INFO TRACK HAS BEEN CONTRACTED BY TO PROVIDE THIS SERVICE TO FACILITIES, INCLUDING NEW CONSTRUCTION. YOU MUST STATE THAT YOU ARE WORKING ON A NEW CONSTRUCTION SITE. IF THE SPILL IS DETERMINED TO BE REPORTABLE INFO TRACK WILL NOTIFY THE EPA IMMEDIATELY. SPILLS OF AMOUNTS THAT EXCEED REPORTABLE QUANTITIES OF CERTAIN SUBSTANCES SPECIFICALLY MENTIONED IN FEDERAL REGULATIONS (40 CFR 110, 49 CFR 117, AND 49 CFR 302) MUST BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER, TELEPHONE 1-800-424-8802.

- 4. IF THE SPILL EXCEEDS A REPORTABLE QUANTITY, THE SWPPP MUST BE MODIFIED WITHIN SEVEN (7) CALENDAR DAYS OF KNOWLEDGE OF THE DISCHARGE TO PROVIDE A DESCRIPTION OF THE RELEASE, THE CIRCUMSTANCES LEADING TO THE RELEASE, AND THE DATE OF THE RELEASE. THE PLANS MUST IDENTIFY MEASURES TO PREVENT THE REOCCURRENCE OF SUCH RELEASES AND TO RESPOND TO SUCH RELEASES. FORM G-1 MUST BE COMPLETED IN ACCORDANCE WITH THIS REQUIREMENT.

- C. THE JOB SITE SUPERINTENDENT WILL BE THE SPILL PREVENTION AND RESPONSE COORDINATOR. HE WILL DESIGNATE THE INDIVIDUALS WHO WILL RECEIVE SPILL PREVENTION AND RESPONSE TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND RESPONSE. THE NAMES OF THESE PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

CONTROL OF NON-STORM WATER DISCHARGES

CERTAIN TYPES OF DISCHARGES ARE ALLOWABLE UNDER THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION GENERAL PERMIT FOR CONSTRUCTION ACTIVITY, AND IT IS THE INTENT OF THIS SWPPP TO ALLOW SUCH DISCHARGES. THESE TYPES OF DISCHARGES WILL BE ALLOWED UNDER THE CONDITIONS THAT NO POLLUTANTS WILL BE ALLOWED TO COME IN CONTACT WITH THE WATER PRIOR TO OR AFTER ITS DISCHARGE. THE CONTROL MEASURES WHICH HAVE BEEN OUTLINED PREVIOUSLY IN THIS SWPPP WILL BE STRICTLY FOLLOWED TO ENSURE THAT NO CONTAMINATION OF THESE NON-STORM WATER DISCHARGES TAKES PLACE. FURTHERMORE, SOME STATES MAY PROHIBIT ANY NON-STORM WATER DISCHARGES, ALLOW A LIMITED NUMBER OF TYPES OF NON-STORM WATER DISCHARGES AND/OR WILL REQUIRE COVERAGE FOR NON-STORM WATER DISCHARGES UNDER A SEPARATE PERMIT. THE FOLLOWING NON-STORM WATER DISCHARGES ARE ALLOWED BY THE N.Y.S.D.E.C. AND MAY OCCUR AT THE JOB SITE: DISCHARGES FROM FIRE FIGHTING ACTIVITIES, FIRE HYDRANT FLUSHINGS, WASTERS TO WHICH CLEANSERS OR OTHER COMPONENTS HAVE NOT BEEN ADDED THAT ARE USED TO WASH VEHICLES OR CONTROL DUST IN ACCORDANCE WITH THE SWPPP, ROUTINE EXTERNAL BUILDING WASHDOWN WHICH DOES NOT USE DETERGENTS, PAVEMENT WASHWATERS WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS ALL SPILLED MATERIAL HAS BEEN REMOVED) AND WHERE DETERGENTS ARE NOT USED, AIR CONDITIONING CONDENSATE, SPRINKLS, AND FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS UNDER ALL CIRCUMSTANCES, THE PERMITTEE MUST STILL COMPLY WITH WATER QUALITY STANDARDS.

LEGEND

Table with columns for EXISTING and PROPOSED symbols. Rows include: SIZE & TYPE OF TREE, UTILITY POLE AND POLE NUMBER, GAS LINE, GAS VALVE, GUY WIRE, UNDERGROUND SIGNAL CABLE, TRAFFIC HANDHOLE, UNDERGROUND TELEPHONE, UNDERGROUND ELECTRIC, UNDERGROUND CABLE TELEVISION, EASEMENT, STORM MAN-HOLE, STORM SEWER, C.B. & END SECTION, STORM MAN-HOLE, SANITARY SEWER, SANITARY MANHOLE, HYDRANT W/VALVE, WATER VALVE, WATER MAIN, HEADWALL, SIGN AND TYPE, LIGHT POLE, CURB, EDGE OF PAVEMENT, FENCE AND TYPE, RIGHT-OF-WAY LINE & PROPERTY LINE, BUILDING, R.O.W. MONUMENT, CONTOURS.

Revision table with columns: NO, DATE, REVISION, BY, CHD, APPLS.

Professional Engineer seal for A.H.A. COSTICH ENGINEERING, P.C. License No. 09262018. Includes text: 'IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT TO ALTER ANY PART OF THIS DOCUMENT...'

COSTICH ENGINEERING logo and contact information: 217 LAKE AVENUE, ROCKY HILL, NY 14808, (585) 458-3020.

Project information: PROJECT: AMADA TOOL AMERICA INC., 4A TREADASY AVENUE. TITLE OF DRAWING: GENERAL NOTES & LEGEND SHEET. CLIENT: CHRISANNTHA CONSTRUCTION CORP., 4661 DEWEY AVENUE, P.O. BOX 165, GORHAM, NEW YORK 14861.



GENESSEE & MOHAWK VALLEY RAILROAD COMPANY

NF
SUMMIT LUBRICANTS INC.
T.A. #084.013-01-042.014
4D TREADEASY AVENUE

NF
SUMMIT LUBRICANTS INC.
T.A. #084.013-01-042.013
4D TREADEASY AVENUE
LIBER 843 PAGE 433

NF
AMADA AMERICAN TOOL
1 STORY BRICK BUILDING
T.F. 1317.79

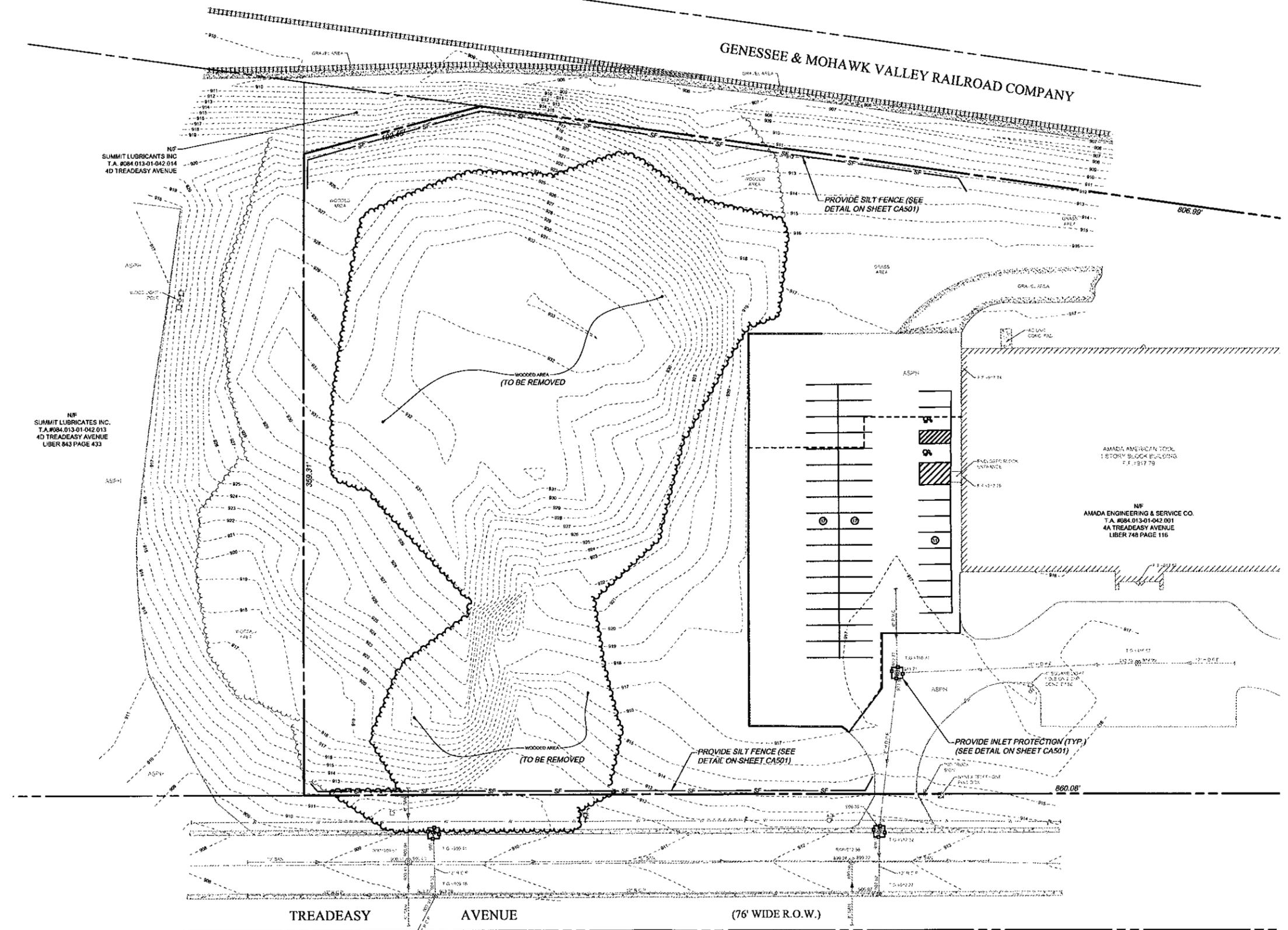
NF
AMADA ENGINEERING & SERVICE CO.
T.A. #084.013-01-042.001
4A TREADEASY AVENUE
LIBER 748 PAGE 116

LINE & SYMBOL LEGEND

- INLET PROTECTION
- SAW CUT/LIMIT PAVEMENT REMOVAL

DEMOLITION LEGEND

- EXISTING ASPHALT PAVEMENT TO BE REMOVED



TREADEASY AVENUE (76' WIDE R.O.W.)

NF
INTERSTATE CHEMICAL CO INC
T.A. #084.013-01-042.002
4G TREADEASY AVENUE
LIBER 535 PAGE 00218

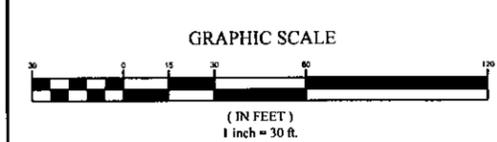
NF
9 APOLLO DRIVE INC.
T.A. #084.013-01-041
6 TREADEASY AVENUE

Dig Safely. New York
Underground Facilities Protection Organization

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

800-962-7962
www.digsafelynewyork.com

EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



NO.	DATE	REVISION	BY	CHKD	APVLD

COPYRIGHT © 2018
COSTICH ENGINEERING, D.P.C.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY," FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.



