

# PLANNING & DEVELOPMENT COMMITTEE

Tuesday, November 14, 2023

6:00 pm

Council Board Room

One Batavia City Centre, Batavia NY

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## AGENDA

I. Roll Call

II. Call to Order

III. Approval of Minutes – 10/17/23

IV. Proposal

**Address:** 301-305 West Main Street

**Applicant:** Douglas Beachel (Real Estate Manager for Carrols LLC)

Site Plan Review for a project that will involve the clearing to grade of three parcel, a lot division of a parcel with partial demolition, the merger of multiple parcels, and construction of a 3,140 sq.' one-story Burger King Restaurant with associated site improvements

1. Review application
2. Public hearing
3. Discussion and action by the board

VI. Setting of Next Meeting: December 19, 2023

VII. Adjournment

# PLANNING & DEVELOPMENT COMMITTEE

## *DRAFT MINUTES*

Tuesday, October 17, 2023

6:00 pm

Council Board Room

One Batavia City Centre, Batavia NY

Members present: *David Beatty, Jim Krencik, Duane Preston*

Members absent: Ed Flynn, Derek Geib, John Ognibene

Others present: Meg Chilano – Recording Secretary, Doug Randall – Code Enforcement Officer

### **I. Roll Call**

Roll call of the members was conducted. Three members were present and Chairman Duane Preston declared a quorum.

### **II. Call to order**

Mr. Preston called the meeting to order at 6:01 p.m.

### **III. Previous Meeting Minutes**

There were no corrections to the minutes. Mr. Preston assumed the motion and the minutes were approved as written by unanimous consent.

**RESULT: Approval of September 19, 2023 meeting minutes.**

### **IV. Proposals**

- A. Remove an existing chain-link fence and install a new wood fence along the front and rear lot lines of this parcel located within the Central Commercial District (BID)

**Address:** *218 Ellicott Street*

**Applicant:** Kenneth Pagels, owner

- Actions:**
1. Review application
  2. Discussion and action by the board

#### **1. Review Application**

Mr. Preston read the summary of the application.

Mr. Pagels explained that has been having problems with people jumping the fence and disturbing his tenants. He would like to replace the chain-link fence with a wood fence to block the view from the rear neighbor and to help his tenants feel safer.

#### **2. Discussion and Action by the Board**

The board agreed that the request was reasonable.

**MOTION:** Mr. Beatty moved to approve the proposal; the motion was seconded by Mr. Krencik and on roll call, was approved 3-0.

**RESULT: Approval of the application.**

**B. Regarding:**

City Council was petitioned to amend the current zoning of 4 Mix Place from R-1A to R-3. The change to R-3 and issuance of a special use permit supports the petitioners desire to utilize the existing one-family dwelling as an office for an architectural firm. The PDC previously recommended that Council consider approving the request.

City Council is now seeking recommendation from the PDC that would amend the permitted uses within the R-1A zoning use district to approve professional office uses for attorneys, physicians, dentists, architects, engineers, and other similar professions, with issuance of a Special Use Permit.

Updates to the special use requirements of BMC 109-37 are also being considered and have been attached for the PDC's review.

The PDC reviewed the proposal line by line. The results will be documented and sent to the PDC for final comments before moving on to City Council.

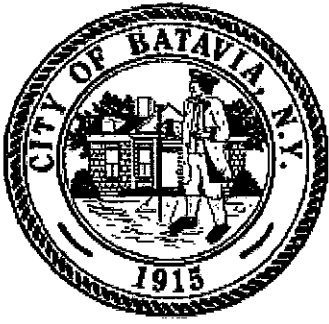
**V. Setting of Next Meeting:** October 17, 2023

**VI. Adjournment**

Mr. Preston adjourned the meeting at 6:46 p.m.

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Meg Chilano  
Recording Secretary



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 11/1/23

Re: 301-305 West Main (84.039-1-4), 307 West Main (84.039-1-2), 4 South Lyon (84.039-1-5),  
and portion of 6 South Lyon (84.039-1-6)

Tax Parcel No. Multiple, see above

Zoning Use District: C-2

The applicant, Douglas Beachel, Real Estate Manager for Carrols LLC, has filed a Site Plan Review Application for a project that will involve the clearing to grade of three parcels, a "lot division" of a parcel with partial demolition, the merger of multiple parcels, and construction of a 3,140 sq. ft. one story Burger King Restaurant with associated site improvements.

**Note:** This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (9).

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

**City Planning and Development Committee-** Pursuant to section 190-44 B(1) and 190-44 C(1)(a) the Planning and Development Committee shall review applications for any new buildings that increase the demand for parking or increases the lot coverage by more than 1,300 sq. ft.

1) **Site Plan Review in compliance with BMC 190-44**

**SEND OR DELIVER TO:**

GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) 815-7901



**DEPARTMENT USE ONLY:**  
GCDP Referral # \_\_\_\_\_

**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) Planning and Development Committee  
Address One Batavia City Centre  
City, State, Zip Batavia, NY 14020  
Phone (585) 345-6345 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name Douglas Beachel, Real Estate Manager, Carrols LLC  
Address PO Box 6969  
City, State, Zip Syracuse, NY 13203  
Phone (315) 409-8692 Ext. \_\_\_\_\_ Email dbeachel@carrols.com

**MUNICIPALITY:**  City  Town  Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Area Variance               | <input type="checkbox"/> Zoning Map Change         | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance                | <input type="checkbox"/> Zoning Text Amendments    | <input type="checkbox"/> Preliminary          |
| <input type="checkbox"/> Special Use Permit          | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final                |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Other: _____              |   |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

- A. Full Address 301-305 W. Main (84.039-1-4), 307 W. Main (84.039-1-2), 4 S. Lyon (84.039-1-5), 6 S. Lyon (84.039-1-6)
- B. Nearest intersecting road South Lyon
- C. Tax Map Parcel Number Multiple, See above
- D. Total area of the property 1.07 acres Area of property to be disturbed \_\_\_\_\_
- E. Present zoning district(s) C-2

**5. REFERRAL CASE INFORMATION:**

- A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_
- B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
\_\_\_\_\_
- C. Please describe the nature of this request Site Plan approval to clear existing lots, merge, and construct Burger King restaurant.

**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |   |  |   |
|---|--|---|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments          | <input type="checkbox"/> New or updated comprehensive plan      |
| <input checked="" type="checkbox"/> Site plan         | <input checked="" type="checkbox"/> Location map or tax maps | <input type="checkbox"/> Photos                                 |
| <input type="checkbox"/> Subdivision plot plans       | <input checked="" type="checkbox"/> Elevation drawings       | <input checked="" type="checkbox"/> Other: <u>Cover letters</u> |
| <input type="checkbox"/> SEQR forms                   | <input type="checkbox"/> Agricultural data statement         |   |

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345-6327 Ext. \_\_\_\_\_  
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com



Parcel ID No. \_\_\_\_\_

**City of Batavia**  
**Bureau of Inspections**  
One Batavia City Centre  
Batavia, NY 14020  
585-345-6345

**Site Plan Review Application**

301-305 W. Main St.; 307 W. Main St.  
4 S. Lyon St. & Portion of 6 S. Lyon St.

**Property Address** \_\_\_\_\_ **Application date** 10.26.2023

**Owner:** See Attached Exhibit A  
Name \_\_\_\_\_ E-mail address \_\_\_\_\_  
Mailing Address \_\_\_\_\_ City \_\_\_\_\_ Zip Code \_\_\_\_\_ Phone No. \_\_\_\_\_

**Describe request:** The Applicant seeks to construct a new Burger King restaurant consisting of the construction of a new 3,140± square feet Burger King with a drive-thru, a mobile order lane and related site infrastructure, parking and site improvements. This project would relocate the existing Burger King located at 230 W. Main Street.

**Attachments must include the following:**

- Completed building permit application
- Appropriate SEQRA documents N/A -- Type II Action per 6 NYCRR 617.5(c)(9): under 4000 sq.ft.
- 7- 11" x 17" copies of the site plan with a scale not to exceed 1 in. equals 50 ft. The site plan shall include the items listed in BMC190-44 D (2)(a-j)
- Color elevation renderings
- Site Plan Review Fee of \$250.

The Planning and Development Committee (PDC) will review applications for compliance with Batavia Municipal Code 190-44.

The review process may involve a "Sketch Plan Review". This is an optional, preliminary meeting, that provides an opportunity for the applicant to receive direction and guidance from the PDC prior to final submission. This process is especially encouraged for larger projects.

**Applicant (if not the owner):** Carrols LLC dbeachel@carrols.com  
Name \_\_\_\_\_ E-mail address \_\_\_\_\_  
PO Box 6969 Syracuse, NY 13203 (315) 409-8692  
Mailing address \_\_\_\_\_ City \_\_\_\_\_ Zip Code \_\_\_\_\_ Phone No. \_\_\_\_\_

**Signature:** Doug Beachel **Date:** 10.25.2023  
Doug Beachel, Real Estate Manager

## Exhibit A to City of Batavia Site Plan Application

### Property Location and Information

| PROPERTY                    | OWNER NAME          | E-MAIL               | MAILING ADDRESS                                       | PHONE NO.    |
|-----------------------------|---------------------|----------------------|---|--------------|
| 301-305 W.<br>Main St.      | BRS Realty, LLC     | mcharvella@gmail.com | 13111<br>Sunset<br>Parkway,<br>Waterport,<br>NY 14571 | 585.813.4191 |
| 307 W.<br>Main St.          | BRS Realty, LLC     | mcharvella@gmail.com | 13111<br>Sunset<br>Parkway,<br>Waterport,<br>NY 14571 | 585.813.4191 |
| 4. S. Lyon St.              | Gregory Branche     | Fever2ride@gmail.com | 5025 Terry<br>Hills Dr.,<br>Batavia, NY<br>14020      | 585-356-4728 |
| Portion of<br>6 S. Lyon St. | BGW Properties, LLC | bwormley@rahaitz.com | 5137 E.<br>Main<br>Street,<br>Batavia, NY<br>14020    | 585.409.6643 |

# Completed Building Permit Application





## City of Batavia

1 Batavia City Centre Batavia, New York 14020  
(585) 345-6345 Fax: (585) 345-1385

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### Building Permit Application

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#### Instructions / checklist for applying for a Building Permit

1. Have you filled in all information completely and legibly?
2. Have you attached a copy of your survey, if applicable, with a dimensioned site plan of the project drawn on the survey?
3. Have you included a complete description of your project? (If you have drawings, please make sure they are to scale, dimensioned, and have enough detail to verify code compliance. A list of materials should be included. Plans prepared by a NYS licensed design professional may be required. You should speak with a Code Enforcement Officer regarding this requirement.
4. Have you signed and dated the application? You must be the owner of the property or authorized to act on behalf of the owner. The owner is the person who is legally responsible to obtain the building permit and comply with code requirements, even if someone else is hired to do the work.
5. Have you signed and dated all disclaimers associated with the project (roof and/or fence)?
6. Have you checked to see if other approvals are required for this project?
7. Have you signed and dated the application below the "Required Inspections" notice?
8. Has National Grid been contacted by applicant for sign off for pool projects – is copy of sign off letter from National Grid included?
9. If there is plumbing work to be done, has a plumbing permit been obtain by a City of Batavia Licensed Master Plumber? We have a list if you need it.

**NOTE: THE PERMIT FEE WILL BE TRIPPLD FOR UNAUTHORIZED WORK STARTED PRIOR TO PERMIT ISSUANCE.**

If you can answer "yes" to all of the above questions, you have completed the building permit application, if not; we may not be able to issue the permit without more information. If you have any question about what requirements apply or what information we need, please contact us at the above number.

CITY OF BATAVIA, NEW YORK

APPLICATION FOR A BUILDING PERMIT

Application Date: 10.26.2023

APPLICANT NAME Carrols LLC PHONE (315) 409-8692

APPLICANT MAILING ADDRESS PO Box 6969, Syracuse, NY 13203

APPLICANT EMAIL dbeachel@carrols.com

Project Location and Information

Address of Project: 301-305 W. Main St.; 307 W. Main St., 4 S. Lyon St. & Portion of 6 S. Lyon St.

Owner: See Attached Exhibit A Phone:

Owners Mailing Address:

Project Type/Describe Work

Estimated cost of work: TBD

Describe project: The Applicant seeks to construct a new Burger King restaurant consisting of the construction of a new 3,140± square feet Burger King with a drive-thru, a mobile order lane and related site infrastructure, parking and site improvements. This project would relocate the existing Burger King located at 230 W. Main Street.

Contractor Information - Insurance certificates (liability & worker comp) required to be on file in our office before issuance of any permit. Liability Workers Comp

GENERAL

Name & Address: TBD

Phone:

PLUMBING (City of Batavia Licensed Plumber Required)

Name & Address: TBD

Phone:

HEATING

Name & Address: TBD

Phone:

ELECTRICAL (Third Party Electrical Inspection Required)

Name & Address: TBD

Phone:

FOR OFFICE USE ONLY

Zoning District: Flood Zone: Corner Lot: Historic District/Landmark:

Zoning Review: Variance Required: Site Plan Review: Other:

National Grid Sign Off (Pools): Lot Size:

**REQUIRED INSPECTIONS MAY INCLUDE**

- SITE
- WATER SERVICE
- SEWER SERVICE
- FOOTING BEFORE PLACING CONCRETE
- FOUNDATION BEFORE BACKFILL
- FRAMING BEFORE ENCLOSING (After mechanical inspection)
- ELECTRICAL BEFORE ENCLOSING (Note: Electrical must be inspected by an authorized Third Party Electrical Inspection Agency)
- PLUMBING BEFORE ENCLOSING (City of Batavia Licensed Plumber Required)
- INSULATION BEFORE ENCLOSING
- ICE/WATER SHIELD
- FINAL COMPLETION

**ADDITIONAL INSPECTIONS MAY BE REQUIRED AS THE PROJECT PROGRESSES**

A Certificate of Occupancy or Certificate of Compliance, as is appropriate, will be issued upon a passed final inspection. An addition, new building, change of use, or other space requiring a certificate of occupancy may not be occupied until the certificate is issued by the Code Enforcement Officer.

**IT IS THE RESPONSIBILITY OF THE OWNER AND/OR AGENT TO CONTACT THIS OFFICE FOR ALL REQUIRED INSPECTIONS AND BE PRESENT DURING ALL INSPECTIONS. ALL APPLICABLE REGULATIONS SHALL APPLY. Please contact the Bureau of Inspection at (585) 345-6345 twenty-four (24) hours in advance to schedule all inspections.**

In consideration of the granting of the permit hereby petitioned for, the undersigned agrees to: 1) comply with the terms thereof, the laws of the State of New York, the Ordinance of the City of Batavia, and the Regulations of the various departments of the County of Genesee and the State of New York; 2) preserve the established building line; 3) request all the necessary inspections and authorize and provide the means of entry to the Bureau of Inspection, and 4) will not use or permit to be used, the structure or structures covered by the permit until sanitary facilities are completely furnished and either a Certificate of Occupancy or Certificate of Completion is issued. The undersigned hereby certifies that all of the information in this petition is correct and true.

Carrols LLC

Doug Beachel  
Applicant Signature

10.25.2023  
Date

Doug Beachel, Real Estate Manager

## Roofing Disclaimer

Per the uniform code of New York State:

**R905.1.2 Ice barriers** An ice barrier shall be installed under asphalt shingles, metal roof shingles, mineral surfaced roll roofing, slate and slate type shingles, wood shingles and wood shakes. The barrier will extend from the lowest edge of all roof surfaces covering a conditioned space, to a point not less than 24 inches inside the exterior wall line of the building. Roofs with a pitch of 8 in 12 or greater only requires 36 inches of barrier, measured from the roofs edge, along the slope.

### **R907.3 Recovering versus Replacement**

New roof coverings shall not be installed without first removing existing roof coverings where any of the following conditions occur:

1. Where the existing roof or roof coverings is water-soaked or has deteriorated to the point that the existing roof or roof covering is not adequate as a base for additional roofing.
2. Where the existing roof covering is wood shake, slate, clay, cement or asbestos-cement tile.
3. Where the existing roof has two or more applications of any type of roof covering.

I, Carrols LLC owner and/or agency of the property located at 301-305 W. Main St., 307 W. Main St., 4 S. Lyon St., & portion of 6 S. Lyon St.

have reviewed and understand the requirements listed above.

Doug Beachel  
Applicant Signature  
Doug Beachel, Real Estate Manager

10.25.2023  
Date

## Fence Disclaimer

I understand Section 190-33.B Fences, Walls and Hedged of the City of Batavia Zoning Ordinance regulates the installation of fences as follows:

"Fences, hedges and walls in Residential Districts shall not exceed three (3) feet above ground level when located within fifteen (15) feet of the property line abutting any street and shall not exceed six (6) feet above ground level when located elsewhere on the property. However, there shall be no height limit for hedges in rear yards within residential zones. In commercial and Industrial Districts, fences, hedges, and walls shall not exceed eight (8) feet in height unless permitted by a special use permit from the Planning & Development Committee. A fence designed to be structurally supported by posts, cross members or rails on one (1) side only shall be erected with the posts, cross members or rails on the fence owner's side, and the finished side of the fence shall face adjacent properties."

I, Carrols LLC, owner and/or agent of the property located at 301-305 & 307 W. Main / 4 & portion of 6 Lyon St. understand that this permit is issued based on information supplied by owner/agent and that the City of Batavia accepts no responsibility for inaccurate installation or information supplied to secure the permit.

Carrols LLC  
Doug Beachel  
Applicant Signature  
Doug Beachel, Real Estate Manager

10.25.2023  
Date

# NOTICE OF NYS CODE CHANGE EFFECTING ALL RESIDENTIAL STRUCTURES

*Notice of Emergency Rule Adoption*

**Effective January 1, 2015**

**Truss type, pre-engineered wood or timber construction  
in Residential Structures**

Executive Law § 382-b, as added by Chapter 353 of the Laws of 2014, provides that any person utilizing truss type, pre-engineered wood or timber construction for the erection of any new residential structure, for any addition to an existing residential structure, or for any rehabilitation of an existing residential structure must (1) notify the local government that will issue the building permit that truss type, pre-engineered wood or timber construction is being utilized and (2) affix a sign or symbol to the electric box, if any, on the exterior of the structure indicating that truss type, pre-engineered wood or timber construction has been used.

A new Part 1265 to Title 19 of the New York Codes, Rules and Regulations (NYCRR) has been adopted. The new Part 1265 prescribes (1) the form to be used (see attached) to notify code enforcement officials that truss type, pre-engineered wood or timber construction is to be used in a residential structure; (2) the sign or symbol to be affixed to the exterior of a residential structure that has been constructed, added to or rehabilitated using truss type, pre-engineered wood or timber construction.

**Applicants utilizing truss type, pre-engineered wood construction in residential structures must complete the attached notice**



## Exhibit A to City of Batavia Building Permit Application

### Property Location and Information

| PROPERTY                    | OWNER NAME          | E-MAIL               | MAILING ADDRESS                                       | PHONE NO.    |
|-----------------------------|---------------------|----------------------|---|--------------|
| 301-305 W.<br>Main St.      | BRS Realty, LLC     | mcharvella@gmail.com | 13111<br>Sunset<br>Parkway,<br>Waterport,<br>NY 14571 | 585.813.4191 |
| 307 W.<br>Main St.          | BRS Realty, LLC     | mcharvella@gmail.com | 13111<br>Sunset<br>Parkway,<br>Waterport,<br>NY 14571 | 585.813.4191 |
| 4. S. Lyon St.              | Gregory Branche     | Fever2ride@gmail.com | 5025 Terry<br>Hills Dr.,<br>Batavia, NY<br>14020      | 585-356-4728 |
| Portion of<br>6 S. Lyon St. | BGW Properties, LLC | bwormley@rahaitz.com | 5137 E.<br>Main<br>Street,<br>Batavia, NY<br>14020    | 585.409.6643 |





# Appropriate SEQRA Documents

This Project involves the “construction ... of a primary ... non-residential structure of facility involving less than 4,000 square feet of gross floor area and not involving a change in zoning or a use variance and consistent with local land use controls.” Accordingly, this Project is a Type II Action pursuant to the New York State Environmental Quality Review Act (“SEQRA”) pursuant to 6 NYCRR 617.5(c)(9) which states:

#### 617.5 TYPE II Actions

- (c) The following actions are not subject to review under this Part:

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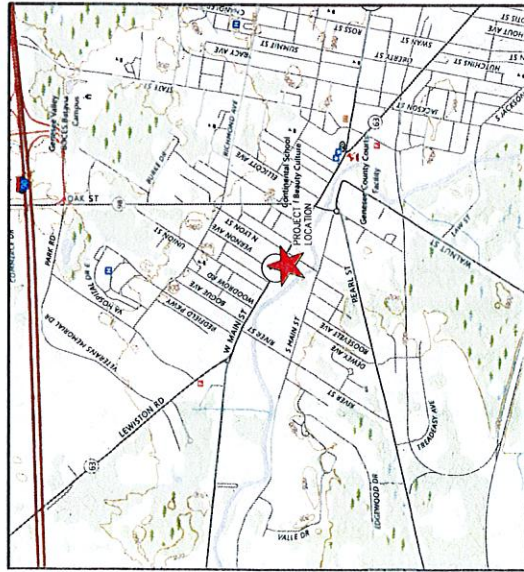
(9) construction or expansion of a primary or accessory/appurtenant, non-residential structure or facility involving less than 4,000 square feet of gross floor area and not involving a change in zoning or a use variance and consistent with local land use controls, but not radio communication or microwave transmission facilities;

# Site Plan

# Burger King Redevelopment

Carrols, LLC

West Corner of West Main St and South Lyon St  
City of Batavia, NY



PROJECT AREA INCLUDES TAX PARCELS:  
84-039-1-2 (#307 W. MAIN ST.)  
84-039-1-4 (#301-305 W. MAIN ST.)  
84-039-1-5 (#4 S. LYON ST.)  
84-039-1-6 (#6 S. LYON ST.-PARTIAL)

| Sheet Number | Sheet Title                          |
|--------------|--------------------------------------|
| 01           | Front Elevation                      |
| 02           | Detail for Floor                     |
| 03           | Site Plan                            |
| 04           | Site Details                         |
| 05           | Utility Plan                         |
| 06           | Utility Details                      |
| 07           | Grading and Drainage Plan            |
| 08           | Grading and Drainage Details         |
| 09           | Foundation and Drainage Details      |
| 10           | Roofing Plan                         |
| 11           | Erosion and Sediment Control Plan    |
| 12           | Erosion and Sediment Control Details |
| 13           | Erosion and Sediment Control Notes   |
| A-1-01       | Landscaping Plan and Details         |
| A-1-02       | Photometric Plan                     |
| A-2-01       | Elevation                            |
| A-2-02       | Elevation                            |
| A-3-01       | Exterior Finish Schedule             |
| A-3-02       | Roof Enclosure Details               |

CHAIRMAN OF THE PLANNING AND DEVELOPMENT COMMITTEE

DATE

CITY ENGINEER

DATE

October 25, 2023

DATE

THOMAS J. WOLANSKI, P.E.

**GPI** Engineering  
Planning  
Construction Management  
GPI.NET.COM  
(716) 633-4844  
Greenman - Pedersen, Inc.  
4950 Genesee Street, Suite 100  
Buffalo, NY, 14225

PREPARED FOR  
Carrols, LLC  
968 James Street  
Syracuse, NY 13203

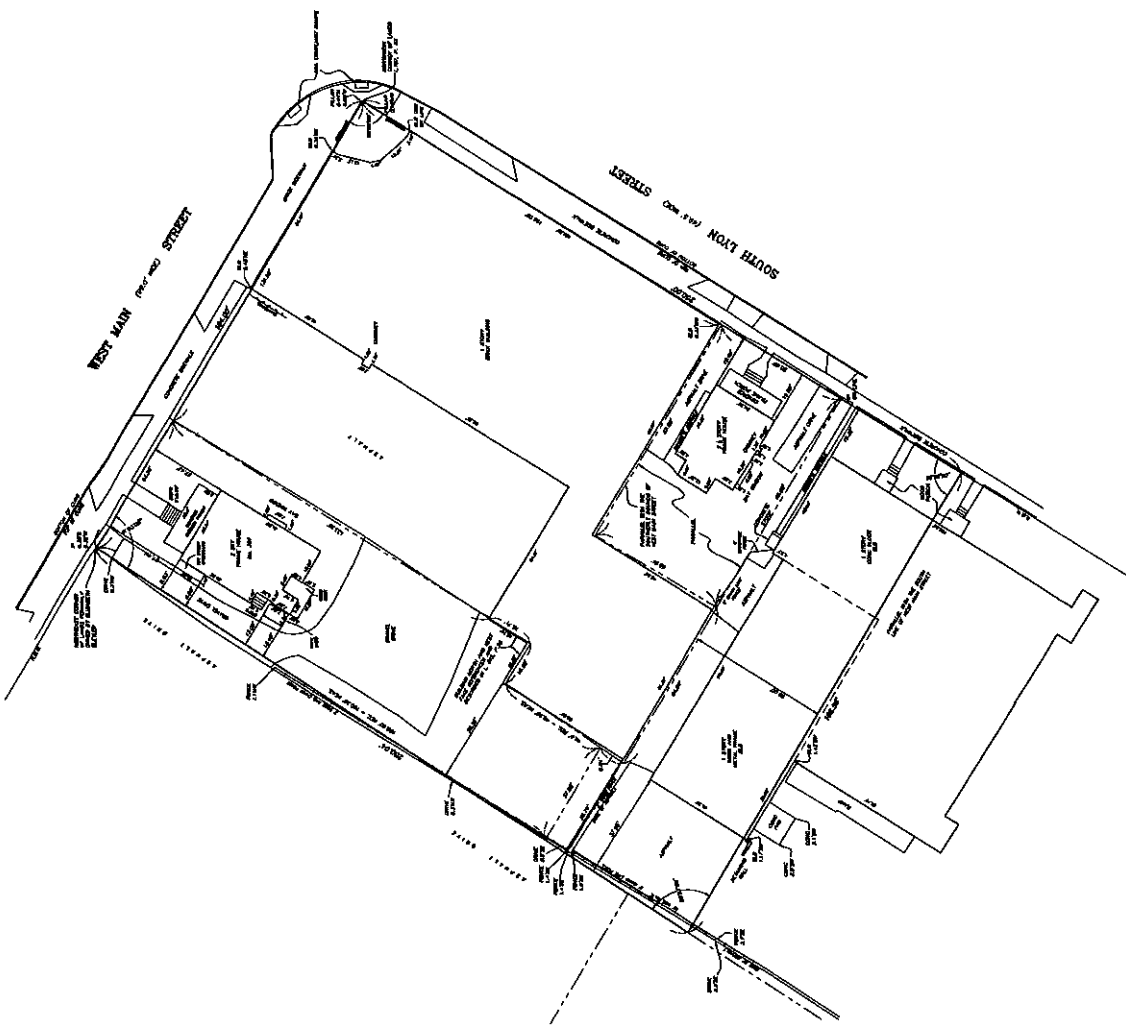
WWW-2300983.00

October 26, 2023

SHEET NO.  
00

THIS PLAN IS SUBJECT TO THE CITY OF BAYAMA, ONDISE COUNTY, NEW YORK, ZONING ORDINANCES AND ANY AMENDMENTS THEREOF. THE CITY ENGINEER'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

SHEET OF  
 PART OF LOT 70  
 CITY OF BAYAMA, ONDISE COUNTY, NEW YORK  
 CITY ENGINEER'S OFFICE  
 100 WEST MAIN STREET  
 BAYAMA, NEW YORK 13020  
 PHONE (315) 353-2200  
 FAX (315) 353-2201  
 E-MAIL: CITYENR@BAYAMA.NY.US



ALL DIMENSIONS ARE IN FEET AND INCHES.  
 ALL DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN.  
 ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.  
 ALL DIMENSIONS SHALL BE TO THE EXTERIOR UNLESS OTHERWISE NOTED.  
 ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.  
 ALL DIMENSIONS SHALL BE TO THE EXTERIOR UNLESS OTHERWISE NOTED.

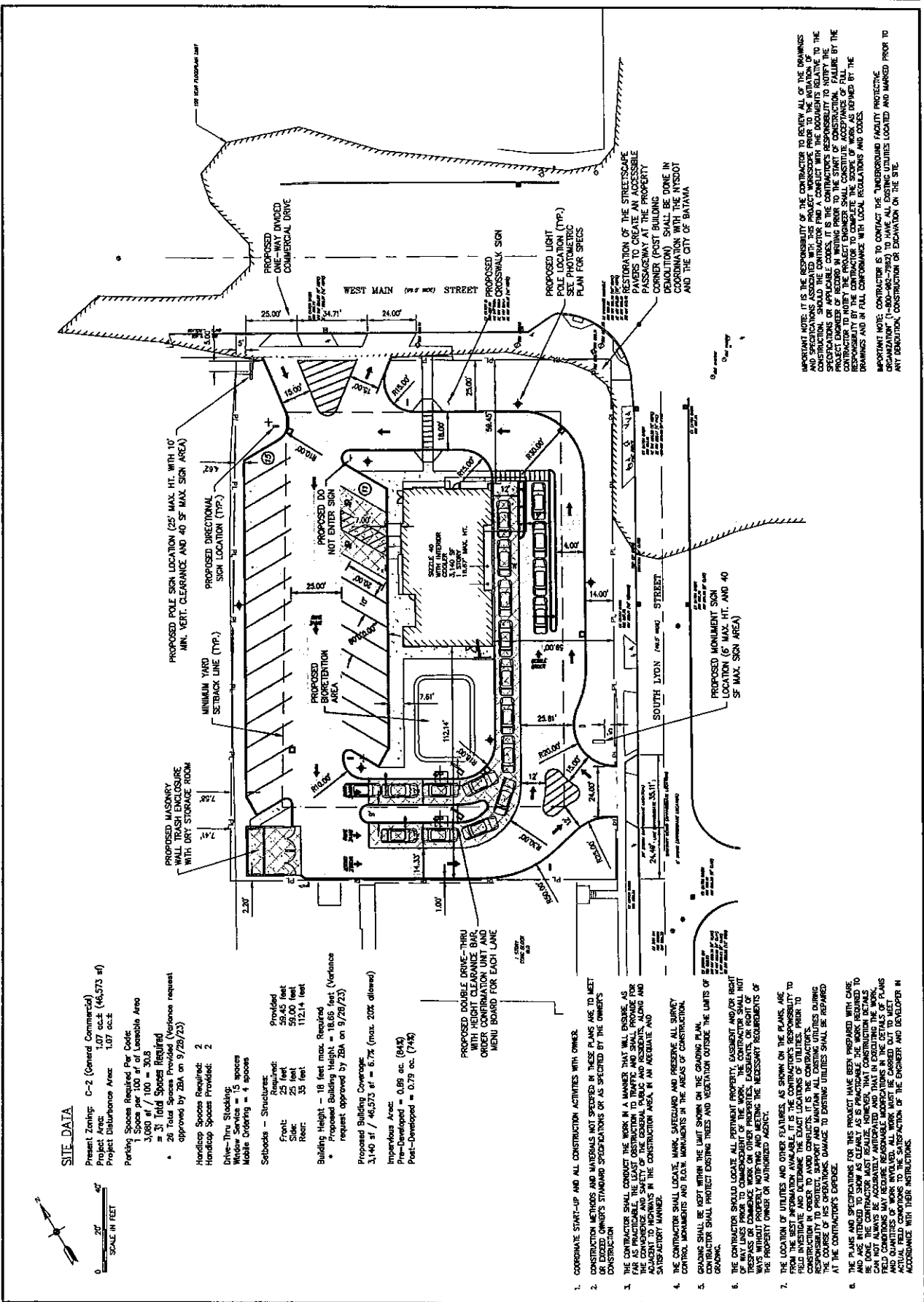


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| DATE | APPROVED BY |
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| NO. | REVISION | DATE |
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**SITE DATA**  
 C-2 (General Commercial)  
 Present Zoning: 1.07 ac.± (46,573 sf)  
 Project Area: 1.07 ac.±  
 Project Disturbance Area: 1.07 ac.±

Parking Spaces Required Per Code:  
 3,080 sf / 100 = 30.8  
 26 Total Spaces Provided (Variance request approved by ZBA on 9/28/23)

Handicap Spaces Required: 2  
 Handicap Spaces Provided: 2  
 Drive-Thru Stacking: 15 spaces  
 Window Service: 4 spaces  
 Mobile Ordering: 4 spaces

Setbacks - Structures:  
 Front: 59.45 feet  
 Side: 25 feet  
 Rear: 35 feet  
 Required:  
 Front: 59.45 feet  
 Side: 25 feet  
 Rear: 112.14 feet

Building Height - 18 feet max. Required  
 Proposed Building Height = 18.66 feet (Variance request approved by ZBA on 9/28/23)  
 Proposed Building Coverage:  
 3,190 sf / 46,573 sf = 6.7% (max. 20% allowed)

Impervious Area:  
 Pre-Developed = 0.89 ac. (84%)  
 Post-Developed = 0.79 ac. (74%)

- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNERS.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED OWNER'S STANDARD SPECIFICATIONS OR AS SPECIFIED BY THE OWNER'S CONSTRUCTION.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF ALL TRAVELERS AND PEDESTRIANS DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE AND SATISFACTORY WATERWAY.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND B.M. MONUMENTS IN THE AREAS OF CONSTRUCTION.
- NO SIGNAGE SHALL BE PLACED WITHIN THE LIMIT SHOWN ON THE GRADING PLAN.
- THE CONTRACTOR SHALL PROTECT EXISTING TREES AND VEGETATION OUTSIDE THE LIMITS OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL NOT PREPARE OR COMMENCE WORK ON OTHER PROPERTIES, EASEMENTS OR RIGHT OF WAY LINES PRIOR TO COMPLETION OF THE WORK. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR OTHER PROPERTIES OF THE PROPERTY OWNER OR AUTHORIZED AGENCY.
- THE LOCATION OF UTILITIES AND OTHER FEATURES, AS SHOWN ON THE PLANS, ARE FIELD INVESTIGATED AND DETERMINED BY THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCTION IN ORDER TO AVOID CONFLICTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL UTILITIES DAMAGED TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE PLANS AND SPECIFICATIONS FOR THIS PROJECT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CAN ONLY BE DETERMINED BY THE CONTRACTOR'S FIELD INVESTIGATION AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED. ALL WORK MUST BE CARRIED OUT TO MEET ACTUAL FIELD CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND DEVELOPER IN ACCORDANCE WITH THEIR INSTRUCTIONS.



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NO REVISION  
DATE

THM T.J.W.

DESIGNED BY  
CHECKED BY  
DATE  
October 26, 2023

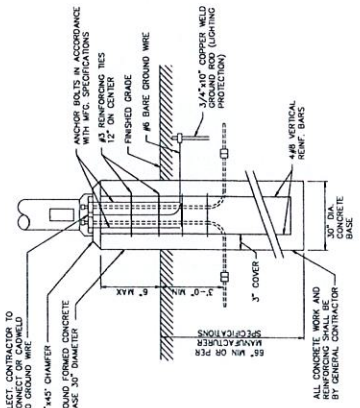
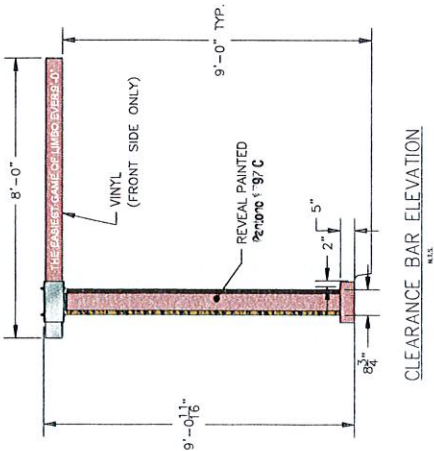
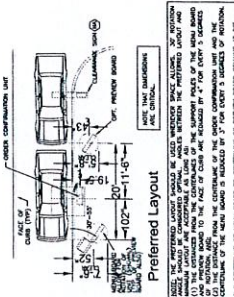
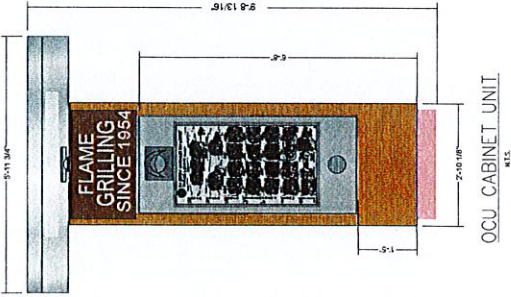
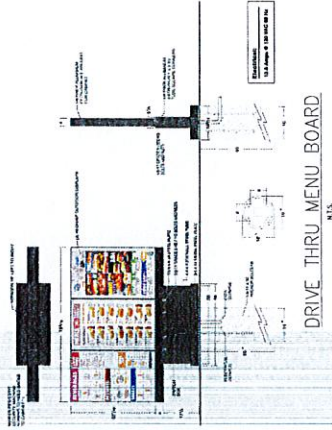
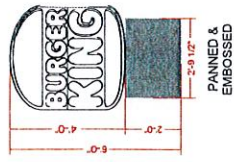
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Site Details

SCALE: NONE

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N.T.S.



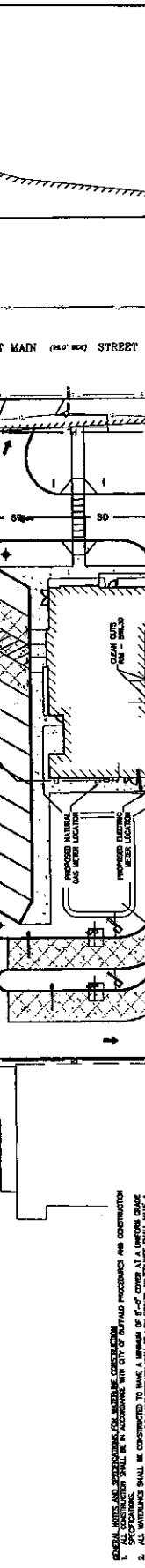
PREPARED FOR: **Carroll, LLC**  
1000 South Lyon Street  
Batavia, NY 14225

SCALE: **1" = 20'**  
DATE: **08/26/2023**

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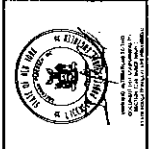
**REVISIONS**

UTILITY PLAN



GENERAL NOTES AND SPECIFICATIONS FOR WATERLINE CONSTRUCTION:  
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BATAVIA PROCEDURES AND CONSTRUCTION SPECIFICATIONS.  
2. ALL WATERLINES SHALL BE CONSTRUCTED TO HAVE A MINIMUM OF 2'-0" COVER AT A MINIMUM GRADE OVER THE ENTIRE LENGTH TO AVOID INTERFERENCE WITH EXISTING UTILITIES, EXCEPT WHERE SHOWN OTHERWISE.  
3. ALL WATERLINES SHALL BE INSTALLED TO THE MINIMUM COVER DEPTH REQUIRED BY THE CITY OF BATAVIA, AND SHALL BE MANUFACTURED BY HELLER MODEL 140-1000.  
4. ALL WATERLINES SHALL BE MANUFACTURED BY HELLER MODEL 140-1000.  
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- 1. ALL CONSTRUCTION IS TO CONFORM TO CITY OF BATAVIA CONSTRUCTION SPECIFICATIONS AND DETAILS.
- 2. ALL CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH THE 10 STATES STANDARDS STANDARDS AND SPECIFICATIONS.
- 3. ALL MATERIALS SHALL BE MANUFACTURED BY HELLER MODEL 140-1000.
- 4. ALL WATERLINES SHALL BE MANUFACTURED BY HELLER MODEL 140-1000.
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- 9. ALL WATERLINES SHALL BE MANUFACTURED BY HELLER MODEL 140-1000.
- 10. ALL WATERLINES SHALL BE MANUFACTURED BY HELLER MODEL 140-1000.