PROJECT ENGINEER
A.H.A.
DRAWN BY
D.J.L.
BOUNDARY
D.J.L.
DATE
09/26/2018
SCALE
1"=30'



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

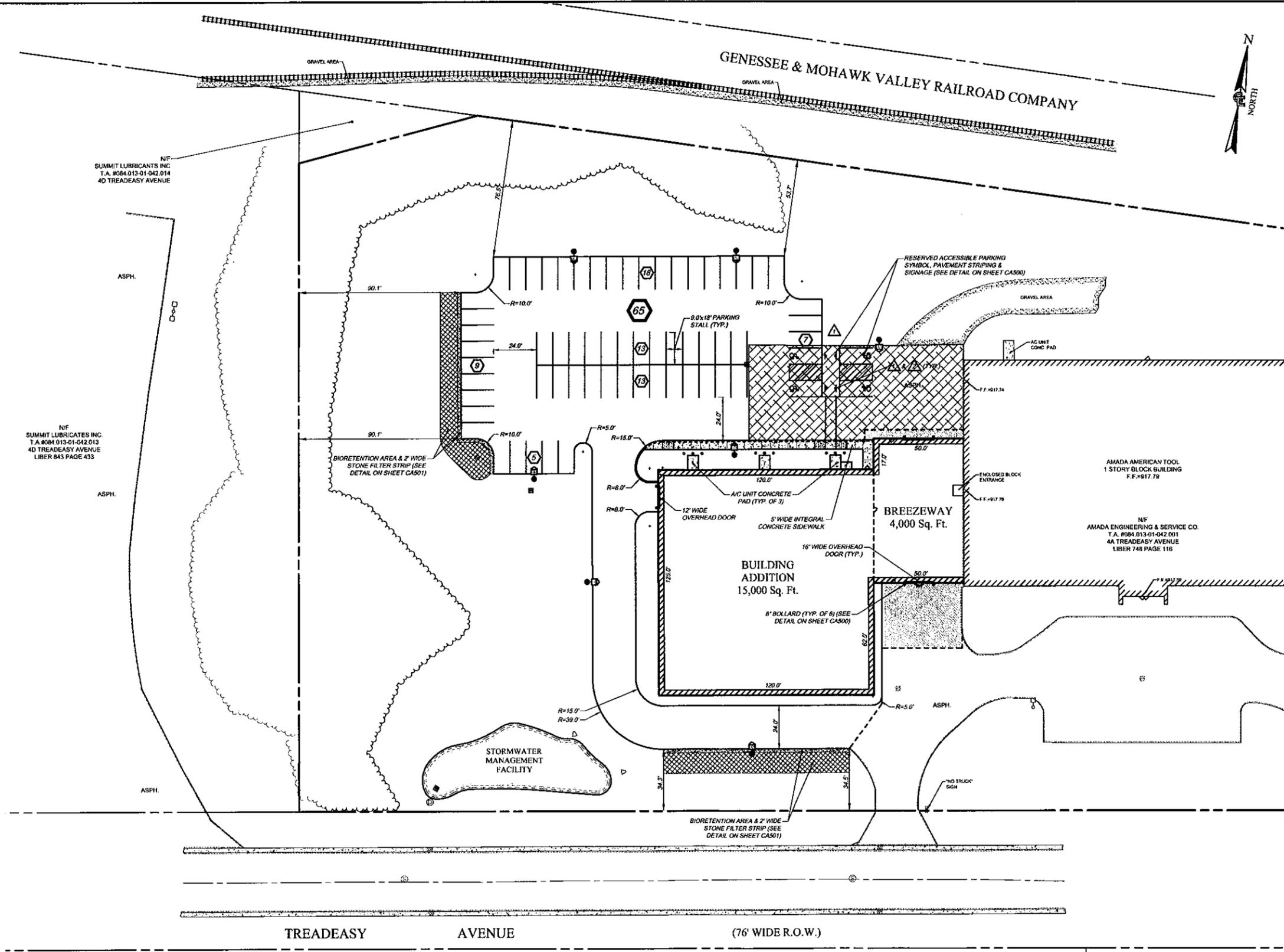
TITLE OF PROJECT
AMADA TOOL AMERICA INC.
4A TREADEASY AVENUE

TITLE OF DRAWING
EXISTING FEATURES/
DEMOLITION PLAN

LOCATION OF PROJECT
CITY OF BATAVIA COUNTY OF GENESSEE,
STATE OF NEW YORK

CLIENT
CHRISANTHA CONSTRUCTION CORP.
4661 DEWEY AVENUE, P.O. BOX 165
GORHAM, NEW YORK 14451

DWG # 6793
VA100
SHEET 03 OF 11



LINE LEGEND

	PARCEL BOUNDARY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	MIN. BUILDING SETBACK
	CENTER LINE
	EXIST. CONCRETE CURB
	EXIST. EDGE OF PAVEMENT
	EXIST. CONCRETE GUTTER/SIDEWALK
	EXIST. BUILDING
	PROPOSED BUILDING
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE INTEGRAL CURB

SYMBOL LEGEND

	EXISTING HYDRANT
	EXISTING SANITARY MANHOLE
	EXISTING STORM INLET, INLET MANHOLE, MANHOLE, & END SECTION
	EXISTING SIGNS
	PROPOSED SIGNS

SITE DATA

- PARCEL ADDRESS: 4A TREADEASY AVENUE
 - PARCEL TAX ACCOUNT NO.: 084.013-01-042.001 (8.80 ACRES)
 - ZONING: "P-1" PLANNED DEVELOPMENT - INDUSTRIAL DISTRICT
 - BULK AREA REQUIREMENTS: § 190-24
- | BUILDING SETBACKS | REQUIRED | PROPOSED |
|--|------------------------------------|----------------------|
| MIN. FRONT SETBACK | 30 FT. | 63.01 FT. (EXISTING) |
| MIN. SIDE SETBACK | 20 FT. ONE SIDE, 10 FT. OTHER SIDE | 48.04 FT. (EXISTING) |
| MIN. REAR SETBACK (ABUTTING RESIDENTIAL) | 50 FT. | 60.04 FT. (EXISTING) |
| MIN. FRONT YARD LANDSCAPE BUFFER | 30 FT. | 34.3 FT. |
5. PARKING: § 190-39
 REQUIRED: 1 SPACE PER 2 EMPLOYEES, PLUS 1 SPACE PER COMPANY CAR
 72 EMPLOYEES/2 + 0 COMPANY CARS = 36 SPACES
- | | REQUIRED | PROPOSED |
|--|----------|----------|
| | 36 | 65 |

SIGN LEGEND

SIGN NO.	TEXT	MUTCD NUMBER	DESCRIPTION	TYPE OR MOUNT	HEIGHT
1		P4-6	12"x18" WHITE ON BLUE	(SEE DETAIL ON SHEET CA500)	7'-0"
2		R7-1	12"x18" RED ON WHITE	"A" OR FREE-STANDING PEDESTAL	5'-6"

PAVEMENT LEGEND

	NORMAL ASPHALT PAVEMENT SECTION (SEE DETAIL SHEET CA500)
	HEAVY DUTY ASPHALT PAVEMENT SECTION (SEE DETAIL SHEET CA500)
	PAVEMENT RECONSTRUCTION, FULL DEPTH PAVEMENT MILL, TRUE AND LEVEL SUBBASE, PLACE NEW ASPHALT COURSES.

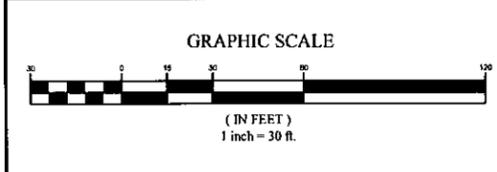
TREADEASY AVENUE (76' WIDE R.O.W.)

NF
 INTERSTATE CHEMICAL CO INC
 T.A.#084.013-01-042.002
 4G TREADEASY AVENUE
 LIBER 535 PAGE 00216

NF
 9 APOLLO DRIVE INC.
 T.A.#084.013-01-041
 6 TREADEASY AVENUE

Dig Safely. New York
 Underground Facilities Protection Organization
 Call Before You Dig
 Wait The Required Time
 Confirm Utility Response
 Respect The Marks
 Dig With Care
800-962-7962
 www.digsafelynewyork.com

EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLIE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



NO.	DATE	REVISION	BY	CHKD	APPROV

COPYRIGHT © 2018
 COSTICH ENGINEERING, D.P.C.
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION TO THE DOCUMENT.



PROJECT ENGINEER
 A.H.A.
 DRAWN BY
 D.J.L.
 BOUNDARY
 TOPOBASE
 D.J.L.
 DATE
 09/26/2018
 SCALE
 1"=30'

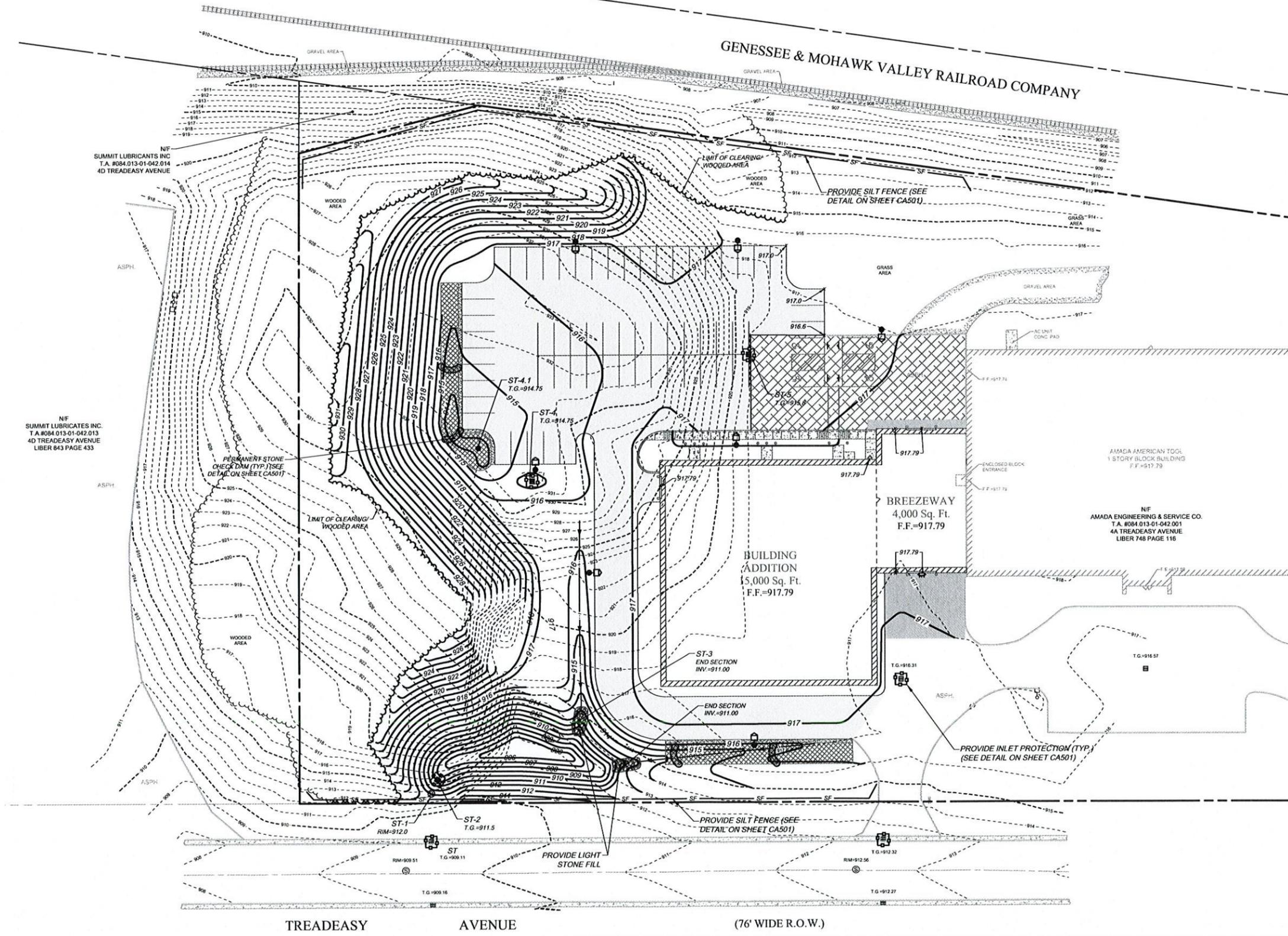


CIVIL ENGINEERING
 LAND SURVEYING
 LANDSCAPE ARCHITECTURE
 217 LAKE AVENUE
 ROCHESTER, NY 14606
 (585) 458-3020

TITLE OF PROJECT AMADA TOOL AMERICA INC. 4A TREADEASY AVENUE	DWG # 6793
TITLE OF DRAWING SITE PLAN	CA100
LOCATION OF PROJECT CITY OF BATAVIA COUNTY OF GENESSEE, STATE OF NEW YORK	SHEET 04 OF 11
CLIENT CHRISANTHIA CONSTRUCTION CORP. 4661 DEWEY AVENUE, P.O. BOX 165 GORHAM, NEW YORK 14451	



GENESSEE & MOHAWK VALLEY RAILROAD COMPANY



LINE & SYMBOL LEGEND

- PROJECT BOUNDARY
- CENTER LINE
- EXIST. RIGHT-OF-WAY LINE
- EXIST. CONCRETE CURB
- EXIST. EDGE OF PAVEMENT
- EXIST. EDGE OF GRAVEL
- EXISTING HYDRANT
- EXISTING SANITARY MANHOLE
- EXISTING STORM INLET, INLET MANHOLE, MANHOLE, & END SECTION
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM INLET, INLET MANHOLE, MANHOLE, & END SECTION
- EXISTING GUARD RAIL
- TREE, HEDGE, EDGE OF WOODS
- NEW TREE LINE OF WOODS
- EXISTING SWALE
- BARBED WIRE, STOCKADE, CHAIN LINKED FENCE
- CONCRETE PAD/ CONCRETE SIDEWALK
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION @ x
- PROPOSED SILT FENCE
- PROPOSED CONTOUR
- PROPOSED SWALE
- PROPOSED SPOT ELEVATION @ x
- PROPOSED INLET PROTECTION

PAVEMENT LEGEND

- NORMAL ASPHALT PAVEMENT SECTION (SEE DETAIL SHEET CA500)
- HEAVY DUTY ASPHALT PAVEMENT SECTION (SEE DETAIL SHEET CA500)
- PAVEMENT RECONSTRUCTION, FULL DEPTH PAVEMENT MILL, TRUE AND LEVEL SUBBASE, PLACE NEW ASPHALT COURSES.