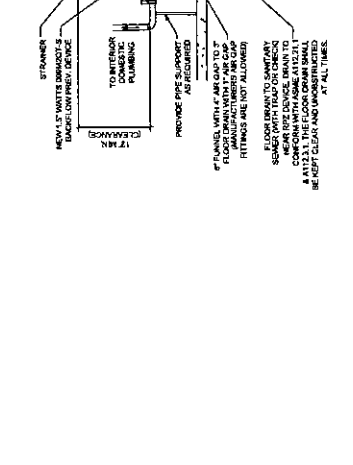
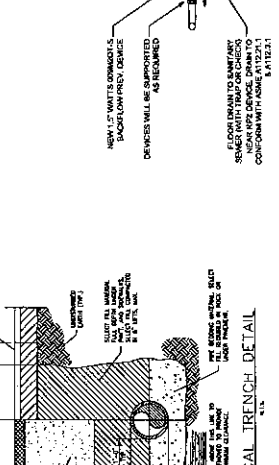
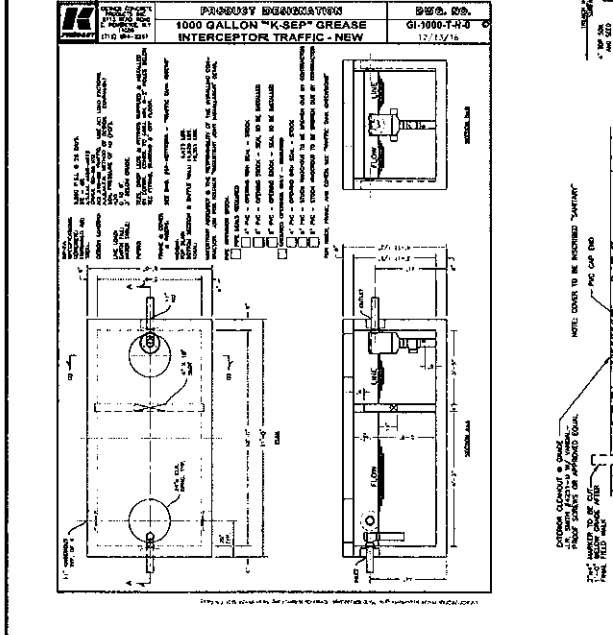
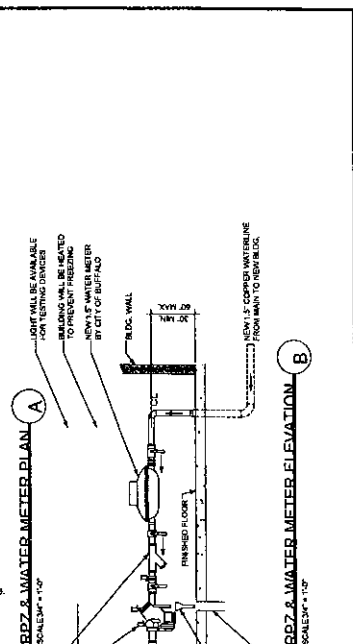
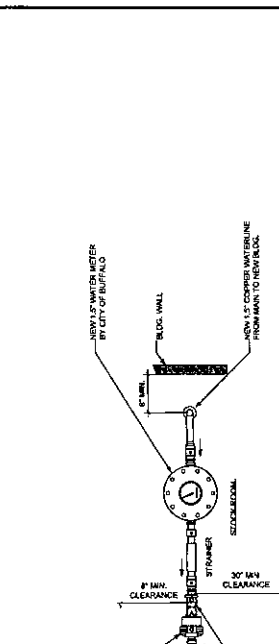
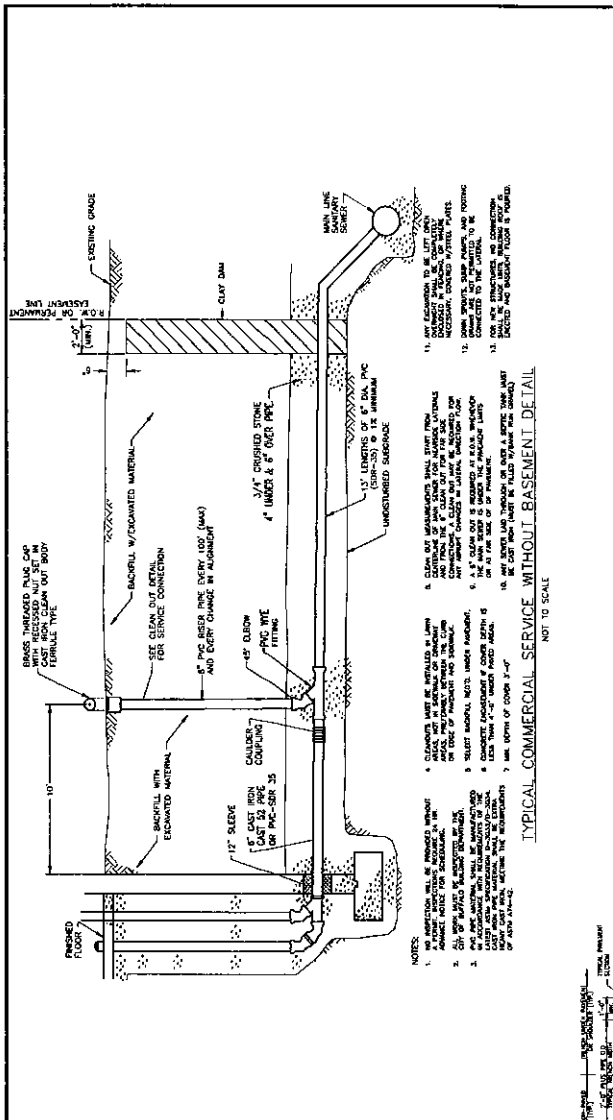


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NO. FEASIBILITY  
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 DRAWN BY: T.M.J.  
 CHECKED BY: T.M.J.  
 DATE: OCTOBER 26, 2023

Utility Details

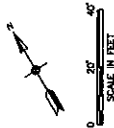
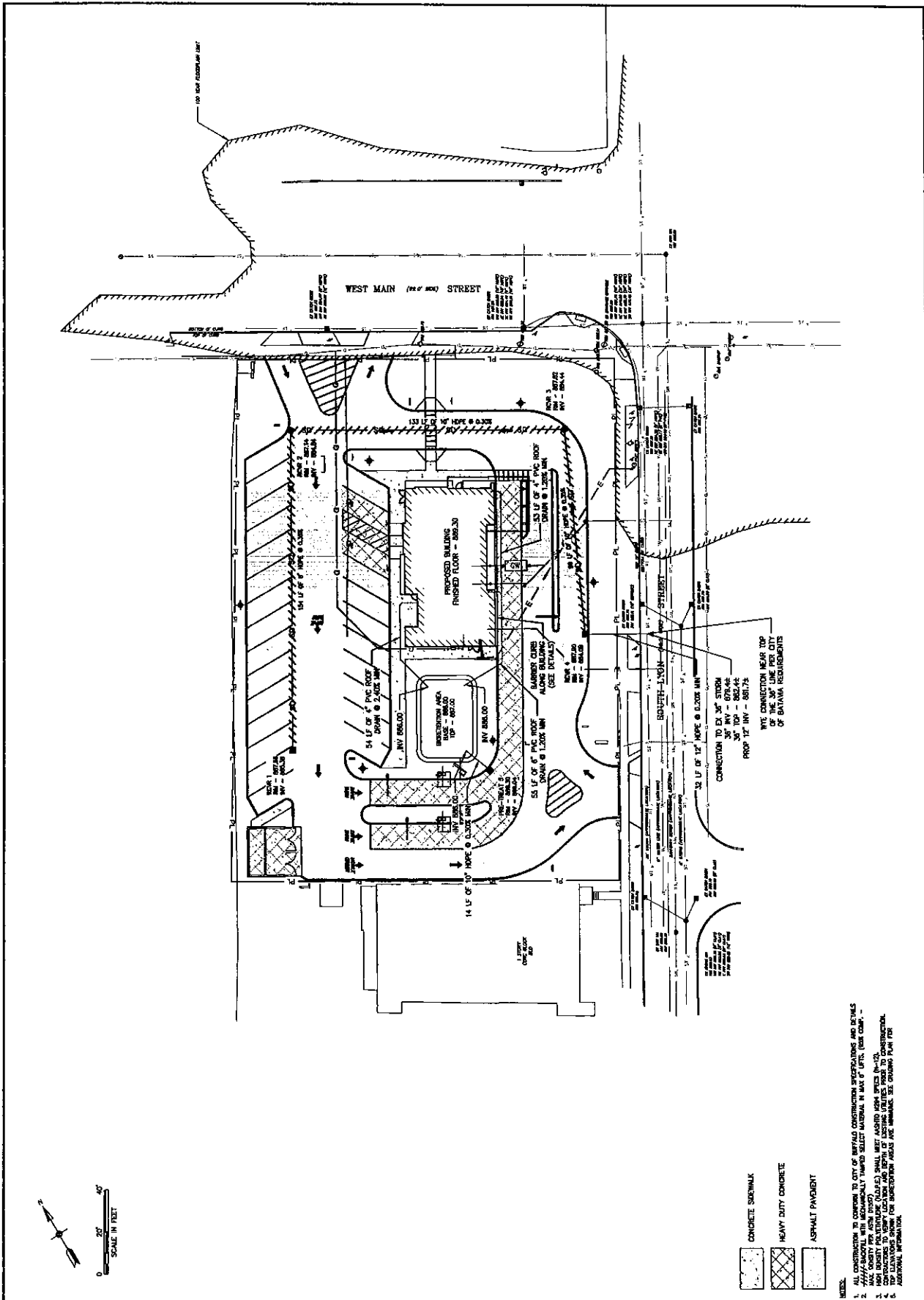
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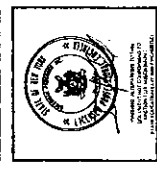
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Checked by  
 Drawn by  
 Title  
 Date  
 07



CONCRETE SUBGRADE  
 HEAVY DUTY CONCRETE  
 ASPHALT PAVEMENT

- NOTES:
1. ALL CONSTRUCTION TO COMPLY TO CITY OF BATAVIA CONSTRUCTION SPECIFICATIONS AND DETAILS.
  2. ALL SLOPES WITH MECHANICALLY STABILIZED SOIL SHALL BE CONSTRUCTED WITH 18" OF 3/4" CRUSHED GRANULAR FILL OVER THE EXISTING SOIL.
  3. ALL CURBS SHALL BE CONSTRUCTED WITH 18" OF 3/4" CRUSHED GRANULAR FILL OVER THE EXISTING SOIL.
  4. ALL CURBS SHALL BE CONSTRUCTED WITH 18" OF 3/4" CRUSHED GRANULAR FILL OVER THE EXISTING SOIL.
  5. ALL CURBS SHALL BE CONSTRUCTED WITH 18" OF 3/4" CRUSHED GRANULAR FILL OVER THE EXISTING SOIL.



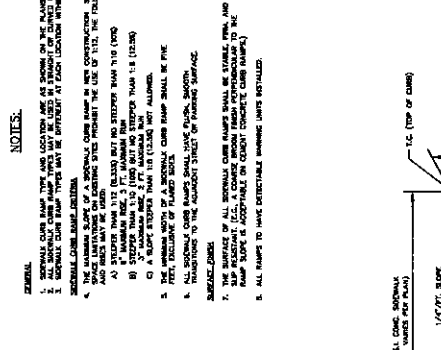
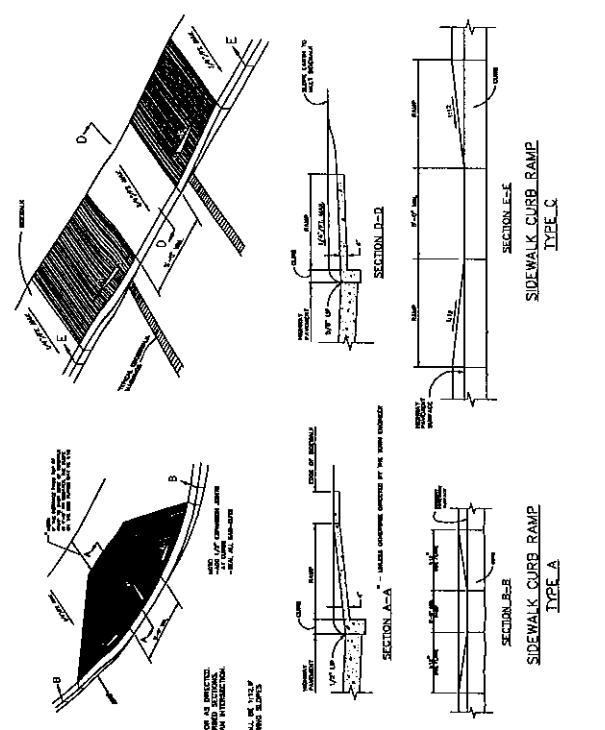
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|     | CHECKED BY  |                  |     |     |

Paving and Drainage Details

SCALE NONE

NUMBER R10020803.00

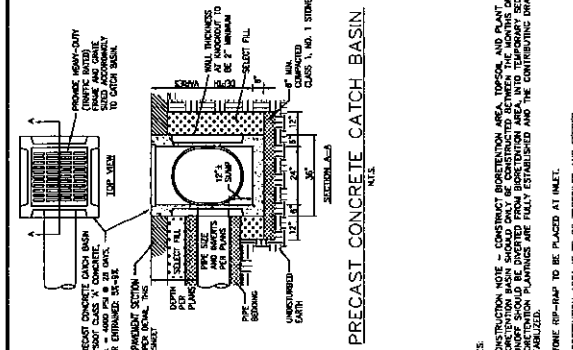
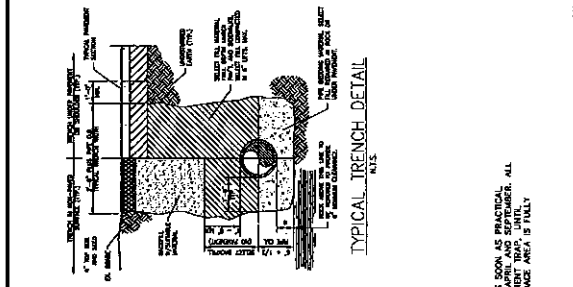
DATE 08



**NOTES:**

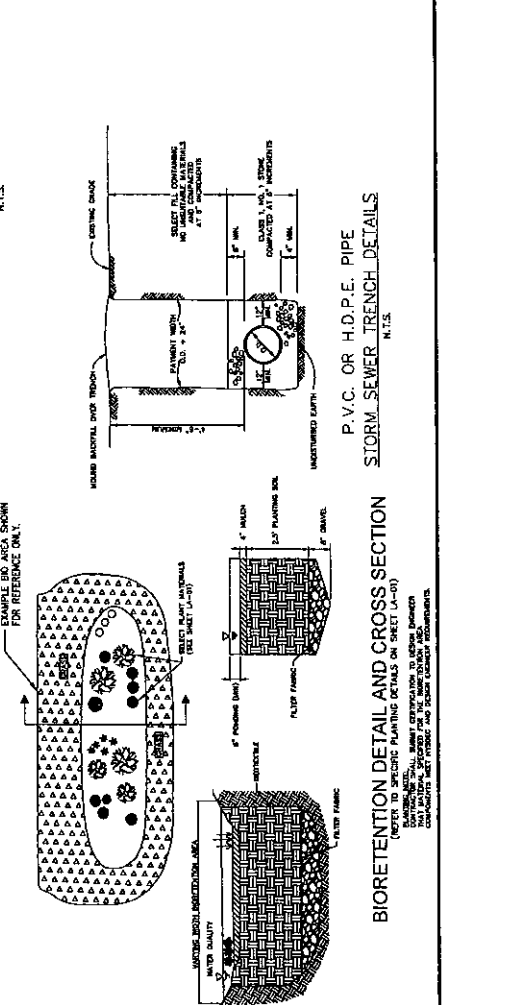
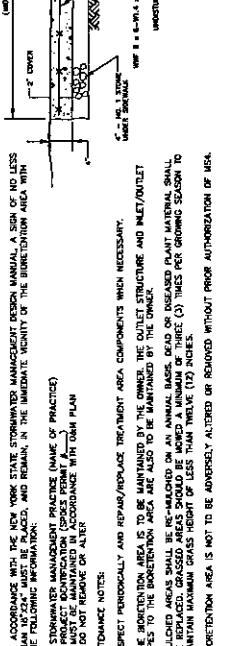
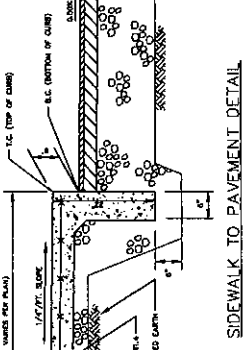
GENERAL CURB RAMP TYPE AND LOCATION ARE AS SHOWN ON THE PLAN. AS AN ALTERNATE TO THE CURB RAMP TYPE SHOWN, THE CURB RAMP MAY BE DESIGNED AS A CURB RAMP WITH A 1/8% SLOPE. ALL CURB RAMP TYPES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE WORK, LATEST EDITION. THE MINIMUM SLOPE OF A SIDEWALK CURB RAMP IN NEW CONSTRUCTION SHALL BE 1/4% AND MUST BE MAINTAINED THROUGHOUT THE LIFE OF THE CURB RAMP. THE FOLLOWING SLOPES APPLY TO EXISTING CURB RAMP TYPES:

- EXISTING CURB RAMP TYPES WITH A SLOPE GREATER THAN 1/8% (1.25%)
- EXISTING CURB RAMP TYPES WITH A SLOPE EQUAL TO 1/8% (1.25%)
- EXISTING CURB RAMP TYPES WITH A SLOPE LESS THAN 1/8% (1.25%) SHALL BE REPLACED WITH A CURB RAMP WITH A SLOPE OF 1/8% (1.25%).
- A SLOPE STEEPER THAN 10% (10.00%) NOT ALLOWED.
- THE SURFACE OF ALL SIDEWALK CURB RAMP SHALL BE PAVED WITH CONCRETTE OF FINISH GRADE WITH A FINISH SLOPE TO MAINTAIN A MINIMUM OF 1/8% (1.25%) TO THE ADJACENT STREET OR PARKING SURFACE.
- REINFORCEMENT SHALL BE INSTALLED AS SHOWN ON THE PLAN AND THE CURB RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE WORK, LATEST EDITION.
- ALL RAMP TO HAVE DETECTABLE WARNING JARVIS INSTALLED.



**NOTES:**

- CONSTRUCTION NOTE: GOOD PRACTICE FOR EXTENSION AREA, OPEN, AND PLANT'S SOON AS APPROPRIATE. THE EXTENSION AREA SHOULD BE MAINTAINED AS SUCH UNTIL PERMANENT PLANTING IS ESTABLISHED. ALL PLANTING SHOULD BE DIVERTED FROM BORESTATION AREA INTO TEMPORARY SOAKWAY UNTIL STABILIZED.
- STORM RIP-RAP TO BE PLACED AT INLET.
- BIORETENTION AREA IS TO BE TOPGRADED AND SEEDED.
- IN ACCORDANCE WITH THE NEW YORK STATE STORMWATER MANAGEMENT PRACTICES MANUAL, A SIGN OF NO LESS THAN 4" HIGH SHALL BE PLACED AT THE ENTRANCE TO THE BIORETENTION AREA WITH THE FOLLOWING INFORMATION:  
STORMWATER MANAGEMENT PRACTICE (NAME OF PRACTICE)  
PROJECT INFORMATION (SPACE FROM PROJECT NUMBER AND SHEET NUMBER)  
DO NOT REMOVE OR ALTER
- MAINTENANCE NOTES:  
1. INSPECT PERIODICALLY AND REPAIR/REPLACE TREATMENT AREA COMPONENTS WHEN NECESSARY.  
2. THE BIORETENTION AREA IS TO BE MAINTAINED BY THE OWNER. THE INLET STRUCTURE AND INLET/OUTLET PIPES TO THE BIORETENTION AREA ARE ALSO TO BE MAINTAINED BY THE OWNER.  
3. MULCHED AREAS SHALL BE RE-MULCHED ON AN ANNUAL BASIS. DEAD OR DISEASED PLANT MATERIAL SHALL BE REPLACED. GRASSED AREAS SHOULD BE MOWED A MINIMUM OF THREE (3) TIMES PER GROWING SEASON TO MAINTAIN MAXIMUM GRASS HEIGHT OF LESS THAN TWELVE (12) INCHES.  
4. BIORETENTION AREA IS NOT TO BE ADVERSELY ALTERED OR REMOVED WITHOUT PRIOR AUTHORIZATION OF IEA.