N/F SUMMIT LUBRICANTS INC. T.A. #084.013-01-042.014 4D TREADEASY AVENUE LIBER 843 PAGE 433

N/F SUMMIT LUBRICANTS INC. T.A. #084.013-01-042.013 4D TREADEASY AVENUE LIBER 843 PAGE 433

N/F INTERSTATE CHEMICAL CO INC T.A.#084.013-01-042.002 4G TREADEASY AVENUE LIBER 535 PAGE 00218

N/F 9 APOLLO DRIVE INC. T.A.#084.013-01-041 6 TREADEASY AVENUE

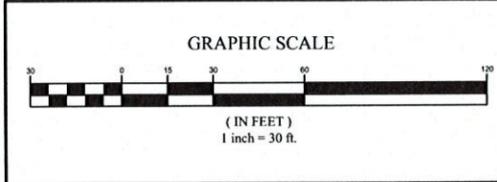
N/F AMADA AMERICAN TOOL 1 STORY BLOCK BUILDING F.F.=917.79

N/F AMADA ENGINEERING & SERVICE CO. T.A. #084.013-01-042.001 4A TREADEASY AVENUE LIBER 748 PAGE 116

TREADEASY AVENUE (76' WIDE R.O.W.)

Dig Safely. New York
 Underground Facilities Protection Organization
 ■ Call Before You Dig
 ■ Wait The Required Time
 ■ Confirm Utility Response
 ■ Respect The Marks
 ■ Dig With Care
800-962-7962
 www.digsafelynewyork.com

EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLIE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

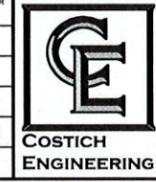


NO.	DATE	REVISION	BY	CHKD	APVLS

COPYRIGHT © 2018 COSTICH ENGINEERING, D.P.C.
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY," FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.



PROJECT ENGINEER A.H.A.
 DRAWN BY D.J.L.
 BOUNDARY --
 TOPOGRAPH D.J.L.
 DATE 09/26/2018
 SCALE 1"=30'



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

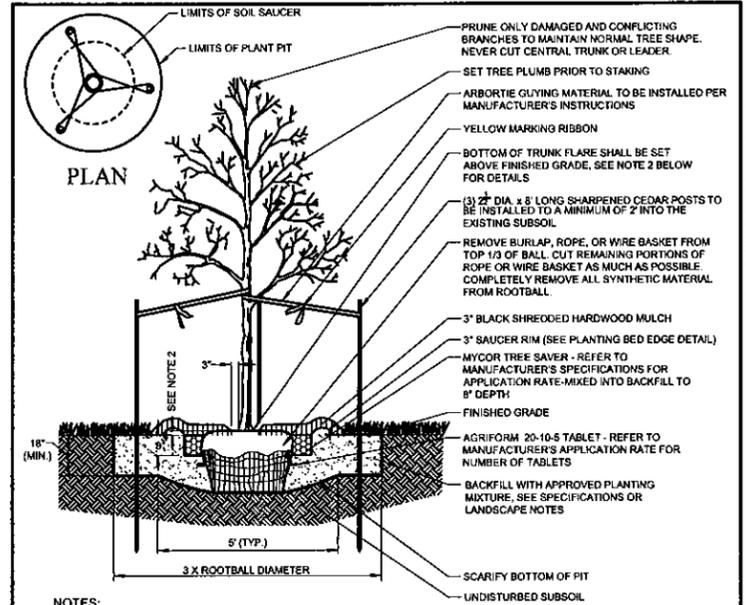
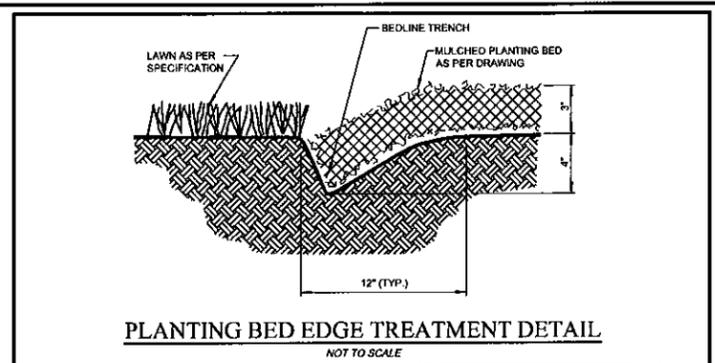
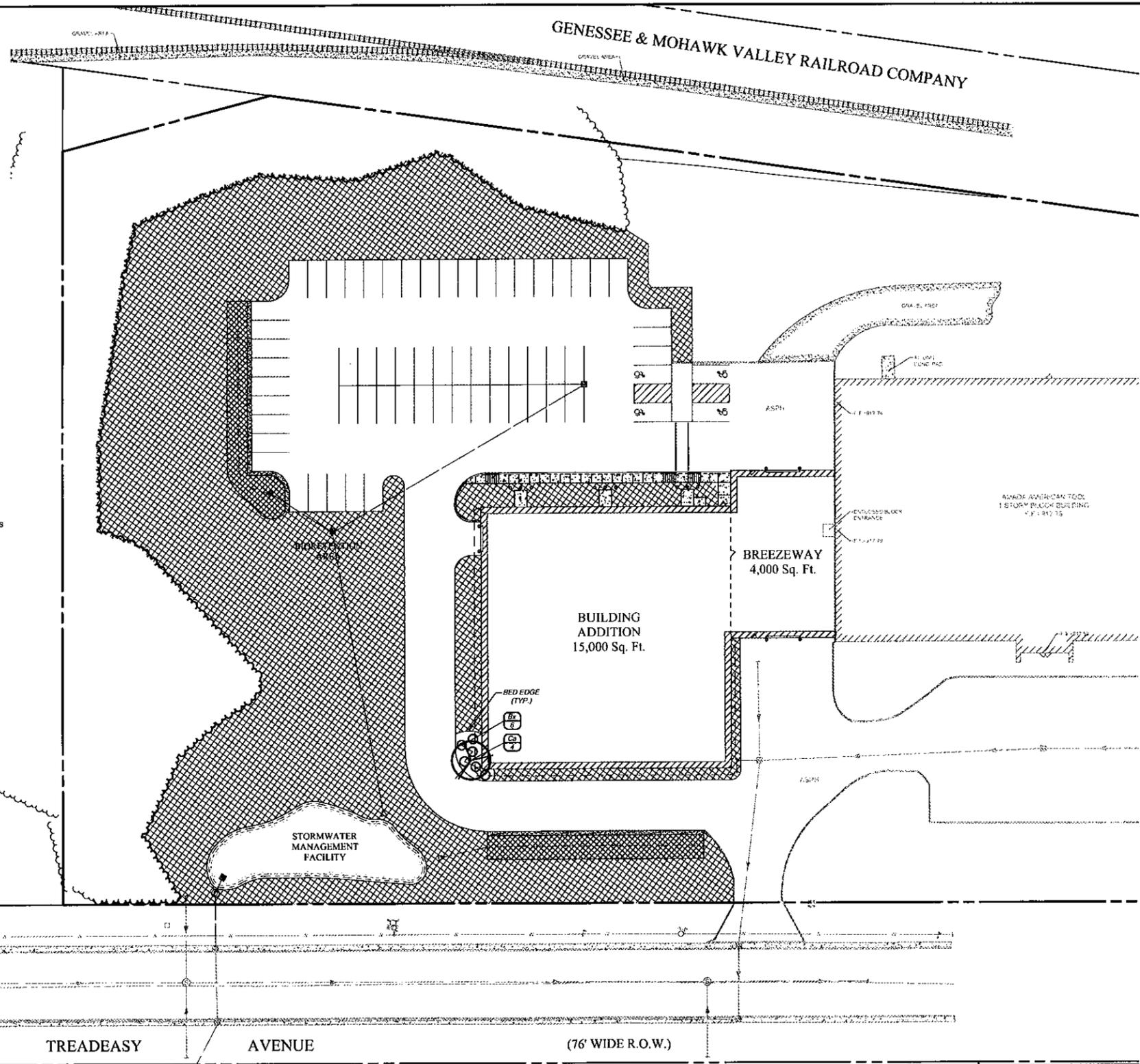
TITLE OF PROJECT: AMADA TOOL AMERICAN INC. 4A TREADEASY AVENUE
 TITLE OF DRAWING: GRADING & EROSION CONTROL PLAN
 LOCATION OF PROJECT: CITY OF BATAVIA COUNTY OF GENESSEE, STATE OF NEW YORK
 CLIENT: CHRISAMNTHA CONSTRUCTION CORP. 4661 DEWEY AVENUE, P.O. BOX 165 GORHAM, NEW YORK 14461
 DWG. # 6793
CA120
 SHEET 06 OF 11

LANDSCAPE NOTES

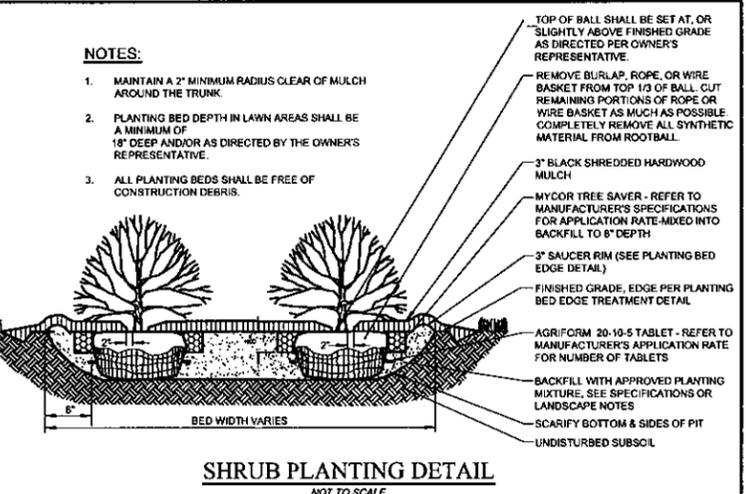
- LANDSCAPE CONTRACTOR SHALL SECURE CURRENT PLANS AND SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPING PRIOR TO COMMENCING WORK.
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC., WASHINGTON, D.C.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB BEDS. LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE OWNER'S REPRESENTATIVE AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST. SHOULD LOCATION OF TREES BE WITHIN 5' OF UNDERGROUND UTILITIES, RELOCATE SAID TREES TO A MINIMUM OF 5' FROM BALL TO UTILITIES.
- SHOULD LOCATION OF TREES BE WITHIN 20' OF OVERHEAD WIRES, RELOCATE SAID TREES TO A MINIMUM OF 20' FROM WIRES.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- ALL PLANTED AREAS SHALL RECEIVE A 3" LAYER OF BLACK SHREDDED BARK MULCH OR APPROVED ALTERNATE.
- ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL RECEIVE TOPSOIL AND SEED.
- MAINTENANCE OF LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR ONE YEAR(S) (1) YEAR.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO TOTAL AND FINAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY MEETING ALL PLANT LIST SPECIFICATIONS.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED.

LAWN SEED MIX

TRIO MIX
 34% BLEND OF 3 OF OUR TOP RATED PERENNIAL RYEGRASSES
 33% BOREAL CREEPING RED FESCUE
 33% KENBLUE KENTUCKY BLUEGRASS
 SEEDING RATE: 5 LBS PER 1,000 SQ FT



- NOTES:**
- MAINTAIN A 3" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
 - THE DISTANCE BETWEEN THE BOTTOM OF THE TRUNK FLARE AND THE FINISHED GRADE SHALL BE AS FOLLOWS:
 FOR SANDY OR LOAMY SOILS: 1"
 FOR CLAY OR POORLY DRAINED SOILS: 3"
 THE CONTRACTOR SHALL REVIEW THE APPROPRIATE PLANTING DEPTH WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - WHEN TAGGING TREES AT THE NURSERY, MARK THE NORTH SIDE OF THE TREE IN THE FIELD AND WHEN INSTALLING, ROTATE TREE TO FACE NORTH WHENEVER POSSIBLE.

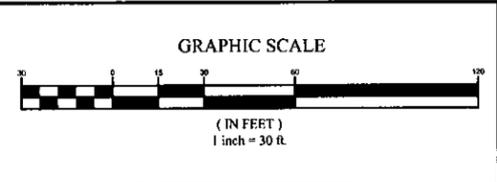


- NOTES:**
- MAINTAIN A 2" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
 - PLANTING BED DEPTH IN LAWN AREAS SHALL BE A MINIMUM OF 18" DEEP AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - ALL PLANTING BEDS SHALL BE FREE OF CONSTRUCTION DEBRIS.

PLANT SCHEDULE

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT NOTE	MATURE SIZE
TREES						
1	Ns	NYSSA SYLVATICA WILDFIRE	WILDFIRE BLACKGUM	2-2.5" CAL.	BB	20-25' SPREAD, 30-50' HEIGHT
SHRUBS						
6	Bx	BUXUS X GREEN GEM	GREEN GEM BOXWOOD	NO.3	CONT.	3-4' SPREAD, 3-4' HEIGHT

ABBREVIATIONS: BB = BALLED & BURLAPPED SP = SPREAD NO. # = GALLON SIZE BR = BARE ROOT CAL = CALIPER IN INCHES HT = HEIGHT CONT. = CONTAINER



NO.	DATE	REVISION	BY	CHKD	APVLD

Dig Safely. New York
 Underground Facilities Protective Organization
 ■ Call Before You Dig
 ■ Wait The Required Time
 ■ Confirm Utility Response
 ■ Respect The Marks
 ■ Dig With Care
800-962-7962
 www.digsafelynewyork.com

COPYRIGHT © 2018
 COSTICH ENGINEERING, D.P.C.
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT. IN ANY WAY DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY," FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.