REVISIONS

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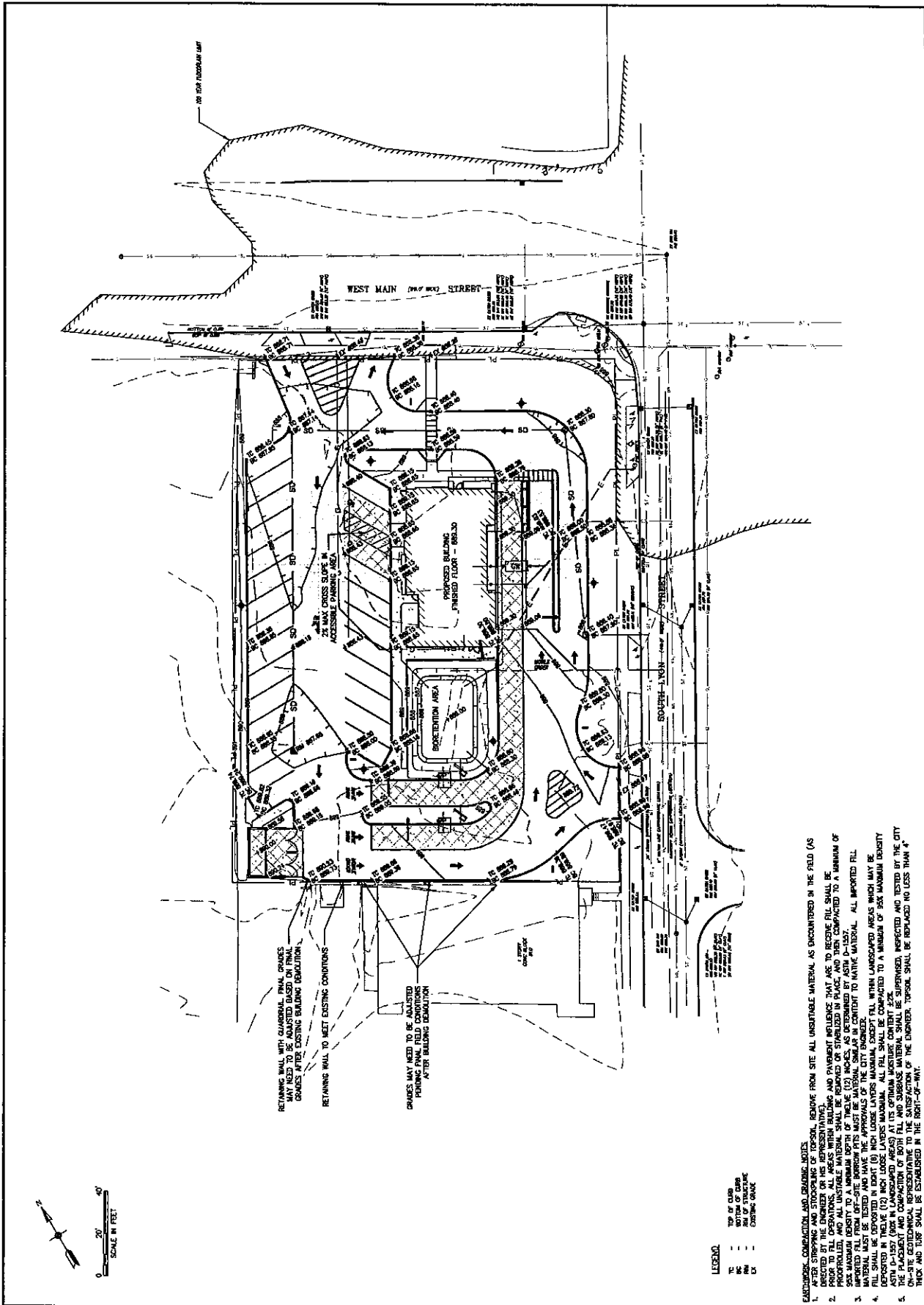
PREPARED FOR:  
 Carols, LLC  
 948 James Street  
 Syracuse, NY 13203

Burger King Redevelopment  
 West Corner of West Main St and South Lyon St  
 City of Batavia, NY



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Grading Plan  
 SCALE: 1" = 20'  
 DRAWN/DESIGNED BY: TJW  
 CHECKED BY: TJW  
 DATE: October 28, 2023  
 10



- CUSTOMER, CONTRACTOR AND GENERAL NOTES:  
 1. AFTER STRIPPING AND STOCKPILING OF TOPSOIL, REMOVE FROM SITE ALL UNSUITABLE MATERIAL AS ENCOUNTERED IN THE FIELD (AS DIRECTED BY THE ENGINEER) OF THE REMOVED BUILDING AND PAVEMENT INCLUDING THAT ARE TO RECEIVE FILL SHALL BE PROFILES, AND ALL UNSUITABLE MATERIAL SHALL BE REMOVED OR STABILIZED IN PLACE, AND THEN COMPACTED TO A MINIMUM OF SIX MAXIMUM DENSITY TO A MINIMUM DEPTH OF TWELVE (12) INCHES, AS DETERMINED BY ASTM D-1557.  
 2. MATERIALS MUST BE TESTED AND HAVE THE APPROVALS OF THE CITY ENGINEER.  
 3. FILL SHALL BE DEPOSITED IN EIGHT (8) INCH LAYER MANUAL, EXCEPT FILL WITH LANDSCAPED AREAS WHICH MAY BE DEPOSITED IN TWELVE (12) INCH LAYER MANUAL. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF SIX MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.  
 4. ALL FILL SHALL BE COMPACTED TO THE SATISFACTION OF THE ENGINEER. TOPSOIL SHALL BE REPLACED NO LESS THAN 4" THICK AND TURF SHALL BE ESTABLISHED IN THE RIGHT-OF-WAY.



PREPARED FOR  
**Carroll, LLC**  
 188 James Street  
 Syracuse, NY 13203

**Burger King Redevelopment**  
 West Corner of West Main St and South Lyon St  
 City of Batavia, NY



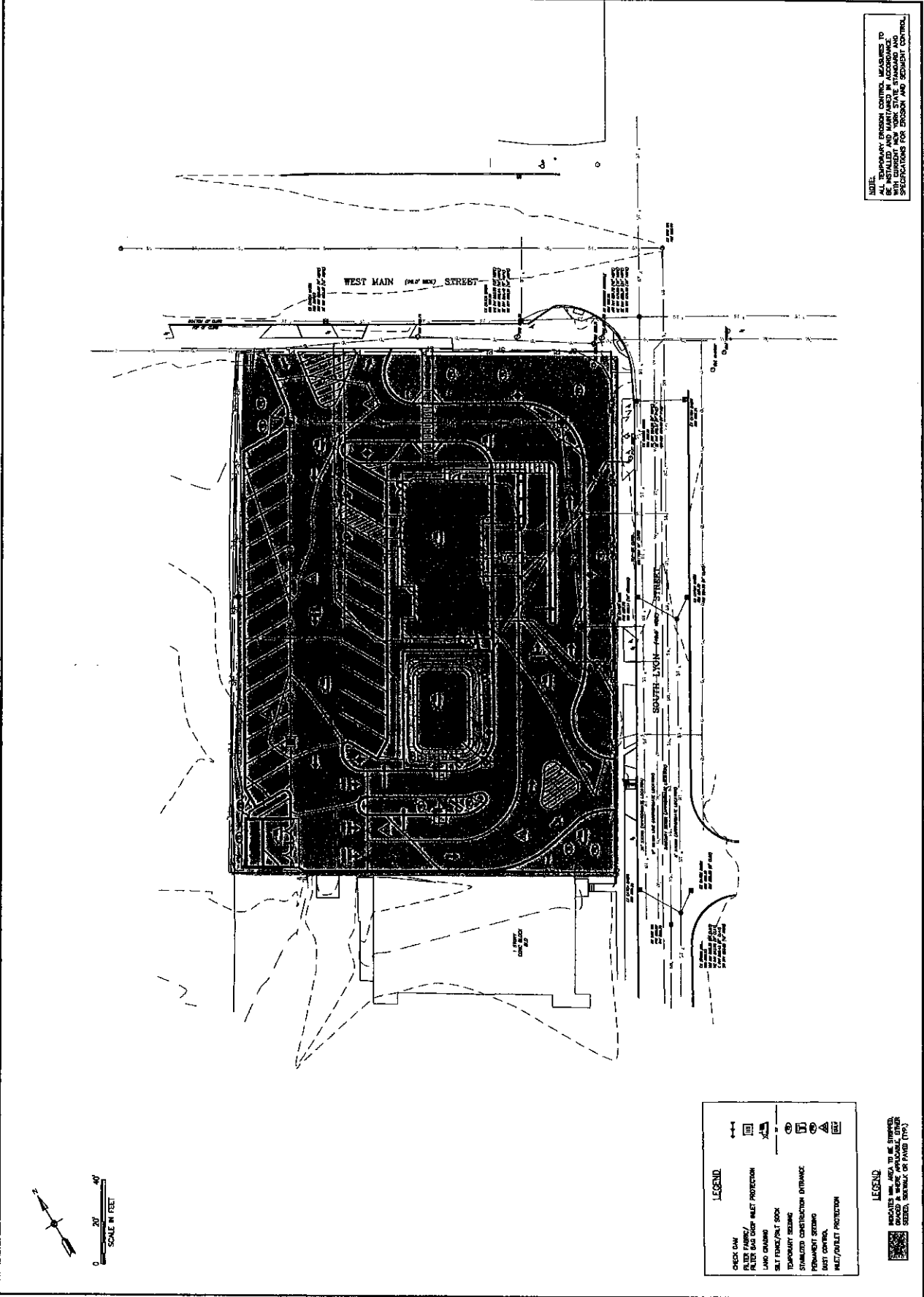
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**Erosion and Sediment Control Plan**

SCALE: 1" = 20'

WNY-2300083.00

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**NOTE:**  
 ALL TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CURRENT NEW YORK STATE STANDARD AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

**LEGEND**

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| — | CHECK DAM  |
| ▭ | FILTER FABRIC / FILTER BAG DEEP INLET PROTECTION |
| ▭ | LAND CHAINING                                    |
| ▭ | TEMPORARY SEEDING                                |
| ▭ | STABILIZED CONSTRUCTION ENTRANCE                 |
| ▭ | PERMANENT SEEDING                                |
| ▭ | MUST CONTROL                                     |
| ▭ | INLET/OUTLET PROTECTION                          |

**LEGEND**  
 HATCHED AREA IS IMPROVED  
 GRADED & READY FOR SEEDING, SOD, OR PAVED (TYP.)

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October 26, 2023  
DRAWN BY: [ ]  
CHECKED BY: [ ]  
THM  
LAW

**Erosion and Sediment Control Details**

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| SCALE:   | NONE       |
| DATE:    | 10/26/2023 |
| PROJECT: | 12         |

**STANDARD AND SPECIFICATIONS FOR GEOTEXTILE FILTER BAG**

**Materials and Installation**

- The geotextile must be installed in accordance with the manufacturer's instructions.
- The geotextile must be installed in accordance with the manufacturer's instructions.
- The geotextile must be installed in accordance with the manufacturer's instructions.
- The geotextile must be installed in accordance with the manufacturer's instructions.

**Table S.1 - Compost Sock Fabric Minimum Specifications Table**

| Parameter     | Minimum Specification           | Unit               |
|---------------|---------------------------------|--------------------|
| Material      | 100% Polypropylene              |                    |
| Weight        | 1.0 - 1.5                       | lb/yd <sup>2</sup> |
| Thickness     | 0.05 - 0.07                     | in.                |
| UV Resistance | Minimum 5 years                 |                    |
| Permeability  | Minimum 100 gpd/ft <sup>2</sup> |                    |
| Strength      | Minimum 100 lbs/ft              |                    |

**STANDARD AND SPECIFICATIONS FOR COMPOST FILTER SOCK**

**Materials and Installation**

- The filter sock must be installed in accordance with the manufacturer's instructions.
- The filter sock must be installed in accordance with the manufacturer's instructions.
- The filter sock must be installed in accordance with the manufacturer's instructions.
- The filter sock must be installed in accordance with the manufacturer's instructions.

**Table S.2 - Compost Sock Fabric Minimum Specifications Table**

| Parameter     | Minimum Specification           | Unit               |
|---------------|---------------------------------|--------------------|
| Material      | 100% Polypropylene              |                    |
| Weight        | 1.0 - 1.5                       | lb/yd <sup>2</sup> |
| Thickness     | 0.05 - 0.07                     | in.                |
| UV Resistance | Minimum 5 years                 |                    |
| Permeability  | Minimum 100 gpd/ft <sup>2</sup> |                    |
| Strength      | Minimum 100 lbs/ft              |                    |

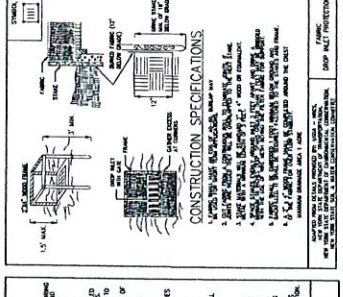
**STANDARD AND SPECIFICATIONS FOR RECREATION AREA SEEDING**

**Materials and Installation**

- The seeding must be installed in accordance with the manufacturer's instructions.
- The seeding must be installed in accordance with the manufacturer's instructions.
- The seeding must be installed in accordance with the manufacturer's instructions.
- The seeding must be installed in accordance with the manufacturer's instructions.

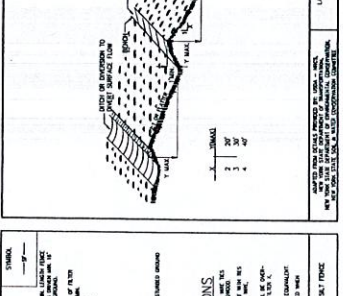
**Table S.3 - Recreation Area Seeding Specifications Table**

| Parameter        | Minimum Specification  | Unit          |
|------------------|------------------------|---------------|
| Seed Type        | Native Grasses         |               |
| Seed Rate        | 10 - 15 lbs/1000 sq ft | lb/1000 sq ft |
| Soil Preparation | Minimum 4 inches depth | in.           |
| Watering         | Minimum 1 inch depth   | in.           |



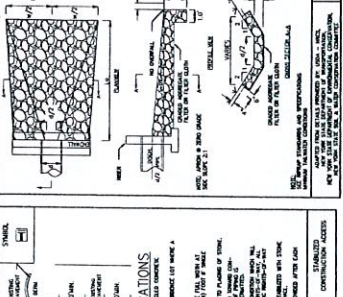
**CONSTRUCTION SPECIFICATIONS**

- CONCRETE SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES.
- CONCRETE SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES.
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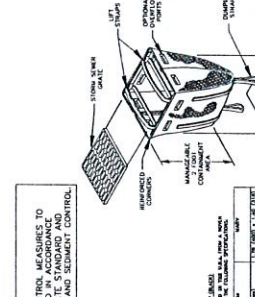
**CONSTRUCTION SPECIFICATIONS**

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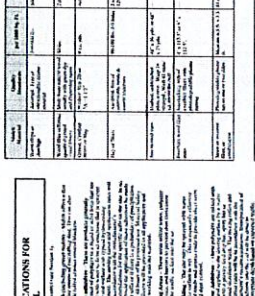
**CONSTRUCTION SPECIFICATIONS**

- CONCRETE SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES.
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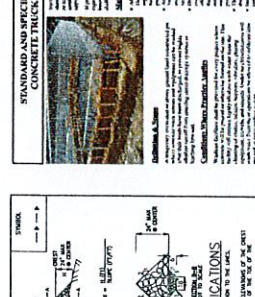
**CONSTRUCTION SPECIFICATIONS**

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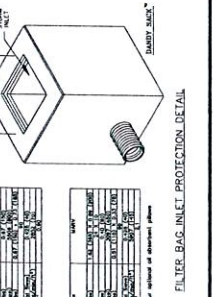
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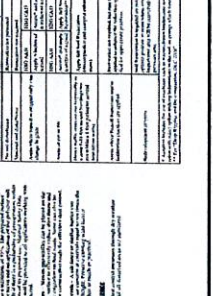
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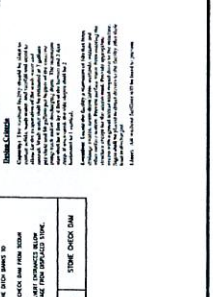
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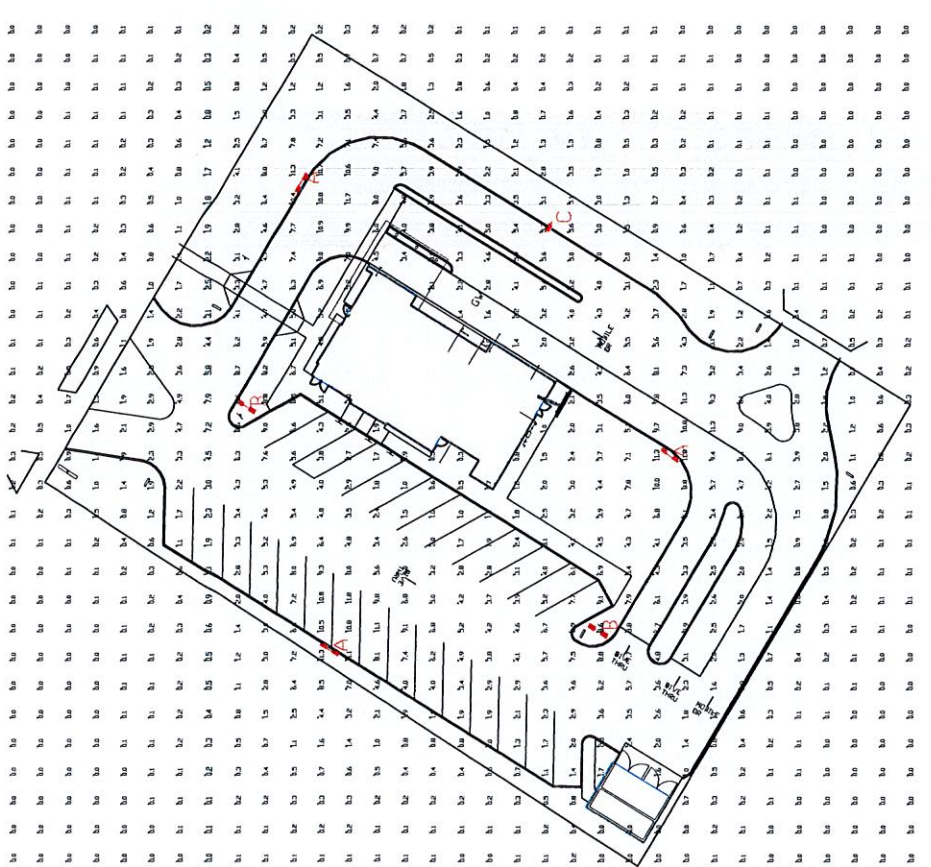
**CONSTRUCTION SPECIFICATIONS**

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| SYMBOL | SYMBOL | SYMBOL | SYMBOL | SYMBOL | SYMBOL |
|--------|--------|--------|--------|--------|--------|
| 1      | 2      | 3      | 4      | 5      | 6      |
| 7      | 8      | 9      | 10     | 11     | 12     |
| 13     | 14     | 15     | 16     | 17     | 18     |

| Calculation Summary    | Units | Avg  | Max  | Min | Avg/Min |
|------------------------|-------|------|------|-----|---------|
| CALCULATED FLOOR GRADE | FC    | 2.65 | 11.0 | 0.0 | N/A     |
| CALCULATED DRIVEWAY    | FC    | 4.44 | 11.0 | 0.5 | 8.98    |

**PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and setbacks indicated on the drawings are assumed to be correct and used for the purpose of this evaluation. The lighting plan represents the maximum level of light from the fixtures with the given photometric data. Actual performance of any individual fixture may vary due to site conditions, such as dirt on lenses, fixture orientation, etc. The lighting plan is intended for general information only and is not intended to be used for construction purposes. The lighting plan is not intended to be used as a construction document for a final lighting design.

Lighting Proposal: LLD-100017

Total Project Value: \$1,200,000

Scale: 1/4" = 1'-0"

Rev: 0

0 5 10

DATE: 6/29/23  
 DRAWING NO.: A-2.0  
 CHECKED BY: [Signature]  
 JOB NUMBER: 23004

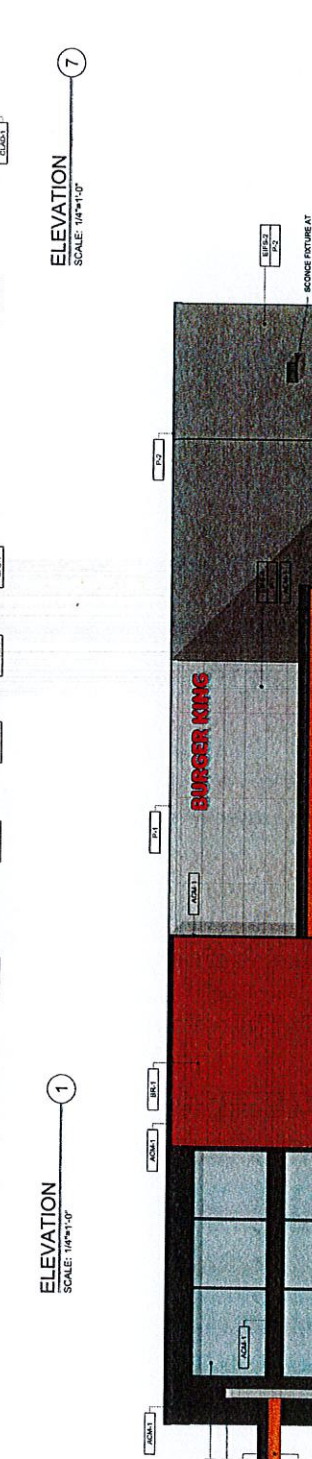
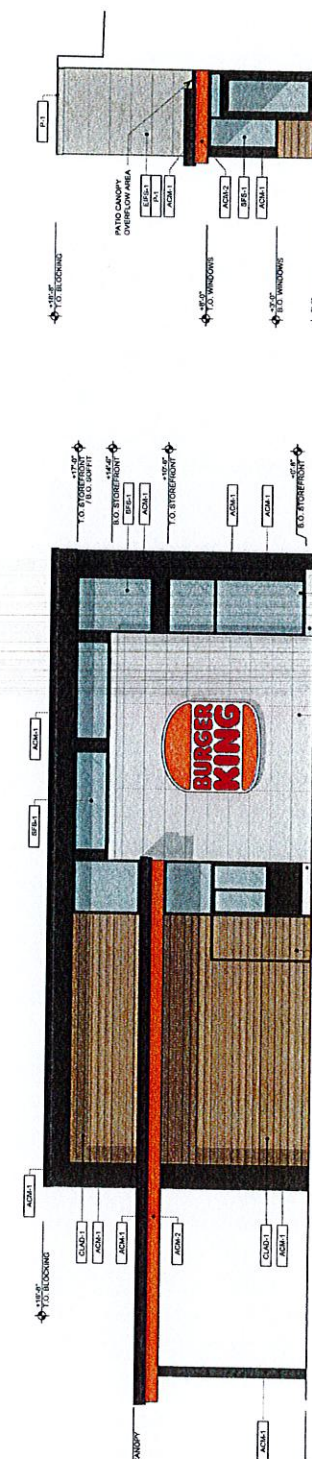
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 SYRACUSE, NY 13215  
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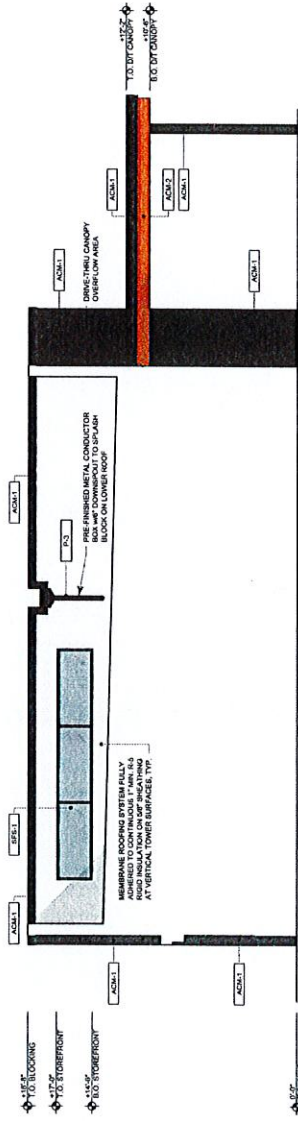
REVISIONS  
 No. Description Date  
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BURGER KING  
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 CARRIOLS, LLC  
 SYRACUSE, NEW YORK

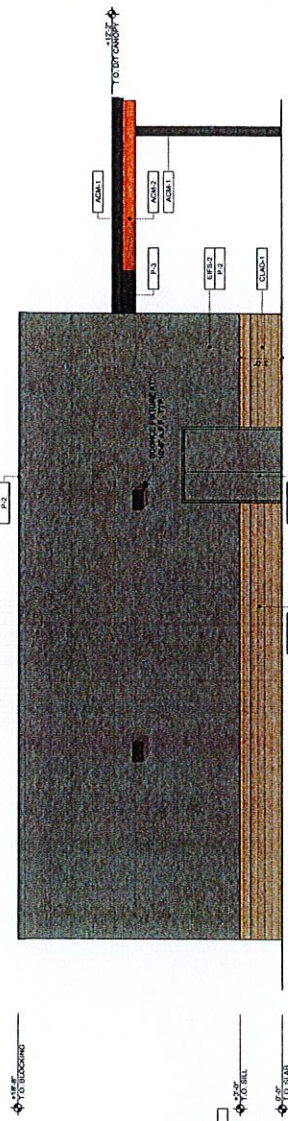
ELEVATIONS



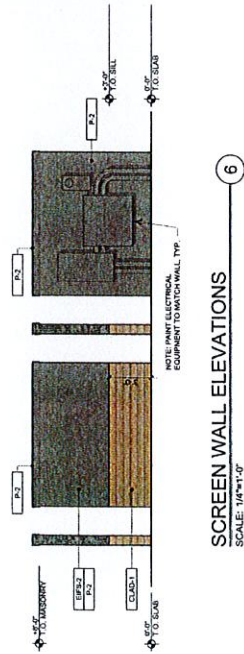
NOTE: DUE TO VARIATIONS IN MONITOR AND PLOT SETTING, ACTUAL COLORS MAY VARY FROM THOSE SHOWN ON RENDERED ELEVATIONS. FINAL MATERIAL SELECTIONS SHOULD BE VERIFIED WITH PHYSICAL SAMPLES.



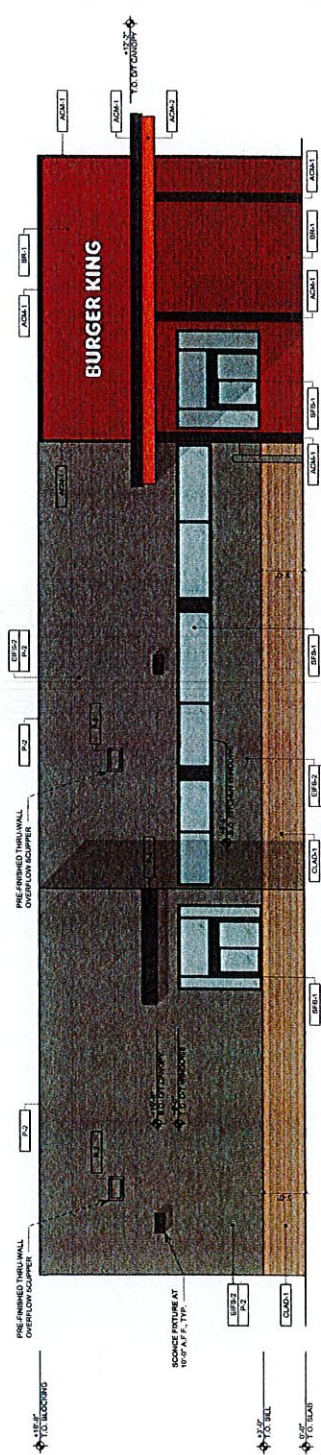
**ELEVATION 5**  
SCALE: 1/8"=1'-0"



**ELEVATION 3**  
SCALE: 1/8"=1'-0"



**SCREEN WALL ELEVATIONS**  
SCALE: 1/8"=1'-0"



**ELEVATION 4**  
SCALE: 1/8"=1'-0"

**NOTE:** DUE TO VARIATIONS IN MONITOR AND PLOT SETTING, ACTUAL COLORS MAY VARY FROM THOSE SHOWN IN THESE RENDERINGS. FINAL DECISIONS SHOULD BE VERIFIED WITH PHYSICAL SAMPLES.

ISSUED FOR SKETCH PLAN REVIEW | E62923  
No. Description Date

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6/29/23  
ARCHITECTURAL ASSOCIATES

**ELEVATIONS**

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CARROLLS, LLC  
SYRACUSE, NEW YORK

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4080 RIDGE LANE ROAD  
BATAVIA, NY 14228  
(716) 321-1123

Date: 10/02/23  
Drawing No: A-2.1  
Checked by: JPB  
Designed by: JPB

| BURGER KING PROTOTYPE MATERIALS & FINISH SCHEDULE |                            |                                    |                                   |                       |                             |   |          |           |  |
|---|----------------------------|------------------------------------|-----------------------------------|-----------------------|-----------------------------|---|----------|-----------|--|
| ITEM  | MATERIAL                   | LOCATION                           | MATERIAL DESCRIPTION              | PRODUCT MANUFACTURER  | PRODUCT                     | FINISH/COLOUR   | QUANTITY | REFERENCE | REMARKS/NOTES                          |
| ACH-1   | ALUMINUM COMPOSITE METAL   | CORNER                             | BLACK WHITE FRAME                 | LOCK NUMBER           | ACH                         | TO MATCH P-3  |          |           | REFER TO DESIGN DOCUMENTS FOR FINISHES |
| ACH-2   | ALUMINUM COMPOSITE METAL   | BOTTOM CORNERS                     | GRANITE WHITE CANDY               | ALLEN INDUSTRIES      | ACH                         | HERNIM WILLIAMS LIGHT BROWN 4348                      |          |           | REFER TO DESIGN DOCUMENTS FOR FINISHES |
| WH-1  | METAL                      | MAIN ENTRANCE                      | WIPERS SCREEN WALL                | ALLEN INDUSTRIES      | METAL PANEL SYSTEM          |   |          |           | TBD                                    |
| WH-1  | METAL                      | MAIN ENTRANCE                      | WIPERS SCREEN WALL                | ALLEN INDUSTRIES      | CUSTOM LOGOBOX SCREEN       |   |          |           | TBD                                    |
| CLAD-1  | CLADDING (WOOD)            | MAIN ELEVATION, MAINWING & CEILING | FIBRE CEMENT TEXTURED PANELS      | NICHINA               | NEW VENTURE WOOD            |   |          |           | 18" x 18" @                            |
| TR-1  | NICHINA OPEN JOINTS CORNER | NICHINA OPEN OUTSIDE CORNER        | METAL FINISH                      | NICHINA               | METAL FINISH                | BLACK MATTE   |          |           | 2.00' x 18" @                          |
| CLAD-2  | CLADDING (CONCRETE)        | MAIN FACADE                        | PINK CONCRETE TEXTURED PANELS     | NICHINA               | INDUSTRIALBLOCK             | GRAY  |          |           | 18" x 18" @                            |
| EPS-1   | NICHINA FIBER CEMENT       | DRIVING EXTERIOR                   | NICHINA FIBER CEMENT              | NICHINA               | NICHINA FIBERBLOCK          | TO MATCH P-1  |          |           | 18" x 18" @                            |
| EPS-2   | NICHINA FIBER CEMENT       | 80H                                | NICHINA FIBER CEMENT              | NICHINA               | NICHINA FIBERBLOCK          | TO MATCH P-2  |          |           | 18" x 18" @                            |
| VI-1  | STEELCO                    | DRIVING EXTERIOR & 80H             | EXTERIOR UNIFORM STUCCO FINISH    | STO OR APPROVED EQUAL | TEXTURE FINE SAND           | WHITE OR GRAY MATCH PAINT COLOR DEPENDING ON LOCATION |          |           | NA                                     |
| P-1   | PAINT                      | DRIVING EXTERIOR                   | EXTERIOR PAINT                    | BERNARDI HOUSE        | TO MATCH EPS-1              | RM-2111 95 SLURRY FINISH                              |          |           | NA                                     |
| P-2   | PAINT                      | 80H                                | EXTERIOR PAINT                    | BERNARDI HOUSE        | TO MATCH EPS-2              | RM-2111 95 SLURRY FINISH                              |          |           | NA                                     |
| P-3   | PAINT                      | METAL COLUMN                       | EXTERIOR PAINT                    | BERNARDI HOUSE        | TO MATCH ACH-1              | Z185 50 ORN 400-1600S                                 |          |           | NA                                     |
| WH-1  | WATERPROOF SYSTEM          | ALUMINUM SUBSTRATE SYSTEM          | EDGE OF THE WINDOW FRAME IN BRICK | LOCK NUMBER           | ALUMINUM VORTEXPOINT SYSTEM | BLACK MATTE   |          |           | WHERE                                  |

**ISSUE**  
6/29/23  
MANUFACTURING  
ASSISTANT ARCHITECTS

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4880 RIDGE LANE ROAD  
BUFFALO, NY 14228  
(716) 251-0838

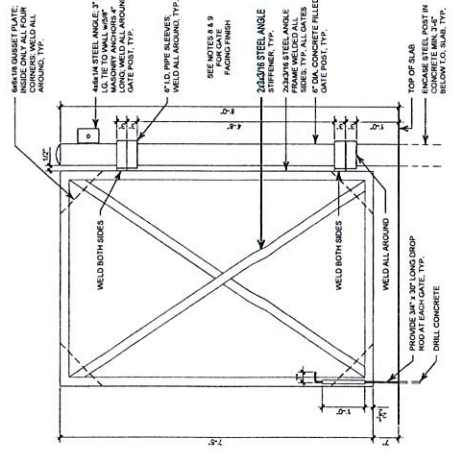
**BURGER KING**  
301-307 W MAIN STREET  
BATAVIA, NEW YORK

CARROLLS, LLC  
SYRACUSE, NEW YORK

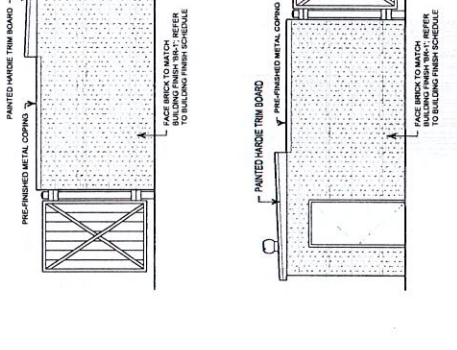
**EXTERIOR FINISH SCHEDULE**

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Drawing No.: A-2.2  
Created By: JPB  
Checked By: JPB  
Date: 10/6/2023

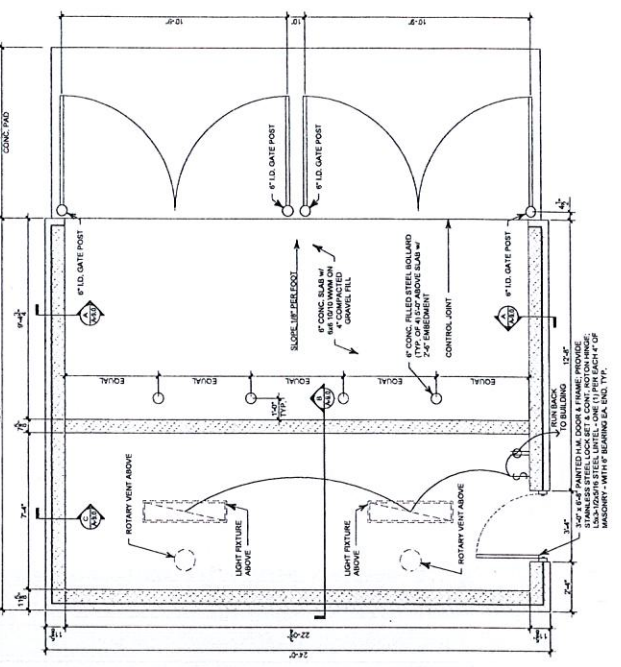
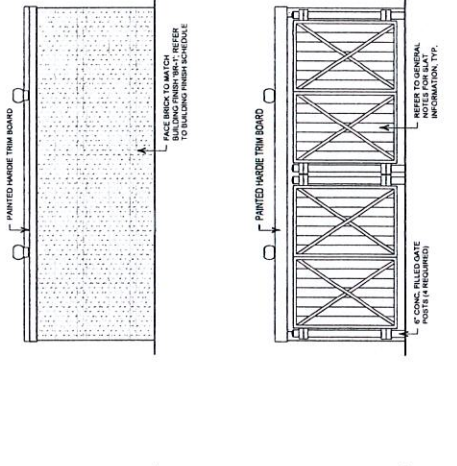
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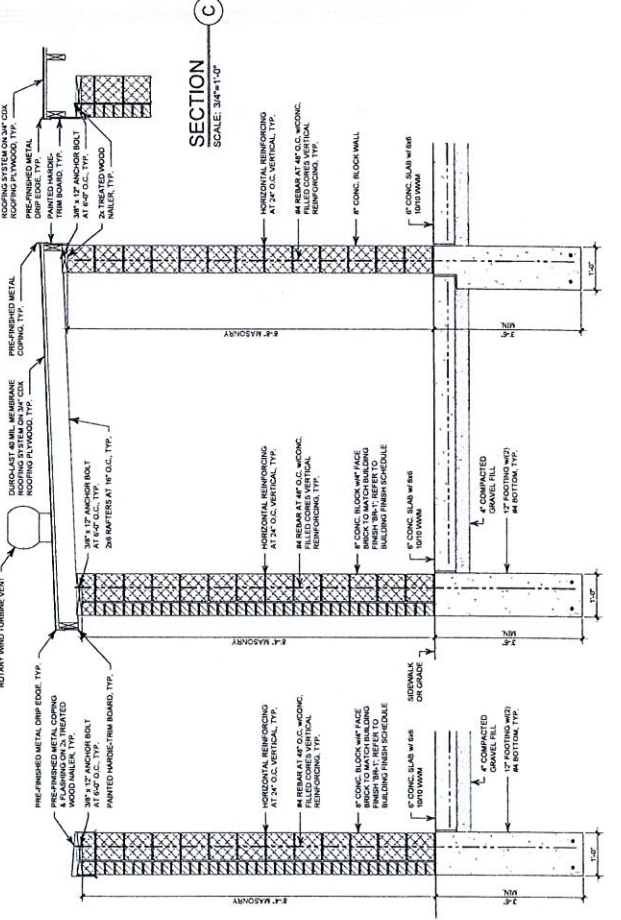
**GATE ELEVATION**  
SCALE: 3/4"=1'-0"



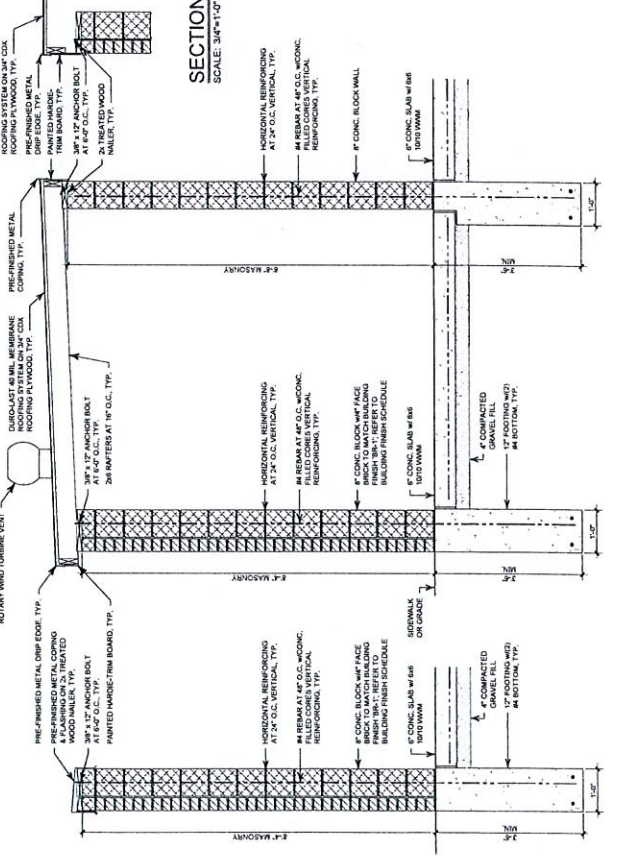
**TRASH ENCLOSURE ELEVATIONS**  
SCALE: 3/4"=1'-0"



**SECTION A**  
SCALE: 3/4"=1'-0"



**SECTION B**  
SCALE: 3/4"=1'-0"



**SECTION C**  
SCALE: 3/4"=1'-0"

- GENERAL NOTES**
1. REFER TO SITE PLAN FOR LOCATIONS AND DIMENSIONS UNLESS OTHERWISE INDICATED.
  2. CONSTRUCTION SHALL BE IN ACCORDANCE TO ALL CITY, COUNTY AND LOCAL CODES.
  3. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.
  4. SLAB TO SLOPE 1/8" FROM BACK TO FRONT FOR DRAINAGE TO EXISTING SLOPE TO BE 1/8" PER PERIMETER OF SLAB.
  5. LOCATE PERSONAL ACCESS DOOR THAT IS MOST ACCESSIBLE FROM REAR DOOR.
  6. FINISHES OF THE ROOM SHALL BE AS SHOWN.
  7. ALL STEEL FIXTURES TO BE PAINTED TO MATCH BUILDING EXTERIOR FINISH SCHEDULE AND COORDINATE WITH BUILDING COORDINATOR.
  8. ALL GATE BOLTS TO COMBUSTIBLE METAL PANELING, POWDER COATED DRY GYPSUM BOARD OR CONCRETE FINISH SCHEDULE AND COORDINATOR.
  9. ALL GATES TO BE THUNDERBOLT TO STEEL FRAME WITH 1/2" GALVANIZED BELLS AND THUNDERBOLT NUT.