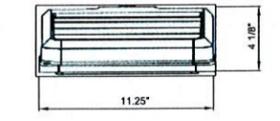
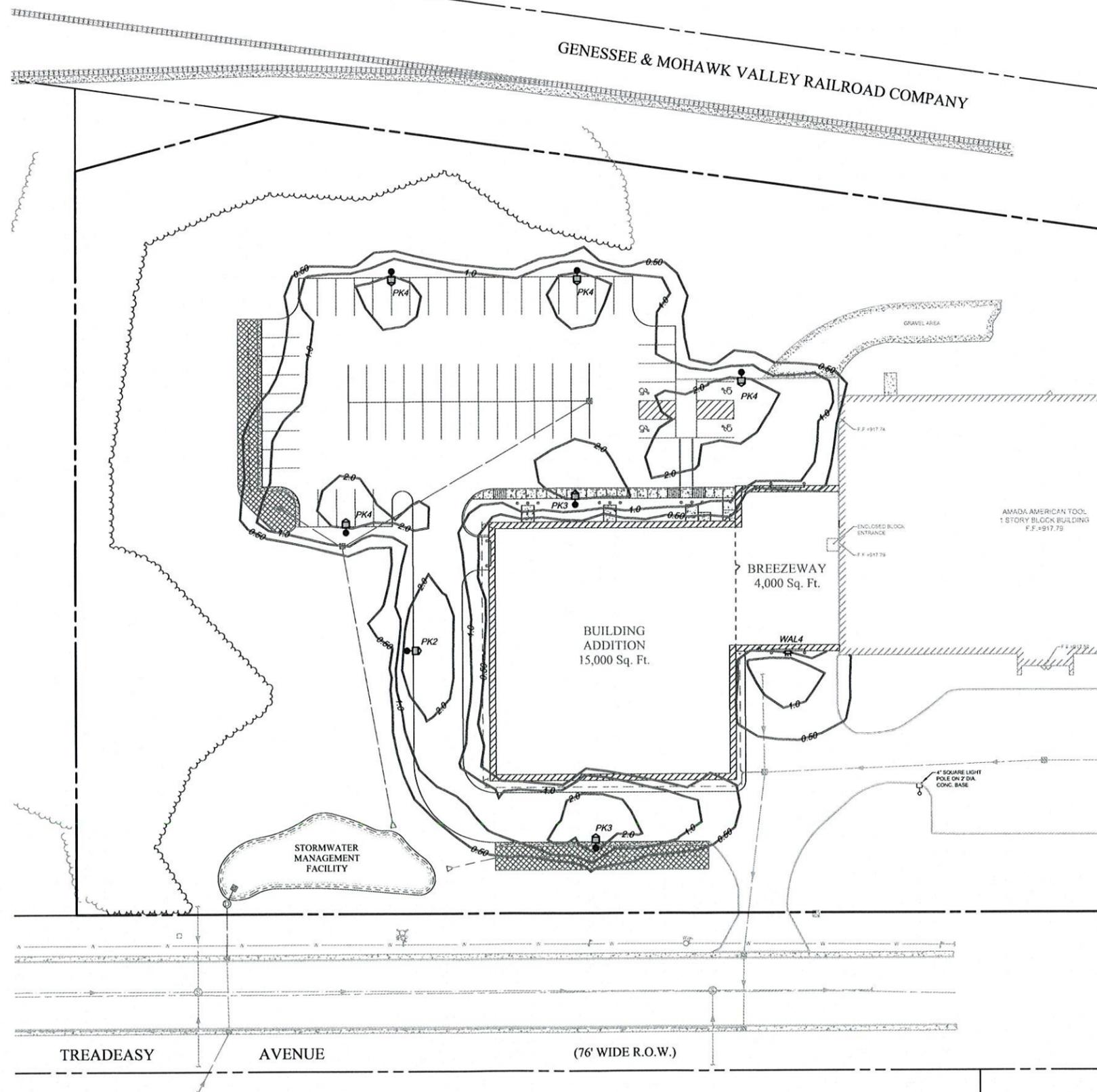
REGISTERED LANDSCAPE ARCHITECT
 STATE OF NEW YORK
 00257

PROJECT ENGINEER
A.H.A.
 DRAWN BY
D.J.L.
 CHECKED BY
D.J.L.
 TOPGRAPH
D.J.L.
 DATE
 09/26/2018
 SCALE
 1"=30'

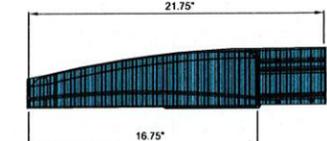
TITLE OF PROJECT
AMADA TOOL AMERICA INC.
4A TREADEASY AVENUE
 TITLE OF DRAWING
LANDSCAPE PLAN
 LOCATION OF PROJECT
 CITY OF BATAVIA COUNTY OF GENESSEE, STATE OF NEW YORK
 CLIENT
 CHRISANTHA CONSTRUCTION CORP.
 4561 DEWEY AVENUE, P.O. BOX 165
 GORHAM, NEW YORK 14461
 DWS # 6793
LA100
 SHEET 07 OF 11

LINE LEGEND

	PROJECT BOUNDARY
	EXISTING RIGHT-OF-WAY LINE
	EXISTING CONCRETE CURB
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING WATER MAIN, VALVE, & HYDRANT
	EXISTING SANITARY SEWER, & MANHOLE
	EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
	EXISTING OVERHEAD UTILITIES
	EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
	EXISTING GUARD RAIL
	BARBED WIRE, STOCKADE & CHAIN LINK FENCE
	PROPOSED DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION



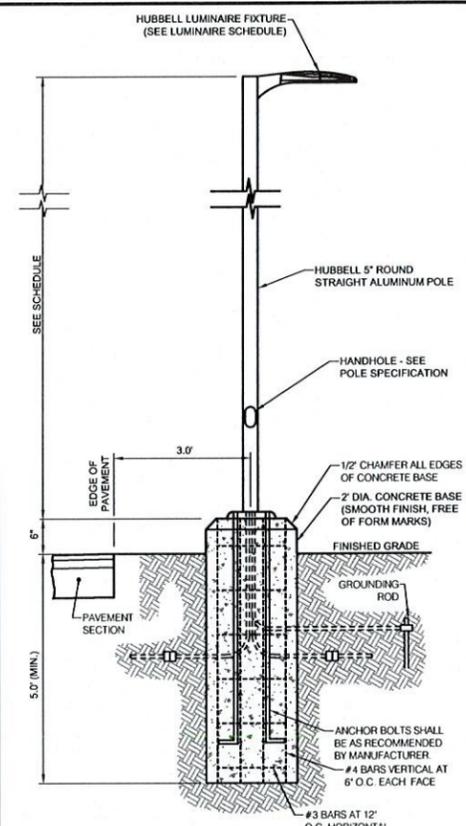
FRONT VIEW



SIDE VIEW

HUBBELL LUMINAIRE FIXTURE (SEE LUMINAIRE SCHEDULE)

LIGHT FIXTURE DETAIL
NOT TO SCALE



NOTES:
-REFER TO ELECTRICAL SERIES DRAWINGS FOR CONDUIT & WIRING DETAILS.
-ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SITE LIGHTING COMPONENTS, BASES, POLES, LUMINAIRES, CONDUITS, CONDUCTORS, ETC AS NECESSARY.

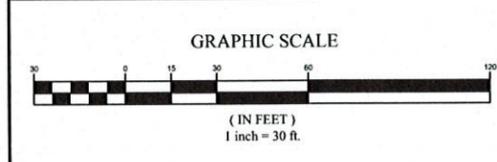
LIGHT POLE AND FIXTURE DETAIL
NOT TO SCALE

TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	POLE/BASE/MTG. HGT.	LLF	QTY
PK2	●	HUBBELL LIGHTING TYPE 2 (1) "S2A" VP-S-48L-110-4K7-2	(1)	15366	24 feet / 0.5 feet / 24.5 feet	0.85	1
PK3	●	HUBBELL LIGHTING TYPE 3 (1) "S3A" VP-S-48L-110-4K7-3	(1)	15366	24 feet / 0.5 feet / 24.5 feet	0.85	2
PK4	●	HUBBELL LIGHTING TYPE 4 (1) "S4A" VP-S-48L-110-4K7-4	(1)	15221	24 feet / 0.5 feet / 24.5 feet	0.85	4
WAL4	●	HUBBELL LIGHTING TYPE 4 (1) "S4" VP-S-24L-27-4K7-4	(1)	15221	N/A	0.85	1

LUMINAIRE SCHEDULE

Dig Safely. New York
Underground Facilities Protective Organization
 ■ Call Before You Dig
 ■ Wait The Required Time
 ■ Confirm Utility Response
 ■ Respect The Marks
 ■ Dig With Care
800-962-7962
 www.digsafelynewyork.com

EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLI TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

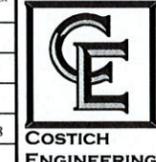


NO	DATE	REVISION	BY	CHKD	APVLS

COPYRIGHT © 2018
COSTICH ENGINEERING, D.P.C.
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY," FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION TO THE DOCUMENT.

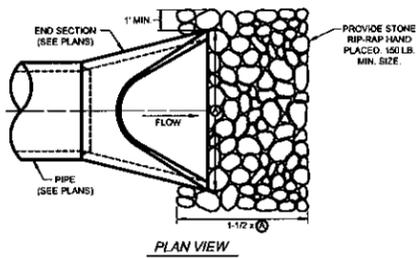
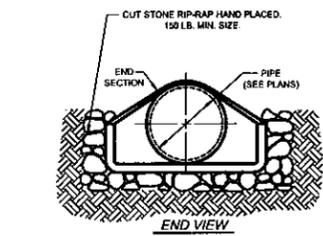


PROJECT ENGINEER
A.H.A.
 DRAWN BY
D.J.L.
 BOUNDARY
--
 TOPOBASE
D.J.L.
 DATE
09/26/2018
 SCALE
1"=30'



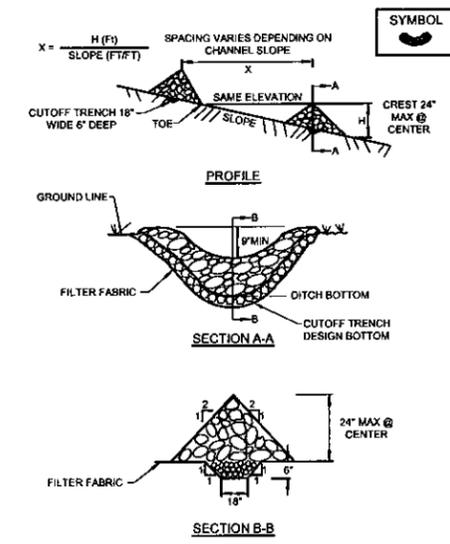
• CIVIL ENGINEERING
 • LAND SURVEYING
 • LANDSCAPE ARCHITECTURE

TITLE OF PROJECT
AMADA TOOL AMERICA INC.
4A TREADEASY AVENUE
 TITLE OF DRAWING
LIGHTING PLAN
 LOCATION OF PROJECT
CITY OF BATAVIA COUNTY OF GENESSEE, STATE OF NEW YORK
 CLIENT
CHRISANTHIA CONSTRUCTION CORP.
4661 DEWEY AVENUE, P.O. BOX 165
GORHAM, NEW YORK 14461
 DWG # 6793
LA110
 SHEET 08 OF 11



RIP-RAP AT END SECTION DETAIL

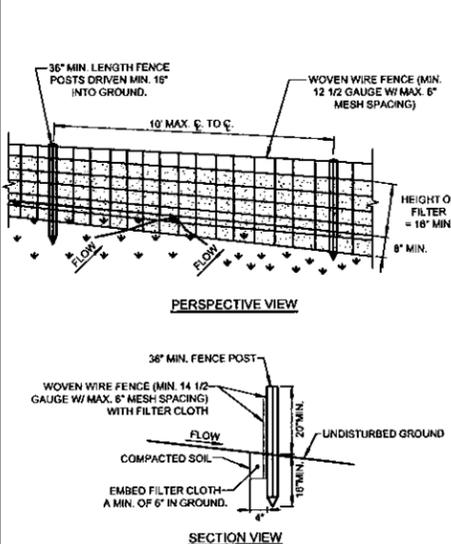
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 - SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 - EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
 - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 - ENSURE THAT CHANNEL APURTANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

CHECK DAM DETAIL

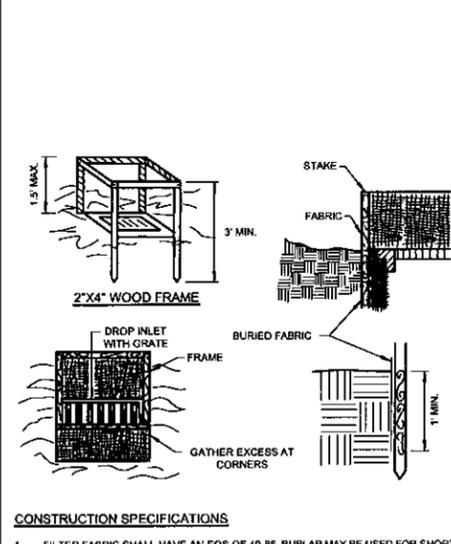
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 114IN, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL BE GEOTAF, ENVIROFENCE, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE OR 50% OF THE HEIGHT OF THE SILT FENCE IS COVERED.

SILT FENCE DETAIL

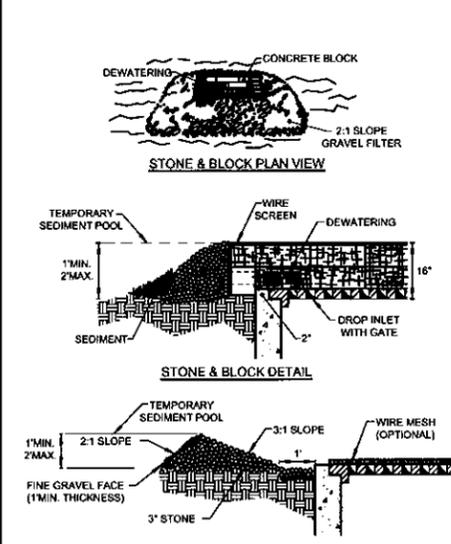
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 - STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT, METAL WITH A MINIMUM LENGTH OF 3 FEET.
 - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 16 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
 - A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE OR 50% OF THE HEIGHT OF THE SILT FENCE IS COVERED.

FILTER FABRIC DROP INLET PROTECTION DETAIL

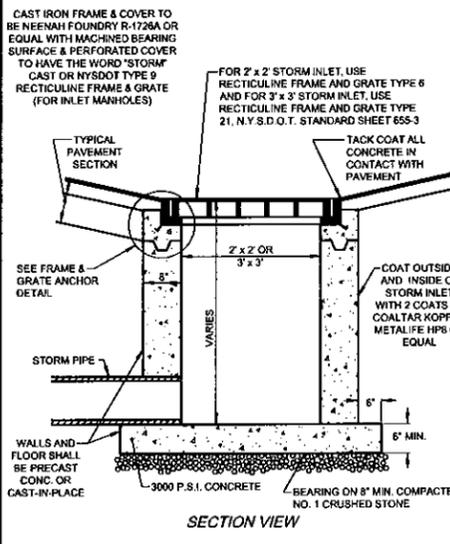
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
 - HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
 - USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
 - FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

STONE AND BLOCK DROP INLET PROTECTION DETAIL

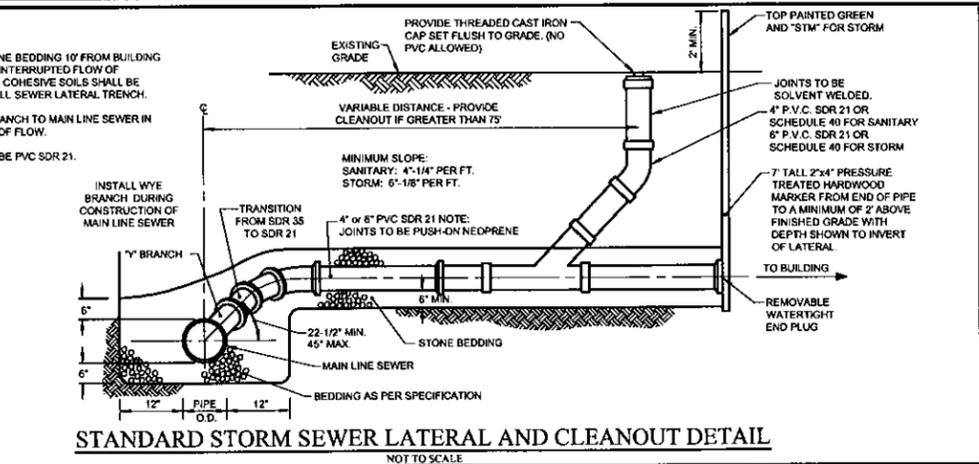
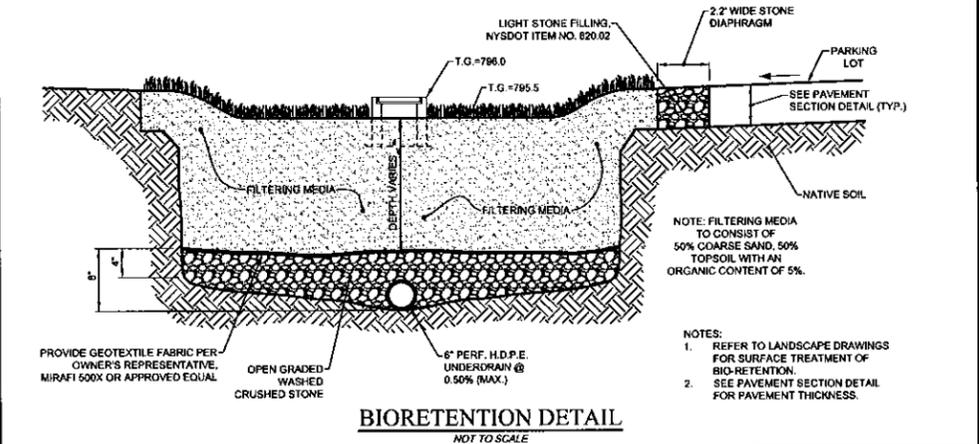
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
 - HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
 - USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
 - FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

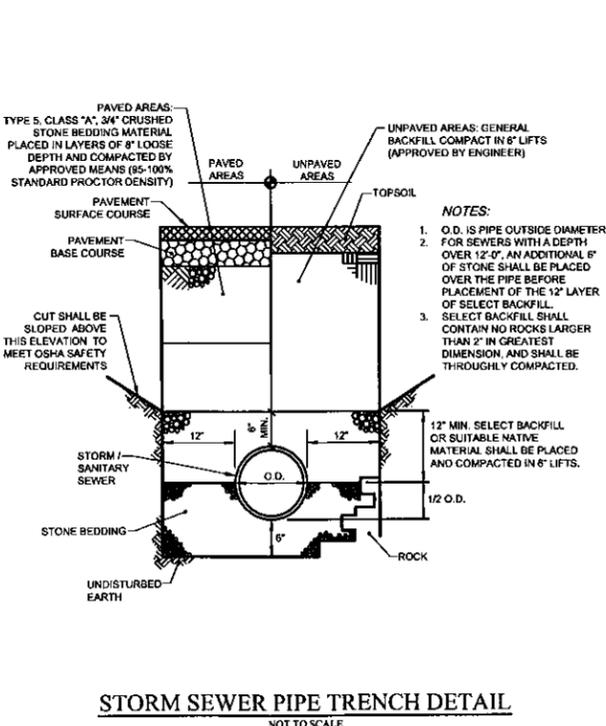
STORM INLET DETAIL

NOT TO SCALE



STANDARD STORM SEWER LATERAL AND CLEANOUT DETAIL

NOT TO SCALE

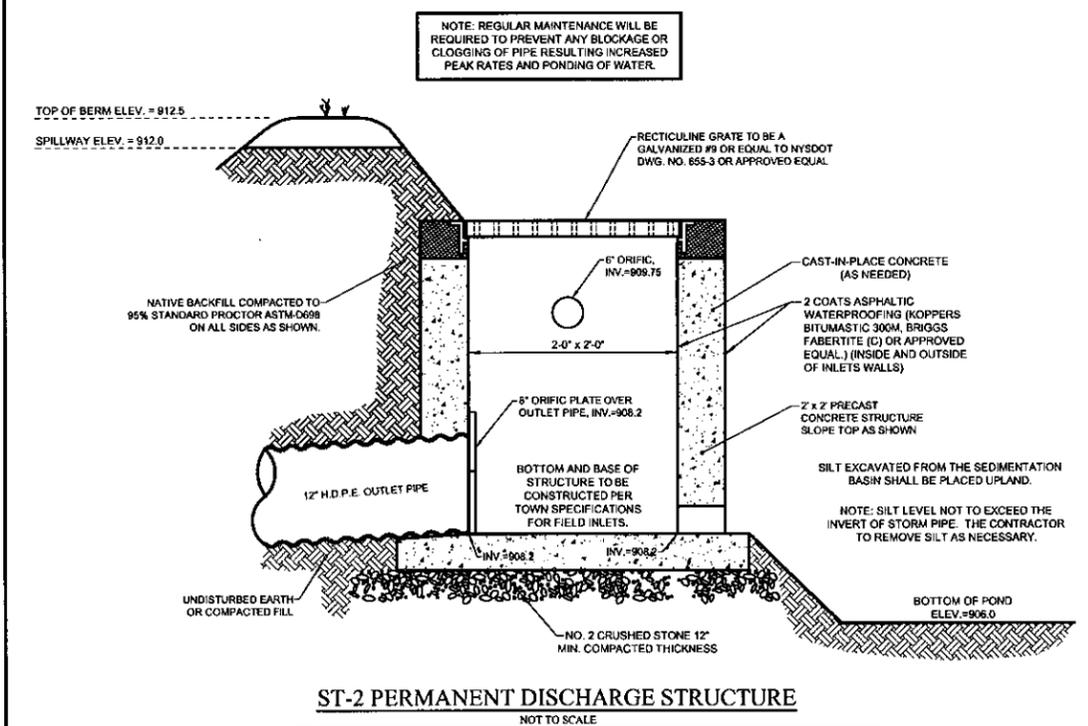


CONSTRUCTION SPECIFICATIONS

- O.D. IS PIPE OUTSIDE DIAMETER
- FOR SEWERS WITH A DEPTH OVER 12'-0", AN ADDITIONAL 6" OF STONE SHALL BE PLACED OVER THE PIPE BEFORE PLACEMENT OF THE 12" LAYER OF SELECT BACKFILL.
- SELECT BACKFILL SHALL CONTAIN NO ROCKS LARGER THAN 2" IN GREATEST DIMENSION, AND SHALL BE THOROUGHLY COMPACTED.

STORM SEWER PIPE TRENCH DETAIL

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

- REGULAR MAINTENANCE WILL BE REQUIRED TO PREVENT ANY BLOCKAGE OR CLOGGING OF PIPE RESULTING INCREASED PEAK RATES AND PONDING OF WATER.

ST-2 PERMANENT DISCHARGE STRUCTURE

NOT TO SCALE

NO.	DATE	REVISION	BY	CHKD	APVLD

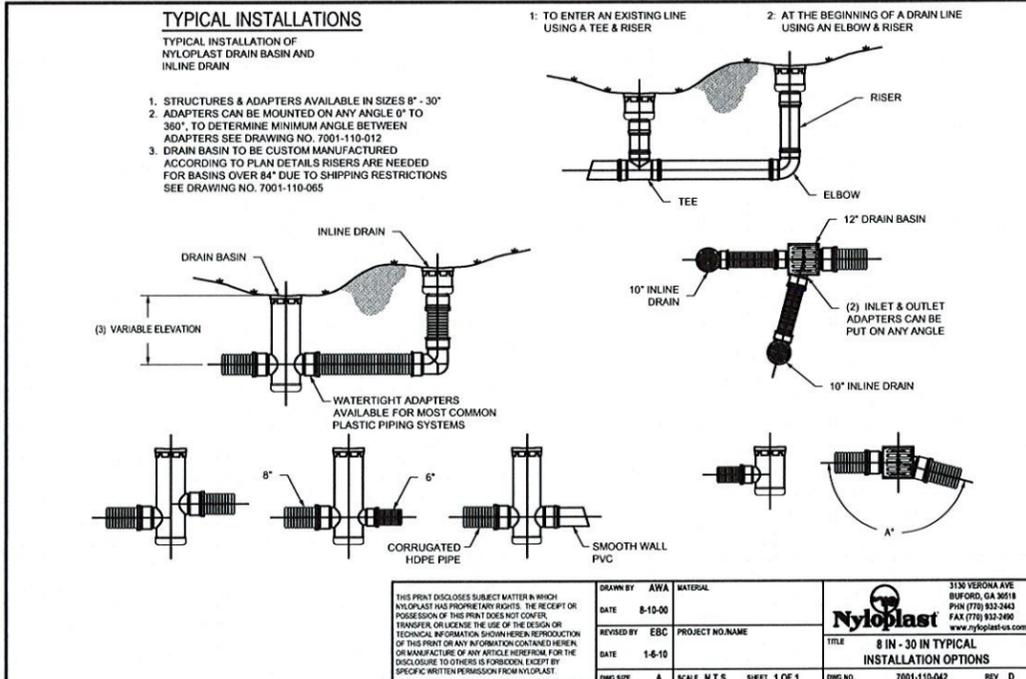
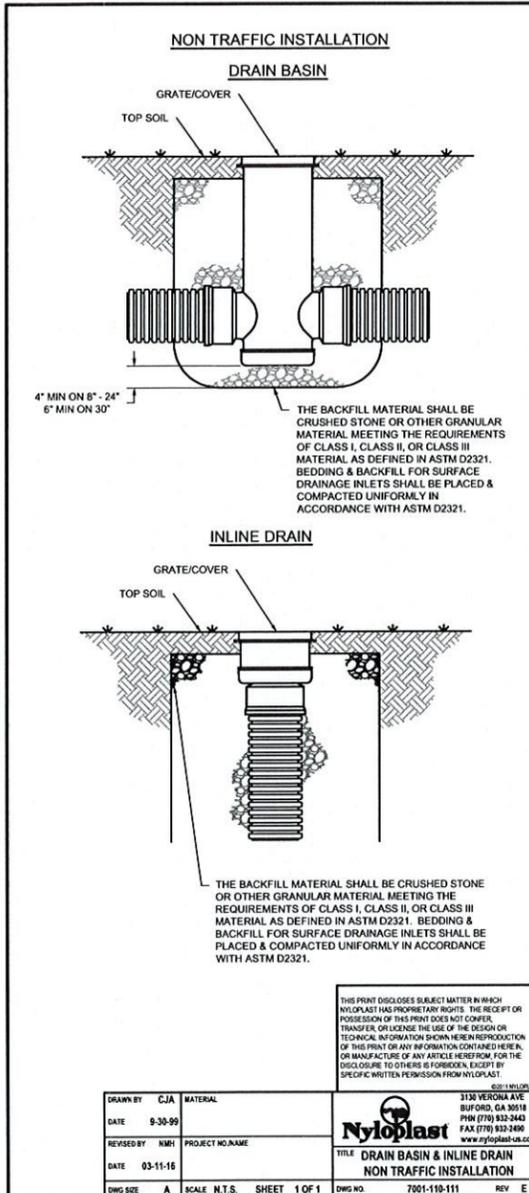
COPYRIGHT © 2018 COSTICH ENGINEERING, D.P.C.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT, OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY PERSONS WHO ALTER THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY," FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.