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SYRACUSE, NEW YORK

**TRASH ENCLOSURE DETAILS**

**ISSUE**  
6/29/23  
LAUER, MANGUSO & ASSOCIATES ARCHITECTS

**DATE** 10/20/23 **DRAWING NO.** A-9-10  
**DESIGNED BY** CJP **CHECKED BY** PJM  
**DATE** 10/20/23 **JOB NUMBER**

NO. \_\_\_\_\_ DATE \_\_\_\_\_  
REVISIONS

ISSUED FOR SKETCH PLAN REVIEW | 6/29/23

# Color Elevation Renderings



|     |                               |          |
|-----|-------------------------------|----------|
| NO. | DESCRIPTION                   | DATE     |
| 1   | ISSUED FOR SKETCH-PLAN REVIEW | 06/29/23 |

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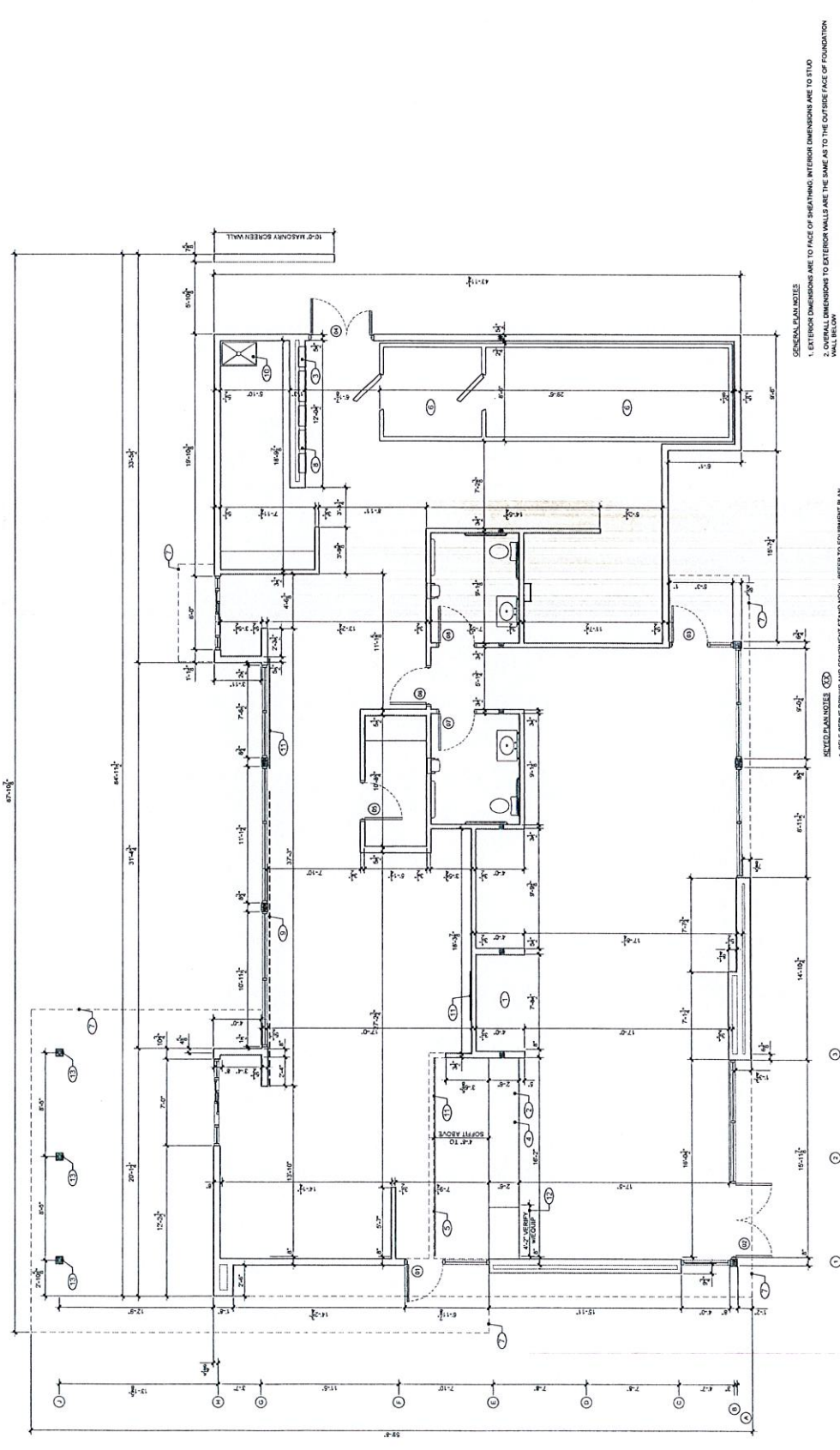
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**FLOOR PLAN**

ISSUE 6/29/23  
 L&L ASSOCIATES  
 ASSOCIATE ARCHITECTS

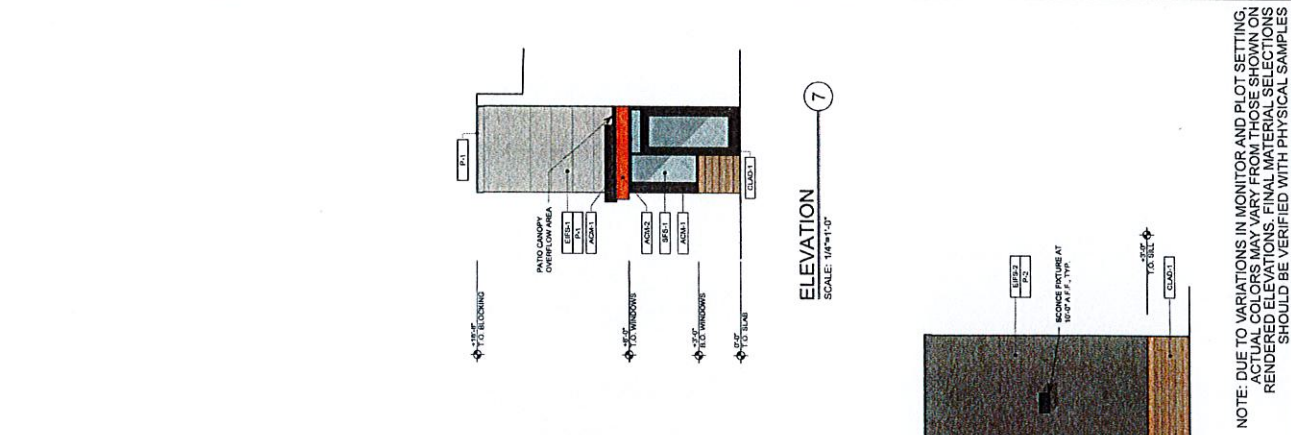
LAUER, MANCUSO & ASSOCIATES ARCHITECTS  
 4000 RIDGE LEAF ROAD  
 BUFFALO, N.Y. 14228  
 (716) 837-9833

Drawings No. A-1.0  
 Checked By PJM  
 Job Number 2024

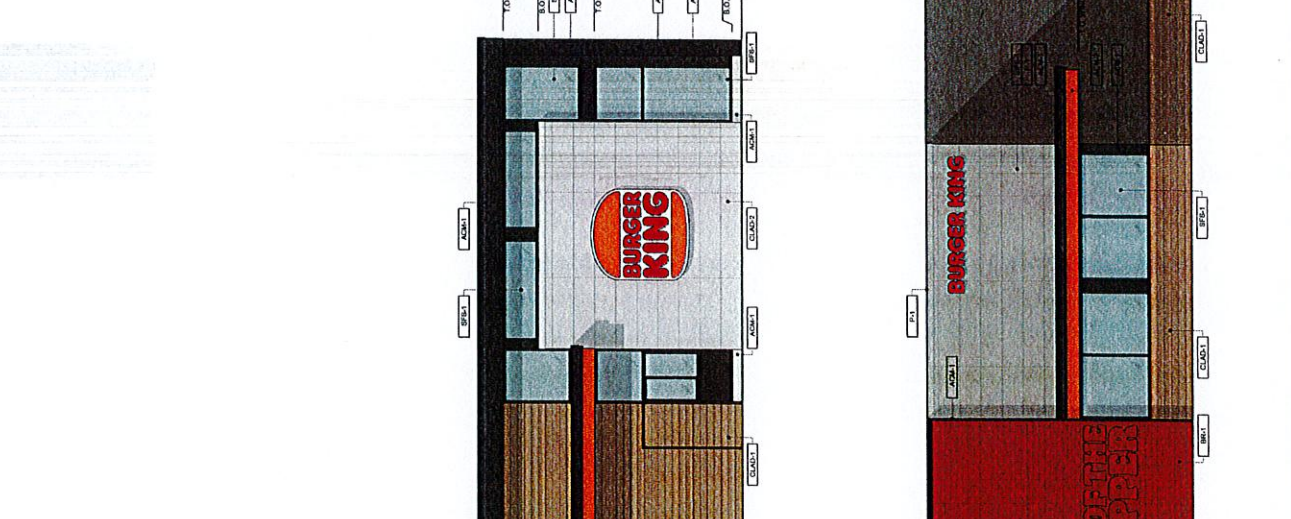


- GENERAL NOTES**
1. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR DIMENSIONS ARE TO FINISH.
  2. OVERALL DIMENSIONS TO EXTERIOR WALLS ARE THE SAME AS TO THE OUTSIDE FACE OF FOUNDATION.
  3. ALL WALLS SHALL BE AT 90° UNLESS NOTED OTHERWISE.
  4. ALL WALLS SHALL BE AT 90° UNLESS NOTED OTHERWISE.
  5. ELEVATION OF DRIVE-THROUGH LANE 2" MAXIMUM BELOW FINISH FLOOR ELEVATION. DRIVE-THROUGH LANE AT SAME ELEVATION AS FINISH FLOOR IS PREFERRED. REFER TO SECTION A-1.1.
  6. PROVIDE CORNER GUARDS AT ALL OUTSIDE KITCHEN CORNERS AND WALL KNOX. REFER TO SHEET A-1.1.
  7. PROVIDE ADDITIONAL BLOCKING IN WALLS BEHIND PLUMBING FIXTURES FOR SUPPORT OF WATER LINES, ETC.
  8. ALL WALLS AT EXPOSED TRUSSES TO BE FRAMED AND FINISHED TO THE ROOF DECK, TYP.
  9. SUBMITTIVE PANELS:
    - 9.1. 1/2" Gypsum Board Panels at Finish Floor to 2' A.F.F.
    - 9.2. 5/8" Fire Resistant Gypsum Board from 2' A.F.F. to 4' ABOVE FINISHED CEILING.
    - 9.3. 1/2" Gypsum Board Panels at Finish Floor to 2' A.F.F.
    - 9.4. 1/2" Gypsum Board Panels at Finish Floor to 2' A.F.F.
    - 9.5. 1/2" Gypsum Board Panels at Finish Floor to 2' A.F.F.
  10. PROVIDE SOUND ATTENUATION MAT INSULATION IN ALL RESTROOM AND OFFICE WALLS TO UNDECK OF ROOF DECK ABOVE, TYP.
- SECTION NOTES**
1. SELF-SERVE DRINKING AND CONDIMENT STAND NOOK. REFER TO EQUIPMENT PLAN.
  2. COUNTER TOP. REFERENCE SHEET A-1.1.
  3. ELECTRIC SERVICE. REFER TO ELECTRICAL DRAWINGS.
  4. SERVICE COUNTER PARTITION BY G.C. REFER TO DETAILS ON TECHNOLOGY PLAN FOR ADDITIONAL INFORMATION. COORDINATE COUNTER PARTITION INSTALLATION RESPONSIBILITIES WITH THE DECOR SUPPLIER. MAXIMUM CLEARANCE SHALL BE 4'-0".
  5. MENU BOARD BULKHEAD ABOVE. REFER TO SECTION DRAWINGS AND REFLECTED CEILING PLAN.
  6. MENU BOARD BULKHEAD WITH LIGHT ON CONCRETE SLAB. VERIFY SIZE WITH MANUFACTURER. INSTALL AT 1/2" STAIRHEAD OR SAFETY FLOORING.
  7. LINE OF CANYON OVERHANG ABOVE.
  8. ELECTRICAL PANEL LOCATION. RECESS ELECTRICAL CONTRACTOR PANEL AND PANELS "X" 1/4" AND "Y" 1/4" IN FINISHED OUT WALL ADJACENT TO EXTERIOR FINISH. U.C. TO VERIFY PANEL SIZES PRIOR TO FURNISHOUT TO INSURE PANELS FIT. PANELS BEHIND 1/2" G.C. HOODS. CONTINUOUS BETWEEN HOODS AND SUPPLIED BY G.C. AND INSTALLED BY U.C. "X" 1/4" "Y" 1/4".
  9. CAN WASH DURROCK SUBSTRATE ON ALL BRIS. FLOOR TO CEILING.
  10. INDICATES 5/8" PLYWOOD JACKING ON WALLS FOR EQUIPMENT AS INDICATED ON PLAN OR SHELF SUPPORT FROM 4' A.F.F. TO 8' A.F.F. BEHIND 2-COMPARTMENT SINK AND PREP SINK AND ON BULKHEAD AT MENU BOARD.
  11. RECESS ELECTRICAL CONTRACTOR PANEL AND PANELS "X" 1/4" AND "Y" 1/4" IN FINISHED OUT WALL ADJACENT TO EXTERIOR FINISH. U.C. TO VERIFY PANEL SIZES PRIOR TO FURNISHOUT TO INSURE PANELS FIT. PANELS BEHIND 1/2" G.C. HOODS. CONTINUOUS BETWEEN HOODS AND SUPPLIED BY G.C. AND INSTALLED BY U.C. "X" 1/4" "Y" 1/4".
  12. RECESS ELECTRICAL CONTRACTOR PANEL AND PANELS "X" 1/4" AND "Y" 1/4" IN FINISHED OUT WALL ADJACENT TO EXTERIOR FINISH. U.C. TO VERIFY PANEL SIZES PRIOR TO FURNISHOUT TO INSURE PANELS FIT. PANELS BEHIND 1/2" G.C. HOODS. CONTINUOUS BETWEEN HOODS AND SUPPLIED BY G.C. AND INSTALLED BY U.C. "X" 1/4" "Y" 1/4".
  13. PROVIDE CONTINUOUS INSULATION AT DRIVE-THRU COLUMNS. REFER TO SHEET A-1.2.
- SCALE: 1/4" = 1'-0"**
- FLOOR PLAN**

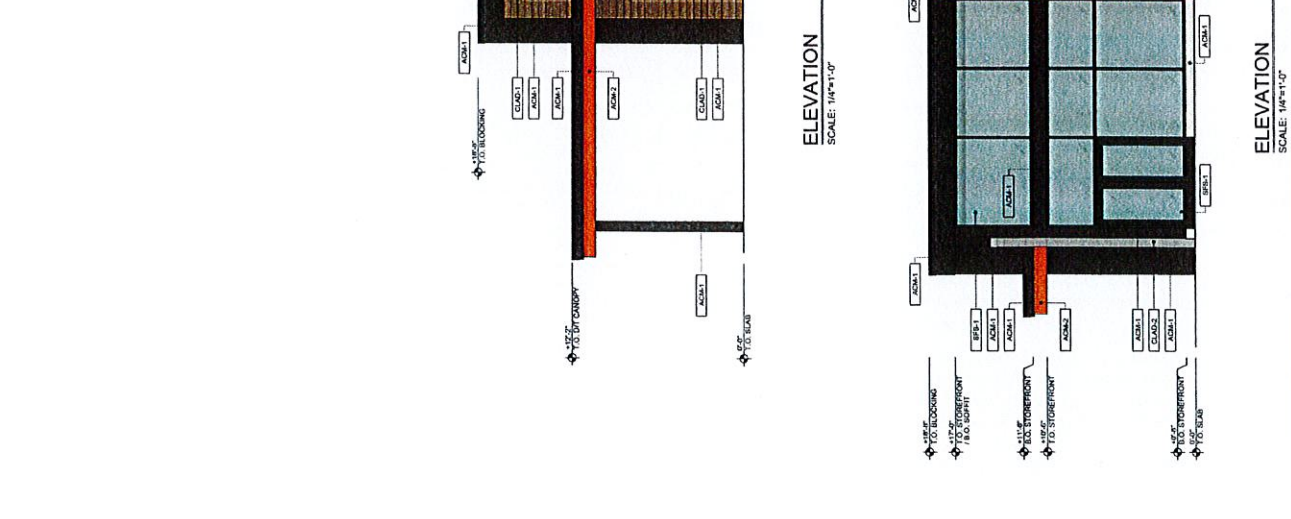
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|--|---|
| <b>ISSUE</b><br>6/29/23<br>LAUER-MANUSO<br>ASSOCIATES ARCHITECTS   | 16669205<br>CAP<br>Checked By: PJK<br>Job Number: 22004 |
| No. Description Date<br>- ISSUED FOR SKETCH PLAN REVIEW   6/29/23  |   |
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| CARROLLS, LLC<br>SYRACUSE, NEW YORK  |   |
| <b>ELEVATIONS</b>  |   |
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| Project: 16669205<br>Checked By: PJK<br>Job Number: 22004  |   |



**ELEVATION**  
SCALE: 1/4"=1'-0"



**ELEVATION**  
SCALE: 1/4"=1'-0"



**ELEVATION**  
SCALE: 1/4"=1'-0"

|   |  |
|---|--|
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|---|--|

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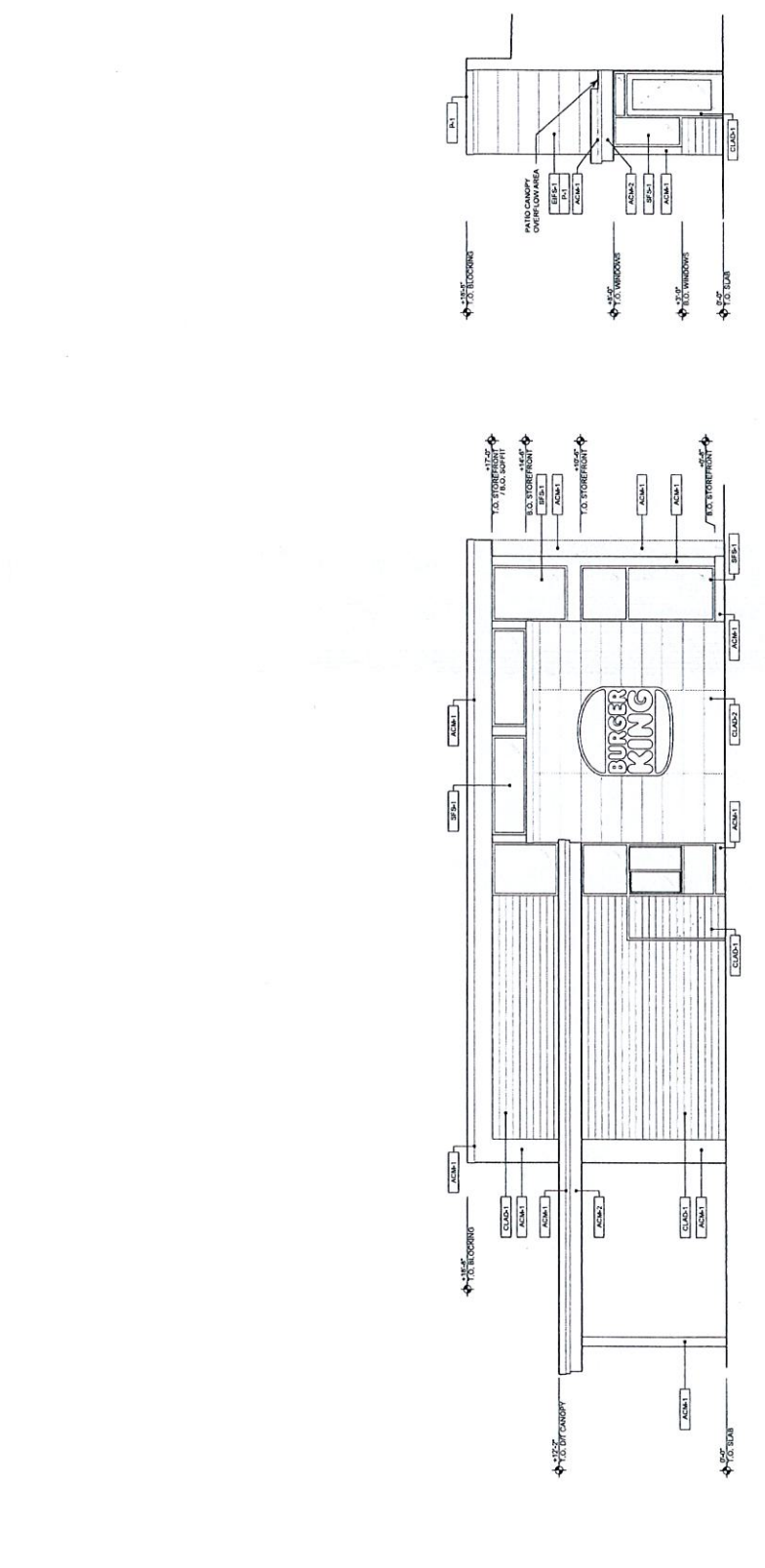
Drawing No.  
620023