STATE OF NEW YORK
Professional Engineer
A.H.A.
D.J.L.
BOUNDARY
TOPOGRA
DATE 09/26/2018
SCALE N.T.S.

COSTICH ENGINEERING
217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

PROJECT: AMADA TOOL AMERICA INC. 4A TREADEASY AVENUE
TITLE: DETAILS
LOCATION: CITY OF BATAVIA COUNTY OF GENESEE, STATE OF NEW YORK
CLIENT: CHRISANTHIA CONSTRUCTION CORP. 4661 DEWEY AVENUE, P.O. BOX 165 GORHAM, NEW YORK 14461
DWG # 6793
SHEET 10 OF 11



Section 2722
Engineered Surface Drainage Products

GENERAL
PVC surface drainage inlets shall be of the inline drain type as indicated on the contract drawing and referenced with in the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be manufactured by Nyloplast a division of Advanced Drainage Systems, Inc. or prior approved equal.

MATERIALS
The inline drain required for this contract shall be manufactured from PVC pipe stock utilizing a thermomolding process to reform the pipe stock to the finished configuration. The drainage pipe connection shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. The joint gaskets shall conform to ASTM D3212 for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM E427. The pipe joint gasket shall be joined to the inline drain body by use of a swage mechanical joint. The raw material used to manufacture the pipe stock that is used to manufacture the inline drain body and pipe stubs of the surface drainage inlets shall conform to ASTM D1754 cell class 12454.

The grates furnished for all surface drainage inlets shall be ductile iron grates for sizes 8", 10", 12", 18", 24" and 30" shall be made specifically for each fitting so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for inline drains shall be capable of supporting H-20 wheel loading for traffic areas or H-10 loading for pedestrian areas. 12" and 18" square grates will be fitted to the frame using pins. Metal used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05 for ductile iron. Grates shall be provided painted black.

INSTALLATION
The specified PVC surface drainage inlet shall be installed using conventional flexible pipe bedding materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1, class 2, or class 3 material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2321. The drain basin body will be set at the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For 4-22 load rated installations, a concrete ring will be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of free ground water, and soft foundations refer to ASTM D2321 guidelines.

DRAWN BY: CJA	MATERIAL:	DATE: 3-10-00	PROJECT NO. NAME:
REVISOR BY: NMH	PROJECT NO. NAME:	DATE: 03-15-16	TITLE:
DATE: 03-11-16		DWG. SIZE: A	SCALE: N.T.S.
		SHEET: 1 OF 1	DWG. NO.: 7001-110-009

NO	DATE	REVISION	BY	CHKD	APVLS

COPYRIGHT © 2018
COSTICH ENGINEERING, D.P.C.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION TO THE DOCUMENT.

PROJECT ENGINEER
A.H.A.
DRAWN BY
D.J.L.
BOUNDARY
--
TOPOGRAPHY
--
DATE
09/26/2018
SCALE
N.T.S.

COSTICH ENGINEERING
217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

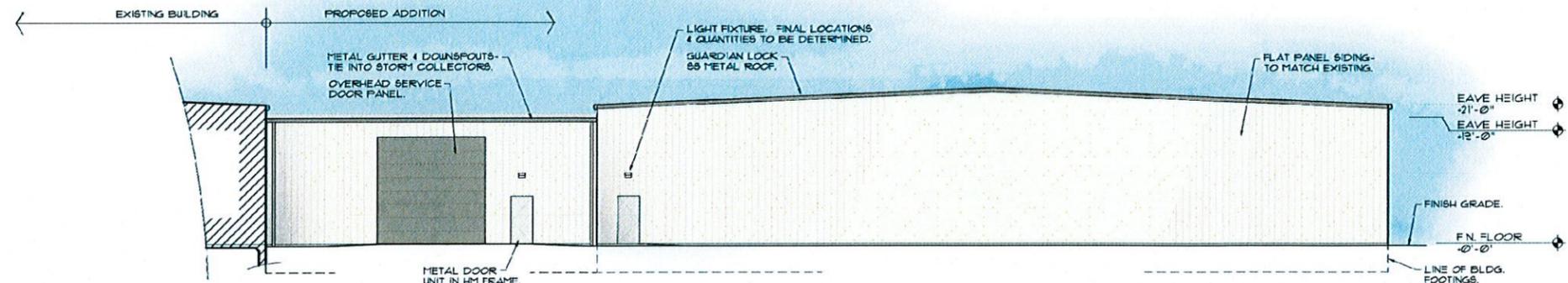
TITLE OF PROJECT
AMADA TOOL AMERICA INC.
4A TREADEASY AVENUE

TITLE OF DRAWING
DETAILS

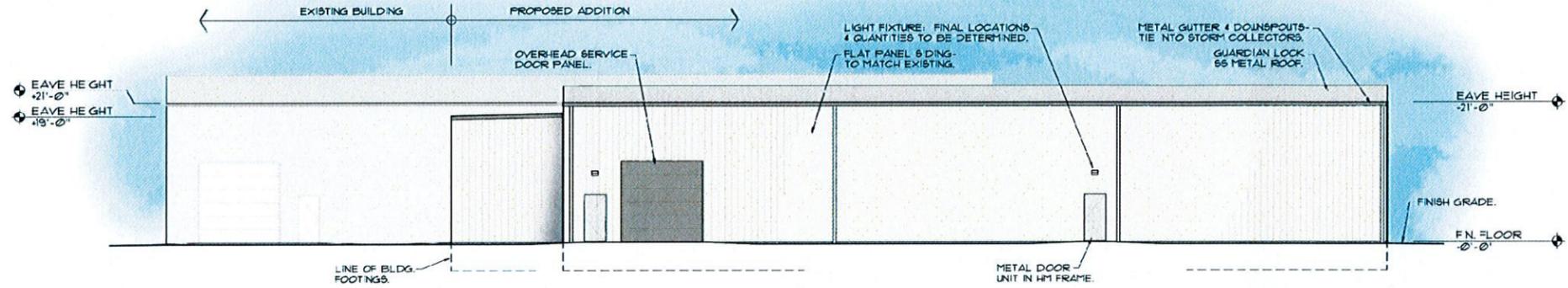
LOCATION OF PROJECT
CITY OF BATAVIA COUNTY OF GENESEE,
STATE OF NEW YORK

CLIENT
CHRISANTHIA CONSTRUCTION CORP.
4661 DEWEY AVENUE, P.O. BOX 165
GORHAM, NEW YORK 14461

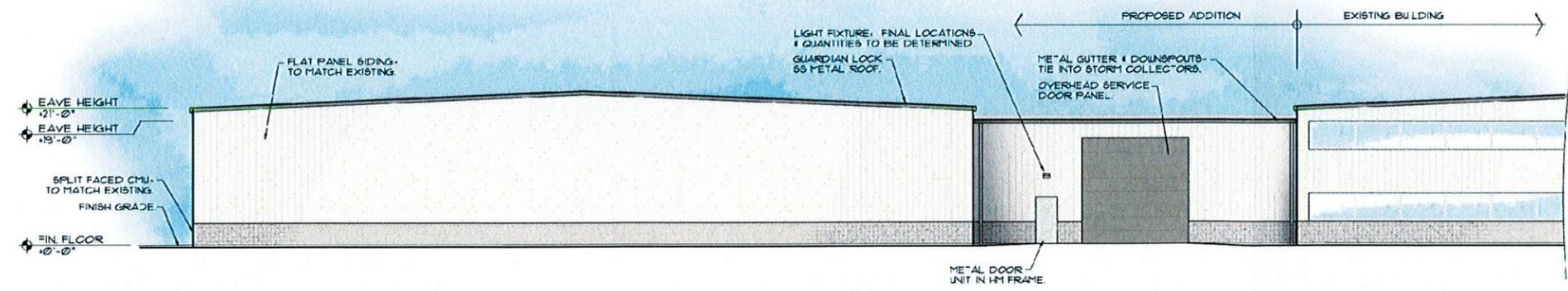
DWG. # 6793
CA502
SHEET 11 OF 11



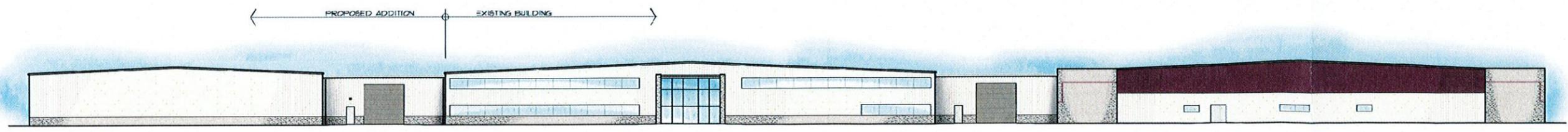
4 NORTH ELEVATION- ADDITION
SCALE: 3/32" = 1'-0"



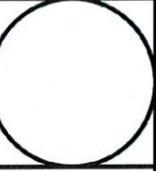
3 WEST ELEVATION- ADDITION
SCALE: 3/32" = 1'-0"



2 SOUTH ELEVATION- ADDITION
SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION- OVERALL
SCALE: 3/64" = 1'-0"



HANLON ARCHITECTS
100 UNIVERSITY AVENUE
ROCHESTER, NY 14607
WWW.HANLONARCHITECTS.COM
T: 585.223.9449
F: 585.553.8271

CHRISANNTHA
CONSTRUCTION CORPORATION
P.O. Box 165
Guthrie, New York 14461
Phone (516) 526-0376

**Amada Tool America
Building Addition**
4A Treadway Avenue
Batavia, New York

REVISIONS

PRELIMINARY
DATE: 9-26-18

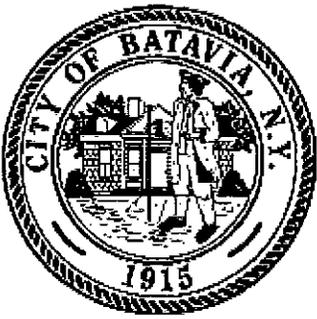
EXTERIOR
ELEVATIONS

DRAWING TITLE:

A2

SHEET NO.:

PROJECT NO. 18-114



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 10/2/18

Re: **312 Ellicott St.**
Tax Parcel No. 84.066-2-66

Zoning Use District: C-3 (BID)

The applicant, Rick Mancuso (owner) has filed an application to demolish and remove a “non-conforming use” two family dwelling from this parcel located in the Central Commercial District. The applicant proposes to redevelop the parcel for use as a permitted principal use parking area.

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a road or highway.

City Planning and Development Committee- Pursuant to section 190-14 D(2)(a) of the zoning ordinance, the Planning and Development Committee shall review all applications that involve exterior changes requiring issuance of a demolition permit on properties located within the Downtown Batavia Business Improvement District.

BMC 190-14D (2)(d) Standards to guide committee- See attached

BMC 190-42 G Landscaping regulations- See attached

Zoning Board of Appeals- Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

The neighboring building immediately to the west is 310 Ellicott St. and consists of a first floor commercial use with a residential use on the second floor. This structure is presently vacant.

The neighboring property to the south is 2 Goade Pk. and is occupied as a two family residential use property.

Site restrictions do not allow enough room for proper buffers.

Required variances- Area

- 1) **BMC 190-42 G(1) A 10' buffer of trees, shrubs, plants and grass is required along the property lines in contact with residential use properties. No plantings are proposed between this parcel and the two neighboring residential use properties.**
- 2) **BMC 190-42 G(2) A 6' tall fence with less than 25% open spaces is required along the lot lines in contact with residential use properties. No fence is proposed along the property lines adjoining 310 Ellicott St. There is an existing fence on this property parallel with 2 Goade Pk., the residential use parcel to the south.**

The Planning and Development Committee will be the lead agency to conduct SEQR.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 344-2580 Ext. 5467



*** GENESEE COUNTY *
PLANNING BOARD REFERRAL**

DEPARTMENT USE ONLY:
GCDP Referral # _____

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) PDC and ZBA
Address One Batavia City Centre
City, State, Zip Batavia, NY 14020
Phone (585) 345 - 6347 Ext. _____

2. APPLICANT INFORMATION

Name Rick Mancuso Main & Ellicott Properties LLC
Address 216 East Main St.
City, State, Zip Batavia, NY 14020
Phone (585) 345 - 1000 Ext. _____ Email _____

MUNICIPALITY: City Town Village of Batavia

3. TYPE OF REFERRAL: (Check all applicable items)

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Area Variance | <input type="checkbox"/> Zoning Map Change | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance | <input type="checkbox"/> Zoning Text Amendments | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final |
| <input type="checkbox"/> Site Plan Review | <input checked="" type="checkbox"/> Other: <u>Approval B.I.D. dist.</u> | |

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

- A. Full Address 312 Ellicott St.
- B. Nearest intersecting road Goade Pk.
- C. Tax Map Parcel Number 84.066-2-66
- D. Total area of the property 4487 sq.' Area of property to be disturbed _____
- E. Present zoning district(s) C-3

5. REFERRAL CASE INFORMATION:

- A. Has this referral been previously reviewed by the Genesee County Planning Board?
 NO YES If yes, give date and action taken _____
- B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law
BMC 190- 42 G (1) and 190-42 G (2)
- C. Please describe the nature of this request Approval to remove the building on a parcel located within the B.I.D. and create a space for parking without proper buffers.

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments | <input type="checkbox"/> New or updated comprehensive plan |
| <input checked="" type="checkbox"/> Site plan | <input type="checkbox"/> Location map or tax maps | <input checked="" type="checkbox"/> Photos |
| <input type="checkbox"/> Subdivision plot plans | <input type="checkbox"/> Elevation drawings | <input checked="" type="checkbox"/> Other: <u>Cover letter</u> |
| <input checked="" type="checkbox"/> SEQR forms | <input type="checkbox"/> Agricultural data statement | |

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.
Email to planning@co.genesec.ny.us

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drrandall@batavianewyork.com



City of Batavia, New York
Building Demolition Application - Permit

Permit No. _____

Applicant's Name MAIN & ELLIOTT PROPERTIES LLC

Address 216 E MAIN ST BATAVIA Phone 585-345-1000

Owner's Name MAIN & ELLIOTT PROPERTIES LLC

Address 216 E MAIN ST BATAVIA NY 14020

Location of Structure 312 ELLIOTT ST Type of Structure VACANT HOUSE

Last Use of Structure RENTAL No. of Dwelling Units ONE

Starting Date ASAP Extent of Demolition COMPLETE

Insurance Certificates: Workman's Compensation _____ Expiration Date _____

Liability Insurance _____ Expiration Date _____

Explosives to be used? Yes _____ No X
If yes, name and address of Licensed Operator _____

Notification of City Departments & Utilities via signature:

	Notified	Terminated
Police Chief	_____	_____
Fire Chief	_____	_____
Water Superintendent	_____	_____
Sewer inspector	_____	_____
Power Company	_____	_____
Gas Company	_____	_____
Telephone Company	_____	_____
Cablevision	_____	_____

Method of Demolition LARGE EQUIPMENT

I (We) hereby agree to be bound by the provisions of the Ordinances, Specifications, and Regulations of the City of Batavia governing demolition work and to such special conditions, restrictions, and regulations as may be imposed by the Director of Public Works.

[Signature]
Signature of Applicant

9/5/18
Date



CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.: 18-16
Hearing Date/Time: _____

APPLICANT: RICK MANCUSO RICK@MANCUSOINVESTMENTS.COM
Name E-Mail Address
216 E MAIN ST 585 345 1000 345 1003
Street Address Phone Fax
BATAVIA NY 14020
City State Zip

STATUS: Owner _____ Agent for Owner _____ Contractor

OWNER: MAIN + ELLICOTT PROPERTIES LLC
Name E-Mail Address
216 E MAIN ST 585 345 1000 345 1003
Street Address Phone Fax
BATAVIA NY 14020
City State Zip

LOCATION OF PROPERTY: 312 Ellicott St.

DETAILED DESCRIPTION OF REQUEST: REMOVAL OF VACANT RESIDENCE
TO CREATE PARKING FOR NEIGHBORING
OFFICE/RETAIL COMPLEX

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

[Signature]
Applicant's Signature

9/20/18
Date

[Signature]
Owner's Signature

9/20/18
Date



To be Filled out by Zoning Officer

TAX PARCEL: 84.066-2-66b ZONING DISTRICT: C-3 FLOOD PLAIN: AH

TYPE OF APPEAL: Area Variance FEE: _____ \$50 (One or Two Family Use)
 Use Variance \$100 (All other Uses)
 Interpretation
 Decision of Planning Committee

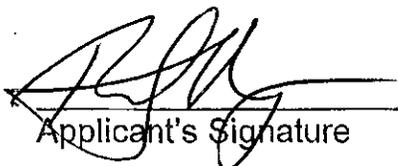
Provision(s) of the Zoning Ordinance Appealed: (A) BMC 190-42.5(1) A 10' Buffer of trees, shrubs, plants and grass is req. along the lot lines in contact w/ Res. Use properties.
(B) BMC 190-42.5(2) A 6' tall fence with less than 25% open spaces is req. along the lot lines in contact with Res. Use properties.

Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

- 1. Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.
PROPERTY IS VACANT AND IS THE CORNER LOT WHICH IF DEVELOPED WOULD BE OF BENEFIT TO EXISTING TENANTS FORCEMENTS + CUSTOMERS
- 2. Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. THE TENANTS THAT RENT THE PROPERTY AT 314 ELLIOTT NEED MORE ACCESSIBLE PARKING ANY NO OTHER OPTIONS EXIST.
- 3. Substantiality.** The requested area variance is not substantial. THE VARIANCE REQUESTED IS ABATED BY A CONDEMNED BUILDING AND A DRIVEWAY FOR A RENTAL PROPERTY
- 4. Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community. IT IS OF OUR BELIEF THAT IF GIVEN THE VARIANCE AND ABILITY TO MOVE FORWARD THE REMOVAL OF A VACANT STRUCTURE WOULD HAVE NO ADVERSE EFFECT TO THE NEIGHBORHOOD / COMMUNITY
- 5. Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title. No, Not Self-Created


Applicant's Signature

9/20/18
Date

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: PARKING ENHANCEMENT			
Project Location (describe, and attach a location map): 312 ELLICOTT ST, BATAVIA, NY 14020			
Brief Description of Proposed Action: REMOVAL OF VACANT RESIDENCE PRIMARILY BOUNDED BY COMMERCIAL/RETAIL PROPERTIES TO CREATE GREATER PARKING AVAILABILITY FOR EXISTING TENANTS			
Name of Applicant or Sponsor: RIKIMANKUSO MAIN & ELLICOTT PROPERTIES, LLC		Telephone: 585 345 1000	E-Mail: RIKI@MANKUSOINVESTMENTS.COM
Address: 216 E MAIN ST.			
City/PO: BATAVIA	State: NY	Zip Code: 14020	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		X	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
		X	
3.a. Total acreage of the site of the proposed action?		<u>.10</u>	acres
b. Total acreage to be physically disturbed?		<u>.10</u>	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>.10</u>	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	X	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>MAIN ELECTRIC PROPERTIES, LLC</u> Date: <u>9/20/18</u> Signature: <u>[Signature]</u> <u>RICK MANCUSO</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

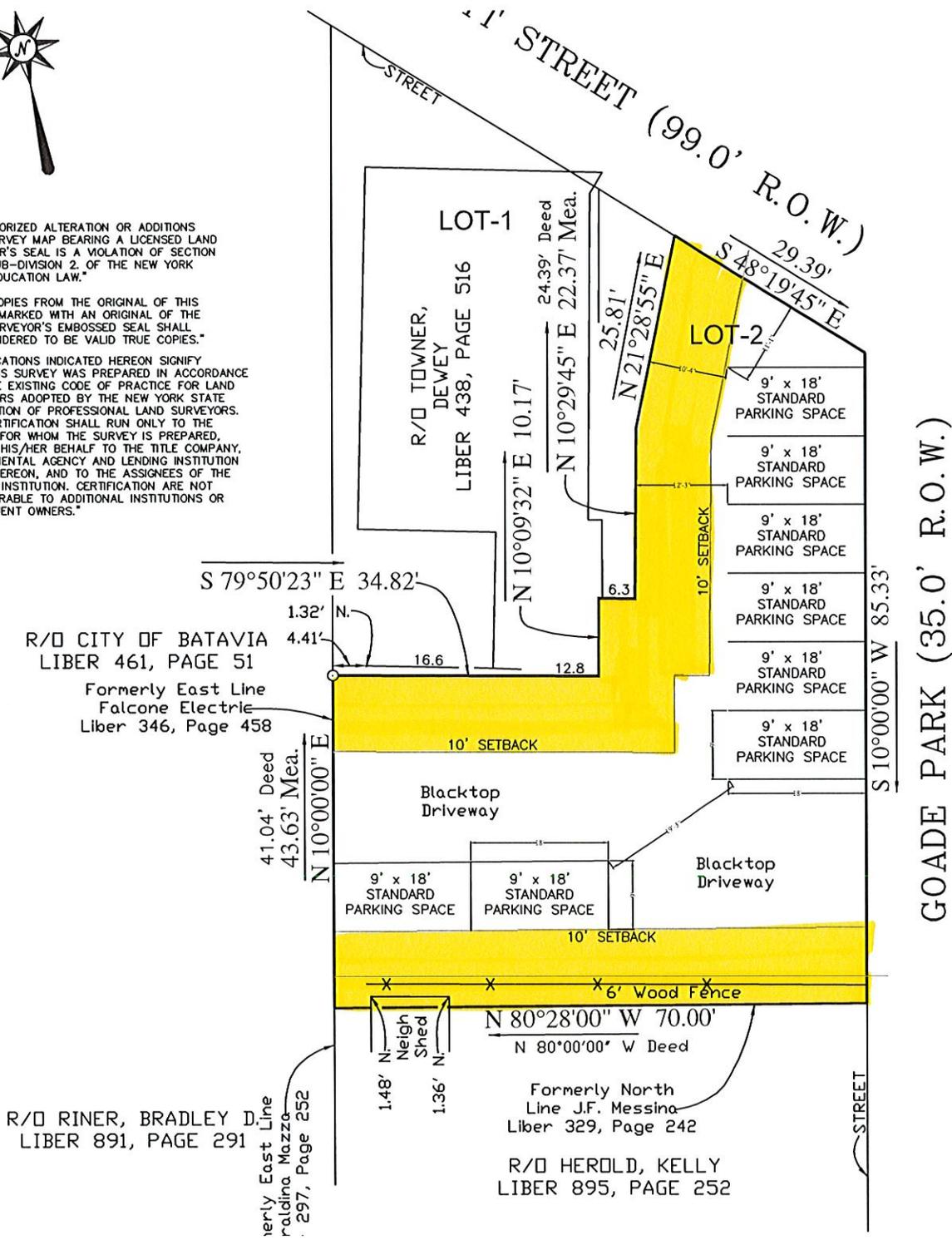


UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATION SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS/HER BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATION ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