Checked By  
CJP

Project No.  
PM

Job Number  
2004

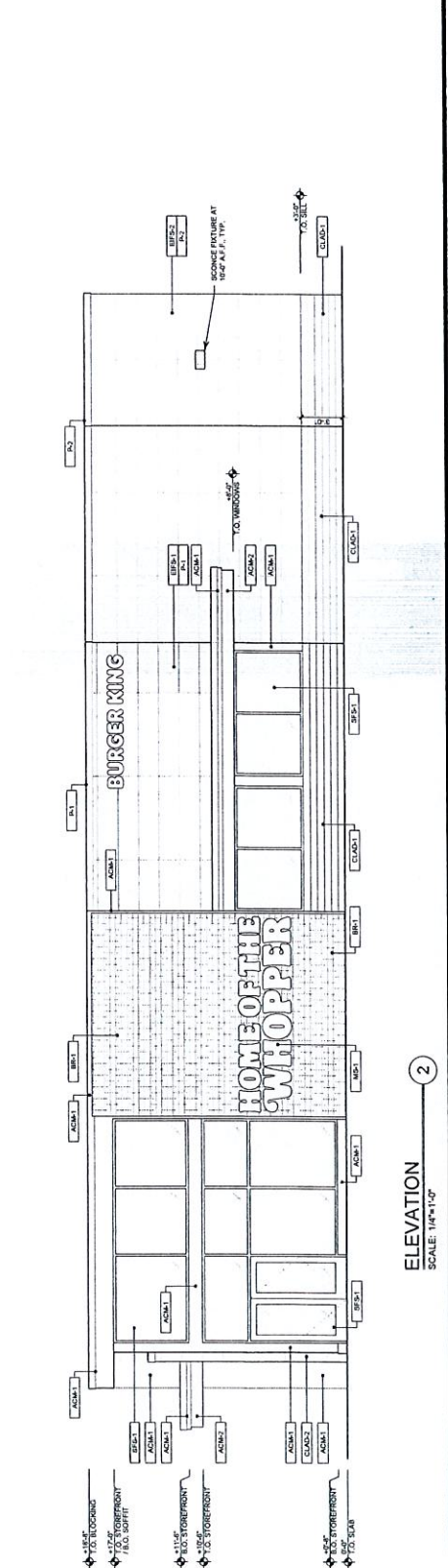
A-2.0



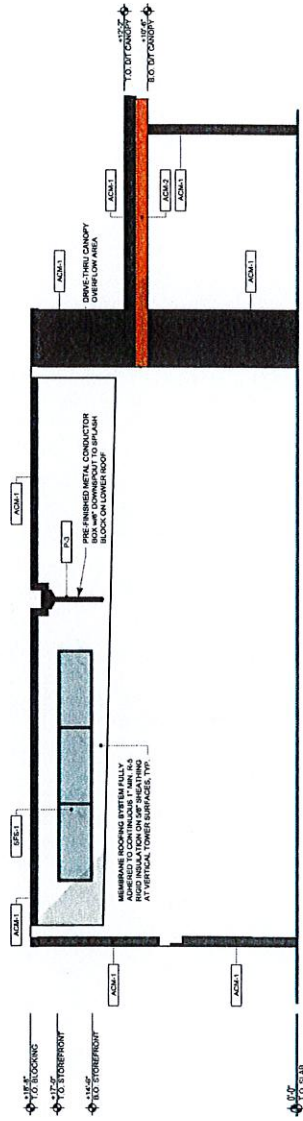
**ELEVATION**  
SCALE: 1/4"=1'-0"

**ELEVATION**  
SCALE: 1/4"=1'-0"

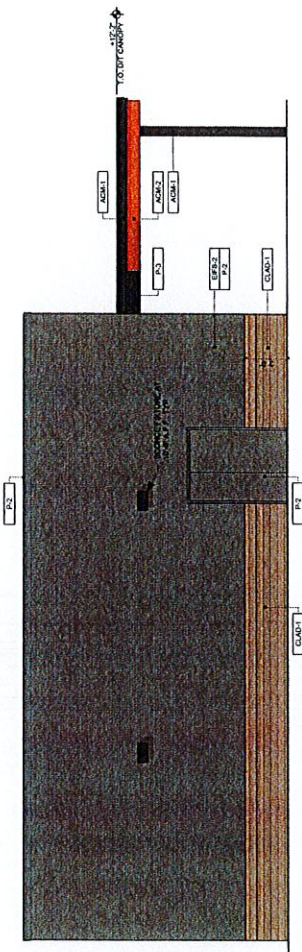
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SCALE: 1/4"=1'-0"



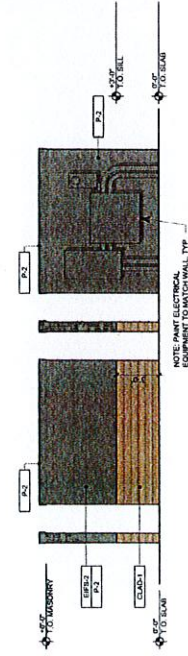
NOTICE: It is a violation of Section 205, Subsection 2, of the New York State Law for any person, when acting under the direction of a Licensed Architect or Professional Engineer, to state on any plan, specification, or report in which the use of a Licensed Architect or Professional Engineer has been specified.



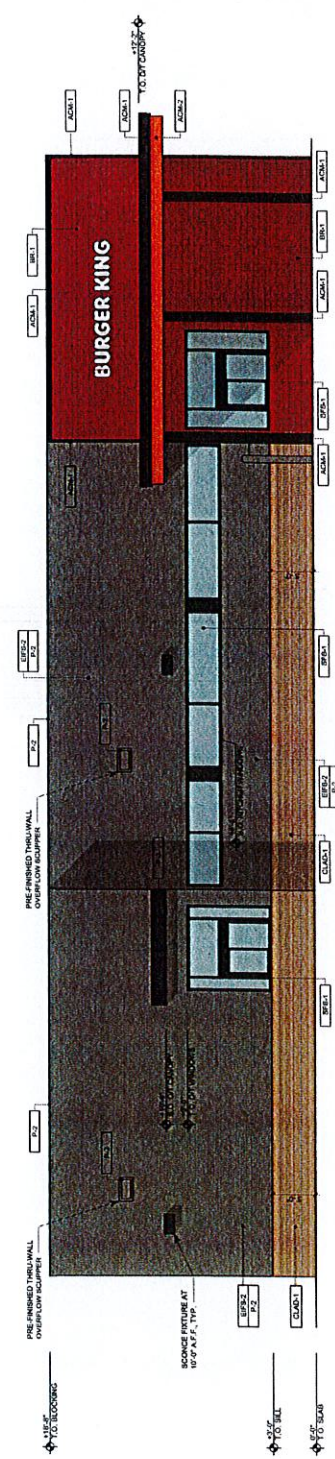
**ELEVATION 5**  
SCALE: 1/4"=1'-0"



**ELEVATION 3**  
SCALE: 1/4"=1'-0"



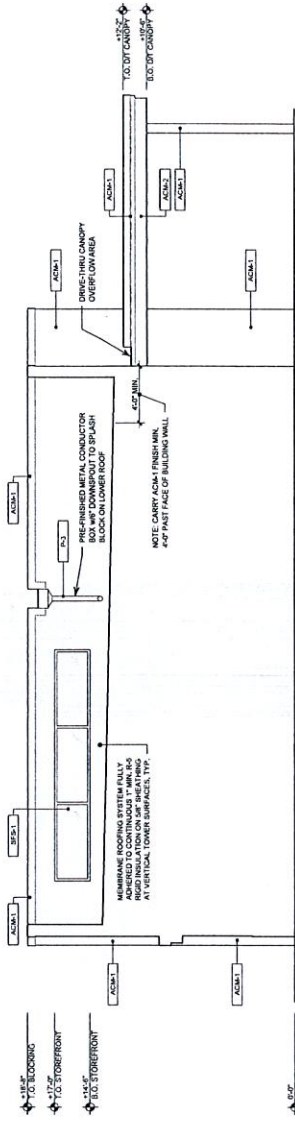
**SCREEN WALL ELEVATIONS 6**  
SCALE: 1/4"=1'-0"



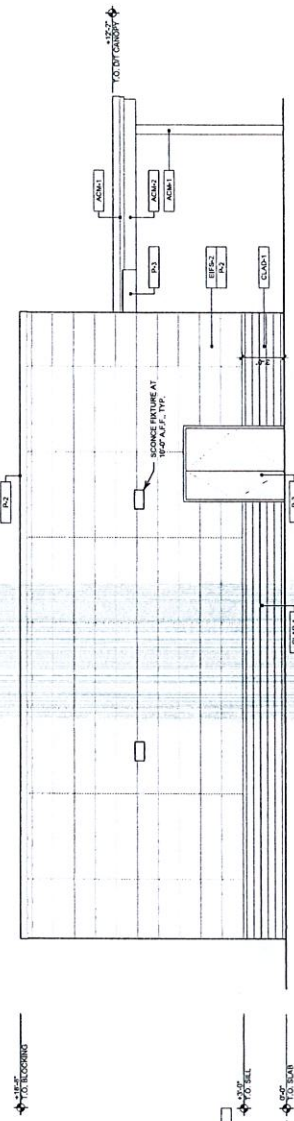
**ELEVATION 4**  
SCALE: 1/4"=1'-0"

NOTE: DUE TO VARIATIONS IN MONITOR AND PLOT SETTING, ACTUAL COLORS MAY VARY FROM THOSE SHOWN ON RENDERED ELEVATIONS. FINAL MATERIAL SELECTIONS SHOULD BE VERIFIED WITH PHYSICAL SAMPLES.

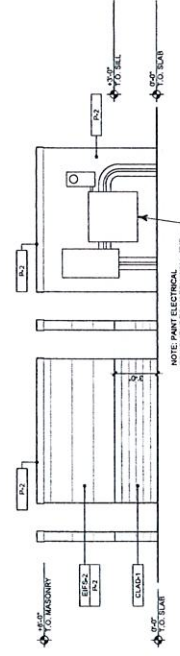
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|--|---|
| <p>THIS DOCUMENT AND THE PROJECT ORIGINALLY BELONG TO BURGER KING. ANY REVISIONS, CORRECTIONS, OR MODIFICATIONS TO THIS DOCUMENT SHALL BE THE PROPERTY OF BURGER KING. ANY REVISIONS, CORRECTIONS, OR MODIFICATIONS TO THIS DOCUMENT SHALL BE THE PROPERTY OF BURGER KING.</p> |   |
| <p>NO. _____</p> <p>DESCRIPTION _____</p> <p>DATE _____</p>  | <p>ISSUED FOR SKETCH PLAN REVIEW 07/20/23</p> |
| <p><b>REVISIONS</b></p>  |   |
| <p><b>BURGER KING</b><br/>301-307 W MAIN STREET<br/>BATAVIA, NEW YORK</p>  |   |
| <p>CARRIOLS, LLC<br/>SYRACUSE, NEW YORK</p>  |   |
| <p><b>ELEVATIONS</b></p>   |   |
| <p><b>ISSUE</b><br/>6/29/23<br/>LAUER-MANGUSO &amp; ASSOCIATES ARCHITECTS</p>  |   |
| <p><b>LAUER-MANGUSO &amp; ASSOCIATES ARCHITECTS</b><br/>4030 Ridge Lea Road<br/>Syracuse, NY 13212<br/>(716) 837-0833</p>  |   |
| <p>Date: 06/29/23</p> <p>Drawn By: LAUER-MANGUSO</p> <p>Checked By: PM</p> <p>Job Number: 23004</p>  | <p>Drawing No: <b>A-2.1</b></p>               |



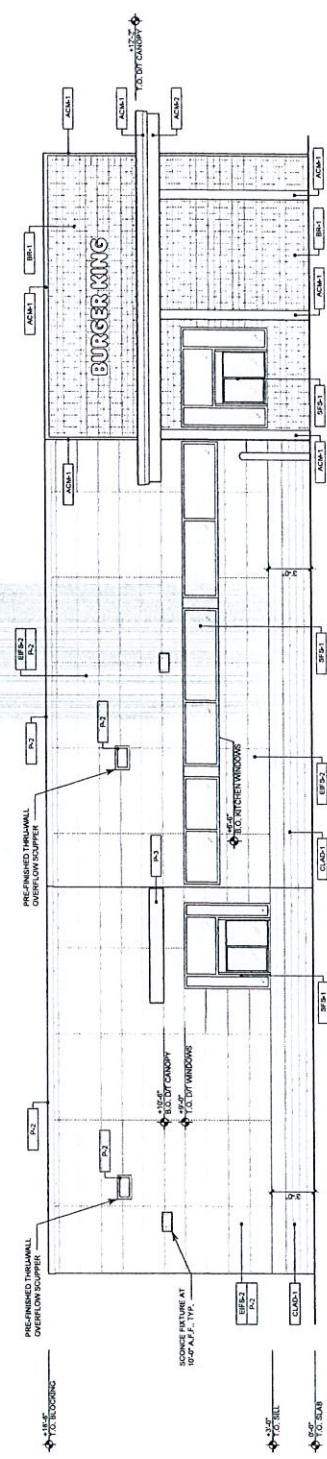
**ELEVATION 5**  
SCALE: 1/4"=1'-0"



**ELEVATION 3**  
SCALE: 1/4"=1'-0"



**SCREEN WALL ELEVATIONS 6**  
SCALE: 1/4"=1'-0"



**ELEVATION 4**  
SCALE: 1/4"=1'-0"

| No. | Description                   | Date    |
|-----|-------------------------------|---------|
| 1   | ISSUED FOR SKETCH PLAN REVIEW | 6/29/23 |

**BURGER KING**  
301-307 W MAIN STREET  
BATAVIA, NEW YORK

CARRIOLS, LLC  
SYRACUSE, NEW YORK

**ELEVATIONS**



**LAUER-MANCUSO ARCHITECTS**  
4010 RIDGE LANE SUITE 200  
BATAVIA, N.Y. 14228  
(716) 837-0833

Drawn By: JAM  
Checked By: JAM  
Job Number: 22004

**A-2.1**

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| FINISH | MATERIAL                    | LOCATION                        | MATERIAL DESCRIPTION                   | PRODUCT MANUFACTURER     | FINISH COLOR   | EXPLANATION   | MANUFACTURER REPRESENTATIVE CONTACT INFORMATION |
|--------|-----------------------------|---------------------------------|--|--------------------------|--|---|---|
| ACH-1  | ALUMINUM COMPOSITE METAL    | CAMPUS                          | BLACK WHITE PAINT                      | LOCAL SUPPLIER           | TO MATCH P-3   | REFER TO FINISH SCHEDULES FOR FINISHES AND PRODUCTS |   |
| ACH-2  | ALUMINUM COMPOSITE METAL    | ENTRANCE CORNERS                | CHROME ANODIZED CORNER                 | ALUM INDUSTRIES          | VERTICAL WILLIAMS LIGHT BROWN CLAM                       | REFINISH ANODIZED CORNERS WITH THICKNESS            |   |
| IMP-1  | METAL                       | MAIN ENTRANCE                   | WINDUPPER METAL WALL                   | ALUM INDUSTRIES          | VERTICAL WILLIAMS LIGHT BROWN CLAM                       |   |   |
| IMP-1  | METAL                       | MAIN ENTRANCE                   | WINDUPPER SCREEN WALL                  | ALUM INDUSTRIES          | VERTICAL WILLIAMS LIGHT BROWN CLAM                       |   |   |
| CLAD-1 | CLADDING (WOOD)             | HARD EXTERIOR WINDUPPER CEILING | FIBER CONCRETE TEXTURED PANELS         | NICHINA                  | TEO  | 18" x 18" 4"  |   |
| IMP-1  | NICHINA OPEN OUTSIDE CORNER | NICHINA OPEN OUTSIDE CORNER     | METAL TRIM                             | NICHINA                  | BLACK WHITE  | 208" x 18" 4"                                       |   |
| CLAD-2 | CLADDING (CONCRETE)         | MAIN FACADE                     | FIBER CONCRETE TEXTURED PANELS         | NICHINA                  | GRAY   | 18" x 18" 4"  |   |
| EPF-1  | NICHINA FIBER CONCRETE      | ENTRANCE EXTERIOR               | NICHINA FIBER CONCRETE                 | NICHINA                  | TO MATCH P-1   | 18" x 18" 4"  |   |
| EPF-2  | NICHINA FIBER CONCRETE      | DOWN                            | NICHINA FIBER CONCRETE                 | NICHINA                  | TO MATCH P-2   | 18" x 18" 4"  |   |
| SP-1   | STUCCO                      | ENTRANCE EXTERIOR & DOWN        | EXTERIOR ANODIZED STUCCO SYSTEM        | STUCCO ON APPROVED LOCAL | WHITE OR GRAY MATCH ANODIZED COLOR DEPENDING ON LOCATION | N/A   |   |
| P-1    | PAINT                       | ENTRANCE EXTERIOR               | EXTERIOR PAINT                         | PERMANENT HOME           | BM 211-48 STONE HARBOR                                   | N/A   |   |
| P-2    | PAINT                       | DOWN                            | EXTERIOR PAINT                         | PERMANENT HOME           | BM 211-48 STONE HARBOR                                   | N/A   |   |
| P-3    | PAINT                       | METAL CORNERS                   | EXTERIOR PAINT                         | PERMANENT HOME           | 2122-18 GREY-KING-GLOOM                                  | N/A   |   |
| SPF-1  | VULNERANT SYSTEM            | ALUMINUM SUSTAINMENT SYSTEM     | ROOF OF THE WINDUPPER SYSTEM IN FINISH | LOCAL SUPPLIER           | BLACK WHITE  | VARIABLE  |   |

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**BURGER KING PROTOTYPING MATERIALS & FINISH SCHEDULE**

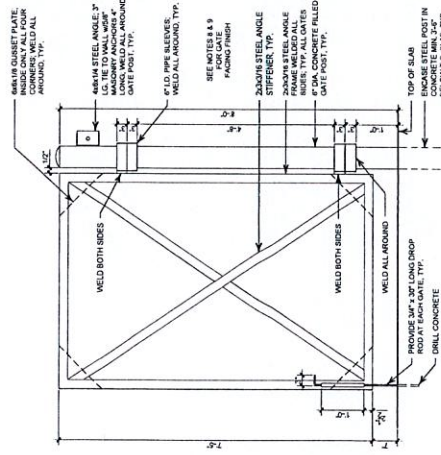
**ISSUE**  
6/29/23  
LAUER-MANCUSO  
ASSOCIATES ARCHITECTS

**BURGER KING**  
301-307 W MAIN STREET  
BATAVIA, NEW YORK  
CARROLLS, LLC  
SYRACUSE, NEW YORK

**EXTERIOR**  
**FINISH SCHEDULE**

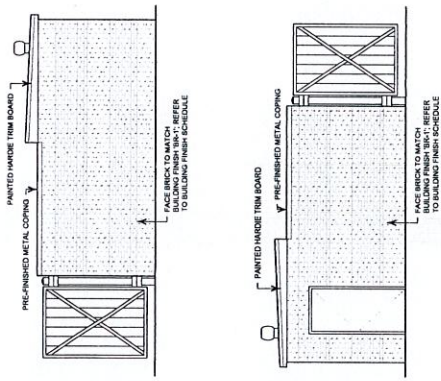
**LAUER-MANCUSO**  
SUSAN M. LAUER  
ARCHITECTS  
1000 RIVER ST 8th FL  
BATAVIA, N.Y. 14228  
(716) 837-0833

Drawn By: **PJM**  
Checked By: **PJM**  
Job Number: **A-2.2**

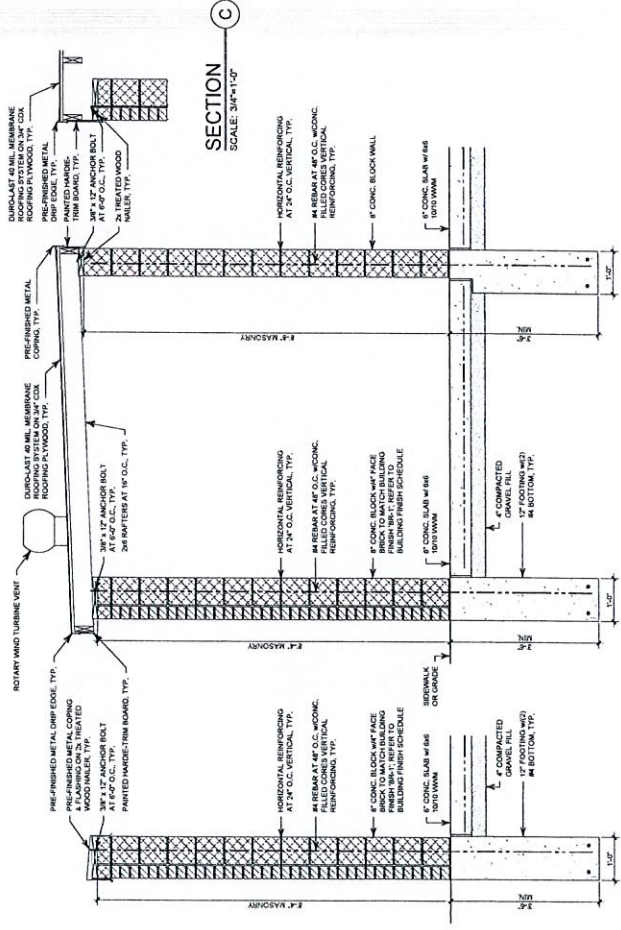
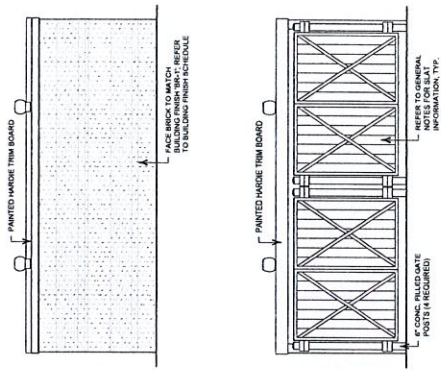


GATE ELEVATION  
SCALE: 3/4"=1'-0"

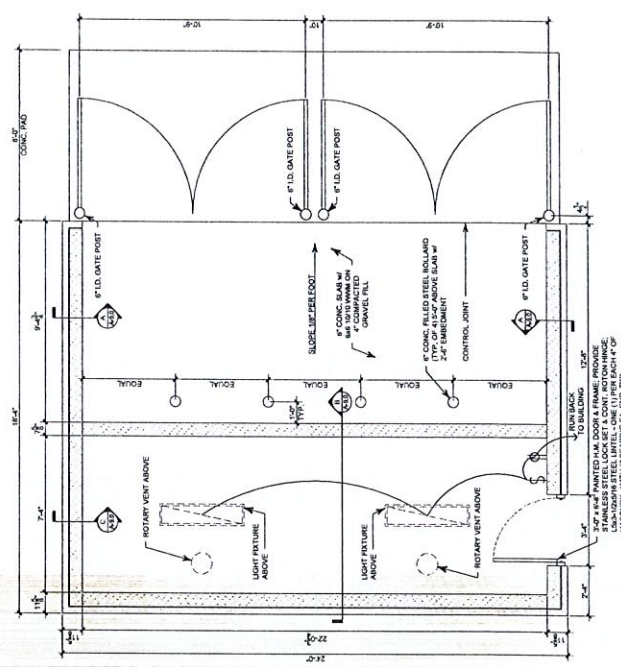
- GENERAL NOTES:**
- REFER TO SITE PLAN FOR LOCATIONS AND DIMENSIONS.
  - TRASH ENCLOSURE MUST CONFORM TO BUILDING SETBACKS; REFER TO CIVIL DRAWINGS AND LOCAL CODES.
  - TRASH ENCLOSURE MUST CONFORM TO ALL CITY, STATE AND LOCAL CODES.
  - SLAB TO SLOPE 1/4" FROM BACK TO FRONT FOR DRAINAGE. IF FLOOR DRAIN IS REQUIRED, REFER TO MECHANICAL DRAWINGS FOR PERIMETER OF SLAB.
  - LOCATE PERSONAL ACCESS SO THAT IT IS MOST ACCESSIBLE FROM REAR DOOR OF ENCLOSURE.
  - CONCRETE SHALL BE 3000 PSI COMPACTED IN PLACE.
  - ALL STEEL FINISHES TO BE PAINTED TO MATCH BUILDING FINISH SCHEDULE.
  - ALL GATE BLATS TO COGNATE METAL PANELING; POWER COATED DARK GRAY. FINISH TO MATCH BUILDING FINISH SCHEDULE AND COLOR.
  - ALL GATES TO BE THRLABORED TO STEEL AND WELDED TO STEEL.
  - ALL GATES TO BE GALVANIZED BOLTS AND WELDS.