PARCEL SUI
CONTAINING
0.103 +/- ACRES
LIBER 849, 1



Google Maps 319 Ellicott St

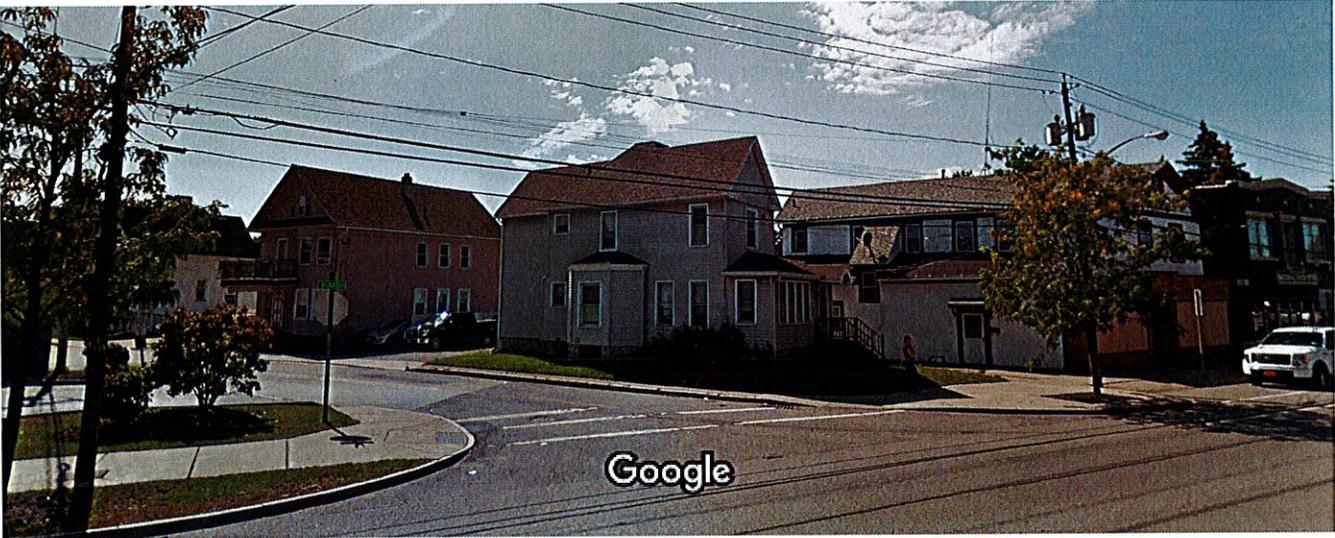


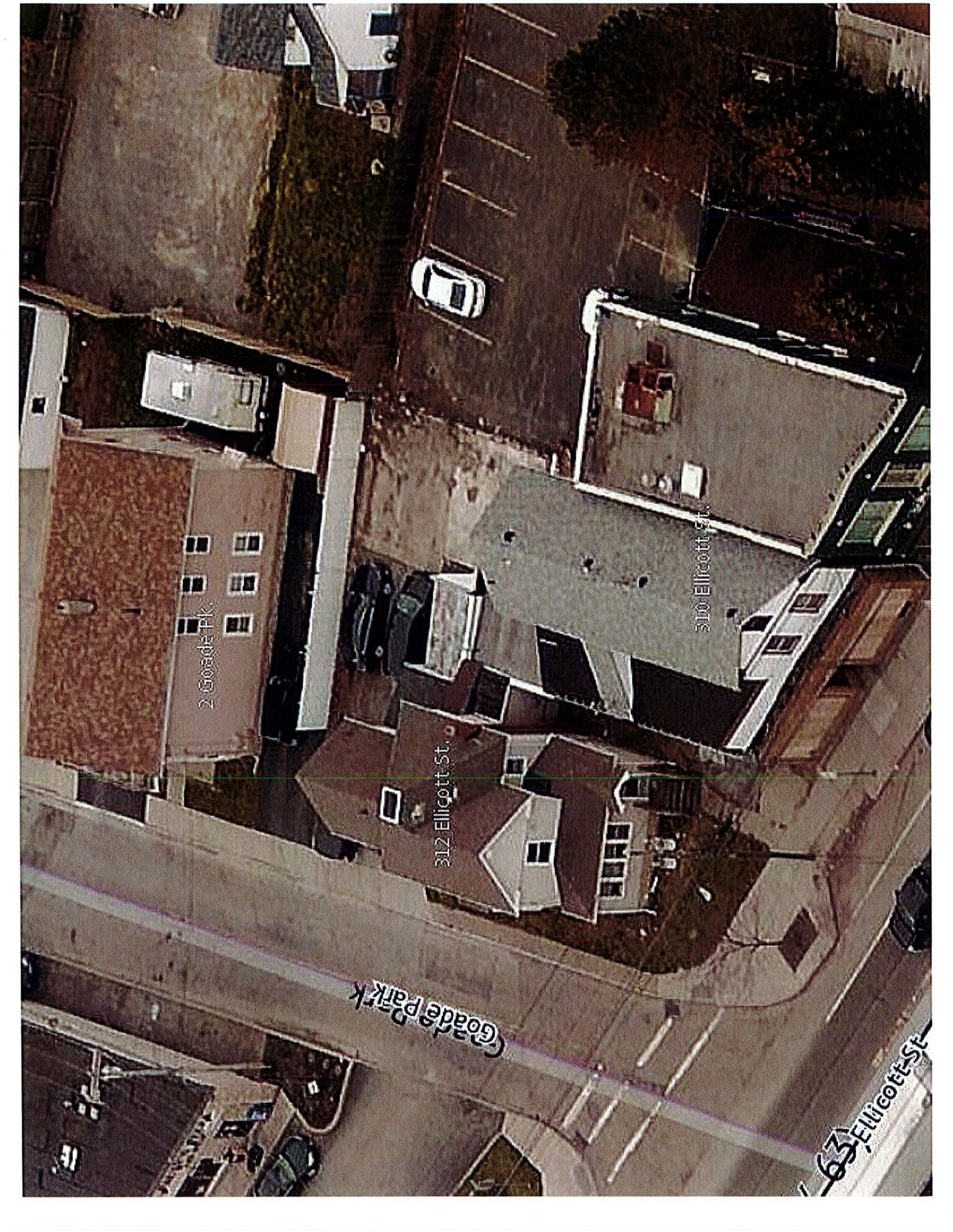
Image capture: Sep 2017 © 2018 Google

Batavia, New York

Google, Inc.

Street View - Sep 2017





2 Goode Pk.

312 Ellicott St.

310 Ellicott St.

Goode Park

63 Ellicott St.

Hardship criteria and procedures. An applicant whose application to the Committee has been denied may apply to the Zoning Board of Appeals for relief on the grounds that the Committee standards are working a hardship upon him. To prove the existence of a hardship, the applicant shall establish that:

- [1] The property is incapable of earning a reasonable return, regardless of whether that return represents the most profitable return possible, if the application is denied. Dollars-and-cents proof shall be presented to the Zoning Board of Appeals by the applicant which demonstrates to the satisfaction of the Zoning Board of Appeals that the applicant's claim of hardship is well founded.
- [2] The property cannot be adapted for any other use permitted by this chapter in the zoning district in which the property is located, whether by the current owner or by a purchaser, which would result in a reasonable return.
- [3] In an application for demolition, reasonable good faith efforts to find a purchaser interested in acquiring the property and preserving it were made and have failed. The Zoning Board of Appeals will hold a public hearing on the hardship application within 90 days of filing the hardship application. Decisions on hardship applications shall be made not later than 60 days from the date of the final hearing.

190-14 D (2) (d) **Standards to guide Committee.** To approve or disapprove an application, the Committee shall consider whether the proposed alteration or construction is compatible with the structure on the property and/or the surrounding properties in the Downtown Batavia Business Improvement District with regard to:

- [j] Neighborhood context. New construction shall be sympathetic to older buildings that surround it.
 - [a] New construction should remain the common setback distance of its neighbors. In the case of a discrepancy of setbacks, the new building should align with at least one of the neighboring buildings.
 - [b] Buildings situated at corners should "wrap" the corner by continuing certain facade elements (such as the cornice or horizontal accent bands) on all street elevations.
 - [c] Main building entrances should face the street whenever possible, should be easily identifiable and scaled to the size of the street which they are on.
 - [d] In the case of large structures, the overall building mass should be made up of smaller components. Large, uninterrupted building masses should be avoided.
 - [e] Additional parking which is required to accommodate a new building should be located in back or in a central courtyard and should be out of sight from the street.
 - [f] Parking lots, service areas and courtyards located within sight of the street should be screened with trees and a low wall or fence to help maintain the street edge. Such parking lots should incorporate a minimum of 10% green space in the parking area.
 - [g]

In the case of larger developments which may occupy an entire block, pedestrian paths which allow the public to circulate through a site are encouraged.

- [2] Building height and roof design.
 - [a] The height of a building should take into account the heights of buildings in the immediate area. The height of proposed structures should be at least as tall as the lowest of the two neighboring buildings, but no less than two stories, especially at corners and intersections.
 - [b] New facades should attempt to coordinate the relative heights of elements with adjacent buildings.
 - [c] Longer buildings should provide fluctuations in the roofline which break up the long run of facade and which attract attention to key places such as entryways.
 - [d] Air-handling equipment, antennas, satellite dishes and other mechanical equipment should be placed in such a manner as not to be visible from the street.
- [3] Building scale.
 - [a] The overall facade composition should break the building down into smaller distinct portions to provide a relatively small human scale that is in keeping with the buildings around it.
 - [b] The size and scale of materials should complement the size and scale of a building. Small scale materials such as brick and wood are encouraged around pedestrian areas.
- [4] Building proportions. The relative shape of a building and its parts with regards to width and height.
 - [a] New construction should be sympathetic to the proportions of the surrounding buildings.
 - [b] Facade elements such as windows and bays should be of a consistent proportion to each other. Elements which share a common area (e.g., all of the windows at the base level) should be of a consistent proportion and size as well.
 - [c] Buildings which are "squat" in proportion or which have very strong horizontal elements that dominate the facade are discouraged.
- [5] Facade composition and rhythm. The arrangement of facade elements in a recognizable and consistent composition.
 - [a] The rhythm of a facade should complement the rhythm of adjacent structures.
 - [b] The use of smaller patterns at the higher floor levels is encouraged to help reinforce a base, middle and top facade composition. (e.g. a wide bay at the

base level would be divided in two at the middle levels, and divided again by two at the top level.)

- [6] Facade fenestration. Depth and openings on a facade.
 - [a] The lower floor levels of a facade should provide the highest amount of facade opening and articulation. The ground floor should be very open and inviting to the pedestrian, and employ the strongest use of depth in the facade.
 - [b] The use of depth is encouraged to highlight facade openings such as windows and create a 3-D relief which produces shadows. Windows should not be mounted flush to the exterior of the facade.
 - [c] Window types above the base level should be double hung. Awning or transom windows are encouraged on street elevations. Picture and sliding windows are not recommended.
 - [d] Pairs of window shutters may be used, but should be used consistently and should appear to actually cover the entire window opening when closed.
 - [e] Storefront construction should be recessed enough at the point of entry to allow the door to swing out without obstructing the sidewalk.
- [7] Building materials.
 - [a] Building materials and colors should be complementary to adjacent buildings and colors selected should be historically correct. The number of selected colors should be kept to a minimum. A color chart of historic period colors found in the local architecture is available from the Department of Community Development.
 - [b] A single material should be used as the dominant theme in the facade, with secondary materials used only to highlight and accent the design.
- [8] Signs and awnings. Signs in the Downtown Batavia Business Improvement District shall comply with § 190-43 and the following:
[Amended 1-23-2017 by L.L. No. 1-2017]
 - [a] Long, continuous lengths of awnings are not recommended. Instead, a series of similar sized smaller ones is preferred.
- (e) Submission requirements. All applicants shall submit the following information to the Building Inspector or Code Enforcement Officer:
[Added 11-14-2005 by Ord. No. 7-2005]
 - [1] Photographs of the site and building which clearly show exterior details.
 - [2] Photographs of adjacent buildings or properties.
 - [3] Drawings of the proposed exterior changes which clearly illustrate exterior materials, material dimensions, colors, height, lighting and includes and accurate scale.
 - [4] Material details, specification sheets, and product literature/samples.

completion of all the conditions required, the Code Enforcement Officer shall issue a certificate of compliance.

[Amended 4-22-1991; 3-13-1995; 6-25-2001 by L.L. No. 1-2001]

- (2) The lot shall be used only for the parking of passenger automobiles of employees, customers or guests of the person or firm submitting an application as aforesaid, and such person or firm shall be responsible for the maintenance of the lot and ensuring compliance with the provisions hereof.
- (3) No charge shall be made for parking on the lot.
- (4) The lot shall not be used for sales, repair work or servicing of any kind.
- (5) Entrance to or exit from the lot shall be located so as to do the least harm to the residential district and reasonable time limits for the use of such lot may be established.
- (6) No advertising sign or material shall be located on the lot.
- (7) All parking shall be back of the front yard as defined in this chapter, and no motor vehicles shall be parked within 10 feet of any property line.
- (8) The parking area shall have a fence at least six feet high around the perimeter of the lot, and curbs with bumper tire barriers shall be installed at all parking spaces.
- (9) All lighting shall be arranged so that there will be no glare therefrom annoying to the occupants of adjoining property in a residential district.
- (10) The surface of the parking area and the approaches and exits thereto shall be composed of at least two inches of stone treated with asphaltic road oil or such other surfacing as may be required by the Planning Board and shall be smoothly graded and adequately drained.
- (11) The Planning Board may require such other conditions as may be deemed necessary to safeguard the health, safety and general welfare of the public and to minimize possible detrimental effects of the parking lot on adjacent property.^[1]

[1] *Editor's Note: Original Subsection 12, amended 3-13-1995, which immediately followed this section, was repealed 10-14-1997.*

190-42 G. Landscaping regulations.

- (1) Landscaping consisting of attractive trees, shrubs, plants and grass lawns shall be required and planted in accordance with the site plans submitted and approved by the Planning Board. Buffer planting as defined in this chapter shall include an area of at least 10 feet in depth provided along the side and rear property lines of all commercial and industrial districts or uses including parking lots permitted in Subsection F of this section, so as to provide protection to adjacent properties where such lot lines abut Residential Districts or uses.
- (2) In addition to such buffer planting, the owner of the commercial or industrial property shall erect on the buffer area a fence six feet in height for the purpose of protecting the residential property from litter, debris and light glare and such other nuisances that would disturb peaceful possession.
- (3) Such fence shall contain no more than 25% open space. The responsibility for maintenance of the commercial or industrial property referred to herein shall be the shared

- responsibility of the owners of the property and any other tenants who may be in possession thereof.
- (4) Such fencing referred to above shall be located only as shown on the site plan approved by the Planning Board.