TRASH ENCLOSURE ELEVATIONS  
SCALE: 1/4"=1'-0"



SECTION A  
SCALE: 3/4"=1'-0"



TRASH ENCLOSURE PLAN  
SCALE: 3/8"=1'-0"

SECTION C  
SCALE: 3/4"=1'-0"

REVISIONS

| No. | Description                   | Date    |
|-----|-------------------------------|---------|
| 1   | ISSUED FOR SKETCH PLAN REVIEW | 6/29/23 |

**BURGER KING**  
301-307 W MAIN STREET  
BATAVIA, NEW YORK

**TRASH ENCLOSURE DETAILS**



**LAUER-MANCUSO ARCHITECTS**  
1030 RIVER LAKE BOULEVARD  
BATAVIA, N.Y. 14228  
(716) 837-8833

1886923  
Checked By: P.M.  
Job Number: 25524

**A-9.0**

Site Plan Review Fee of \$250



WARNING: THE FACE OF THIS DOCUMENT HAS A BLUE BACKGROUND - SEE [ ] FOR ADDITIONAL SECURITY FEATURES ON BACK.

Carrols LLC  
968 JAMES ST  
SYRACUSE NY 13203

M&T Bank  
Syracuse NY 13202

50-7063/2213

000586888

Date

10/19/2023

Pay Amount

\$250.00\*\*\*


Pay

\*\*\*TWO HUNDRED FIFTY AND XX/100 DOLLAR \*\*\*

To The  
Order Of

CITY OF BATAVIA  
ONE BATAVIA CITY CENTER  
BATAVIA NY 14020

Check Void After 90 Days



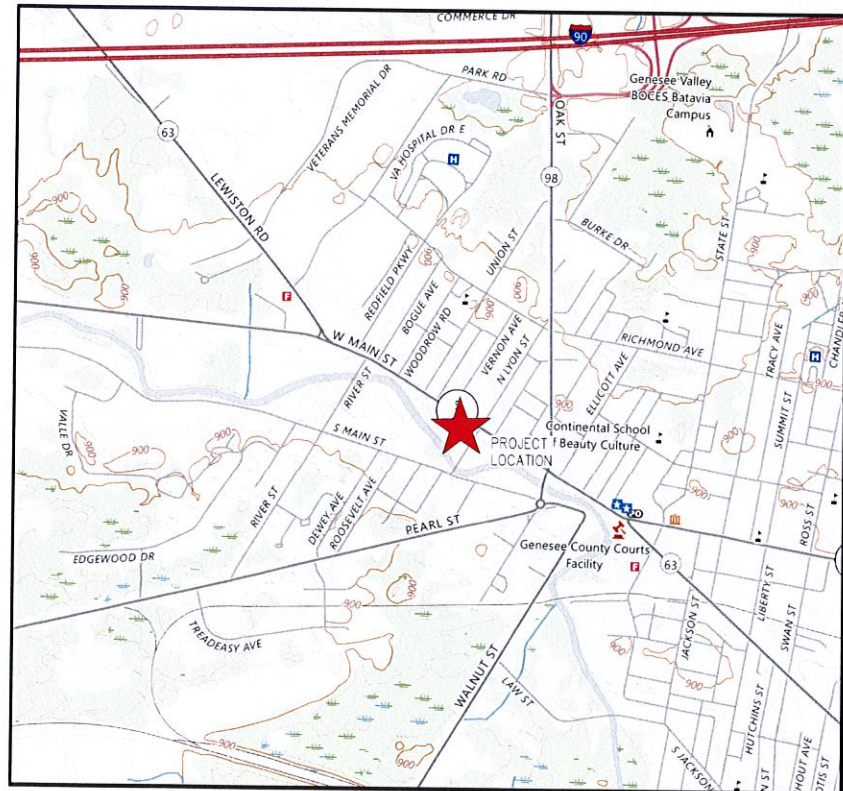
Authorized Signature

⑈000586888⑈ ⑆221370632⑆ 61000000147026⑈

# Burger King Redevelopment

Carrols, LLC

West Corner of West Main St and South Lyon St  
City of Batavia, NY



PROJECT LOCATION MAP  
N.T.S.

PROJECT AREA INCLUDES TAX PARCELS:  
84.039-1-2 (#307 W. MAIN ST.)  
84.039-1-4 (#301-305 W. MAIN ST.)  
84.039-1-5 (#4 S. LYON ST.)  
84.039-1-6 (#6 S. LYON ST.-PARTIAL)

| Sheet List Table |                                      |
|------------------|--------------------------------------|
| Sheet Number     | Sheet Title                          |
| 00               | Cover                                |
| 01               | Boundary Survey                      |
| 02               | Demolition Plan                      |
| 03               | Site Plan                            |
| 04               | Site Details                         |
| 05               | Utility Plan                         |
| 06               | Utility Details                      |
| 07               | Paving and Drainage Plan             |
| 08               | Paving and Drainage Details          |
| 09               | Paving and Drainage Details          |
| 10               | Grading Plan                         |
| 11               | Erosion and Sediment Control Plan    |
| 12               | Erosion and Sediment Control Details |
| 13               | Erosion and Sediment Control Notes   |
| LA-01            | Landscape Plan and Details           |
| LI-01            | Photometric Plan                     |
| A-2.0            | Elevations                           |
| A-2.1            | Elevations                           |
| A-2.2            | Exterior Finish Schedule             |
| A-9.0            | Trash Enclosure Details              |

CHAIRMAN OF THE PLANNING AND DEVELOPMENT COMMITTEE \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

October 25, 2023

THOMAS J. WOLANSKI, P.E. \_\_\_\_\_ DATE \_\_\_\_\_



WARNING: ALTERATIONS TO THIS DOCUMENT NOT CONFORMING TO SECTION 1709 SUBSECTION 2 STATE EDUCATION LAW ARE PROHIBITED

**GPI** Engineering Design Planning Construction Management  
(716) 633-4844 GPINET.COM

Greenman - Pedersen, Inc.  
4950 Genesee Street, Suite 100  
Buffalo, NY, 14225

PREPARED FOR  
Carrols, LLC  
968 James Street  
Syracuse, NY 13203

WNY-2300083.00

October 26, 2023

SHEET NO.

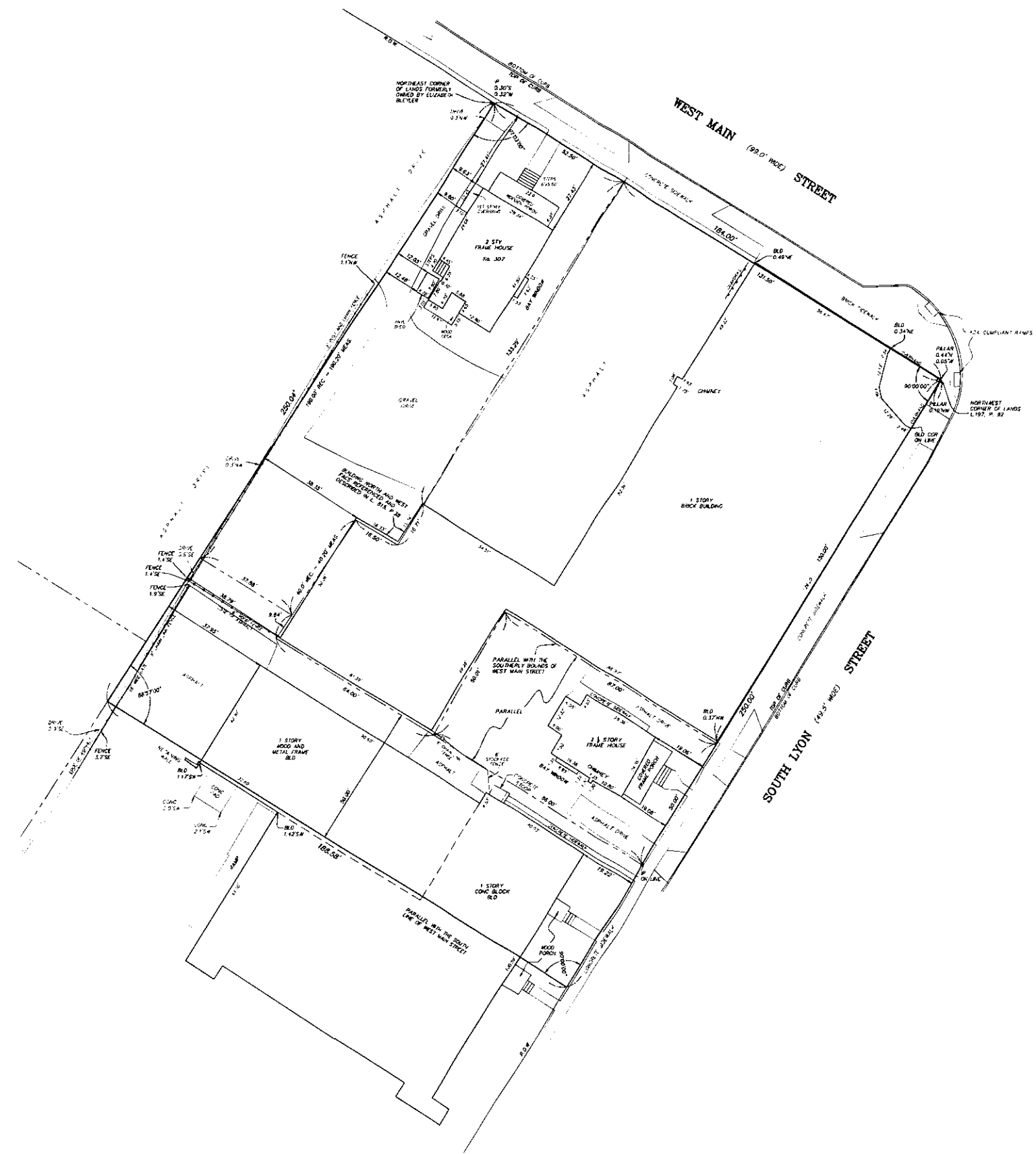
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WARNING: ALTERATIONS TO THIS DOCUMENT NOT CONFORMING TO SECTION 1709 SUBSECTION 2 STATE EDUCATION LAW ARE PROHIBITED

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.  
 \* SET OR EX. 5/8" REBAR

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

NOTE: PARCEL SHOWN IS THE NEW LOT CREATED BY THE MERGERS OF PARCELS 84.39-1-2, 84.39-1-3, 84.39-1-4, 84.39-1-5, AND PART OF 84.39-1-6 INTO ONE NEW LOT.



| DATE | REVISION/TYPE |
|------|---------------|
|      |               |
|      |               |
|      |               |
|      |               |

SURVEY OF  
 PART OF LOT 70  
 CITY OF BATAVIA, GENESEE COUNTY, NEW YORK

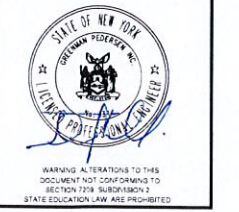
**GPI** ENGINEERING, LANDSCAPE ARCHITECTURE & SURVEYING, LLP  
 ENGINEERING • SURVEYING • LANDSCAPE ARCHITECTURE  
 1480 GARDNER STREET, SUITE 400  
 BUFFALO, NEW YORK 14225  
 (716) 633-1844 FAX 633-4949

Job No. WNY-2300083.00 Date: AUGUST 17, 2023  
 Scale: 1" = 20' TAX No.





**Burger King Redevelopment**  
 West Corner of West Main St and South Lyon St  
 City of Batavia, NY

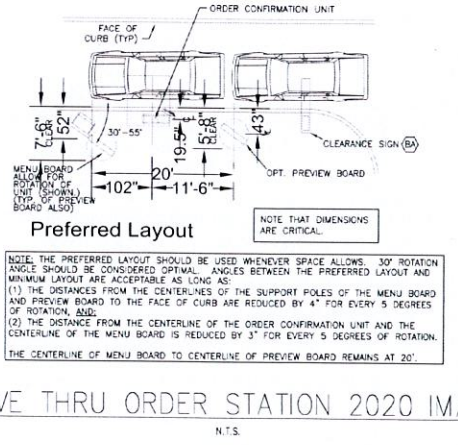
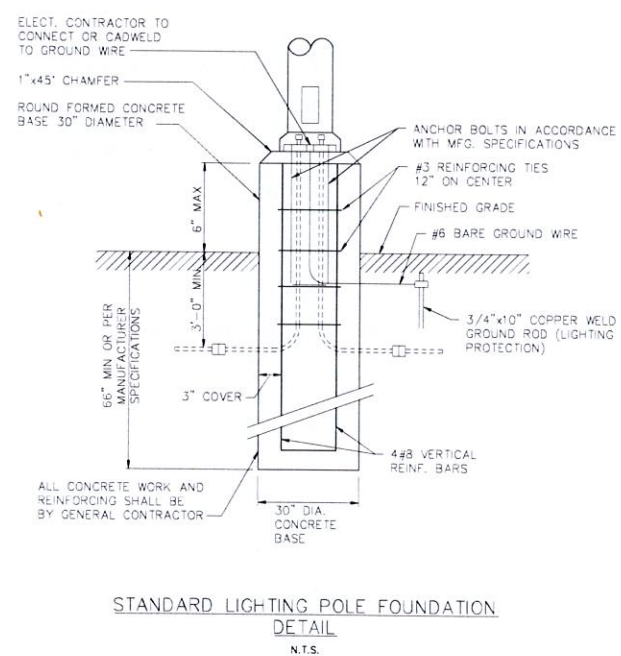
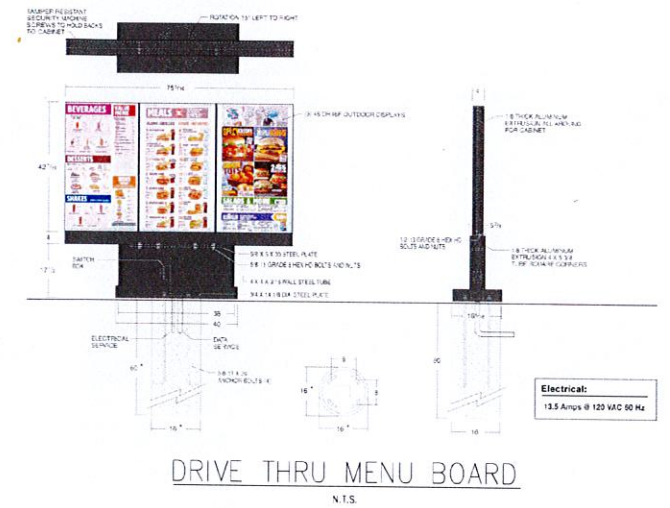
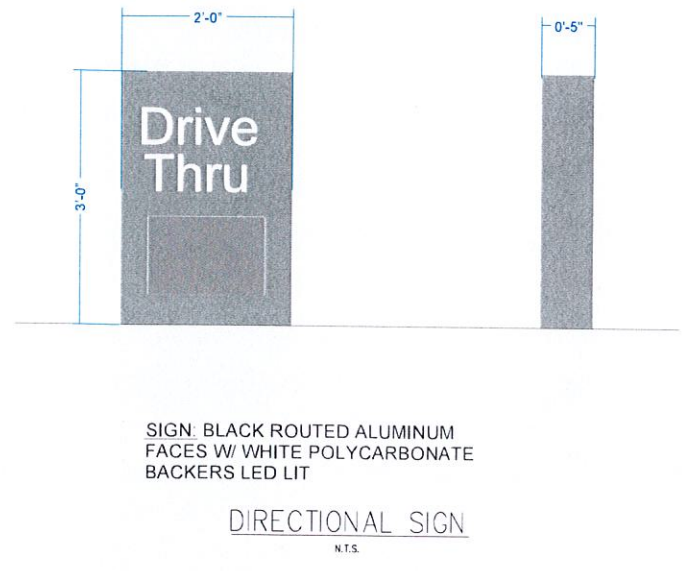
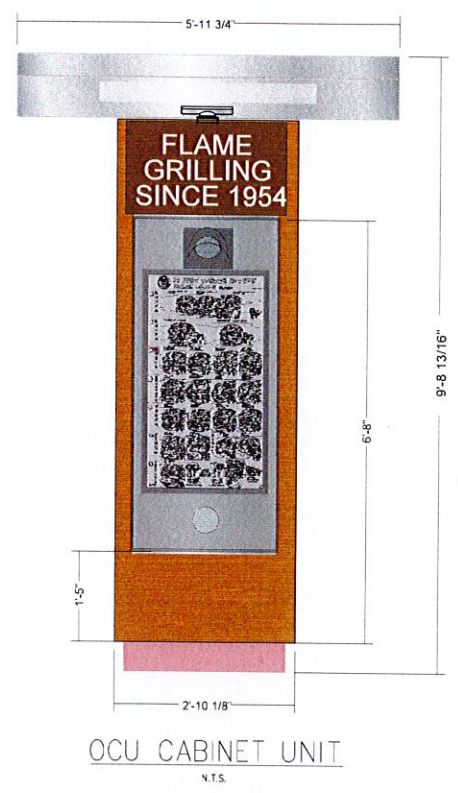
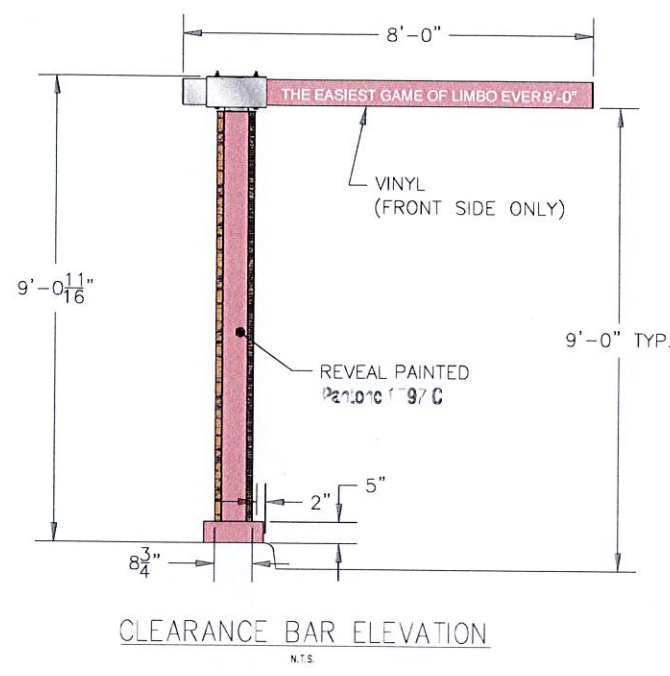


| REVISIONS |          |
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| NO.       | REVISION |
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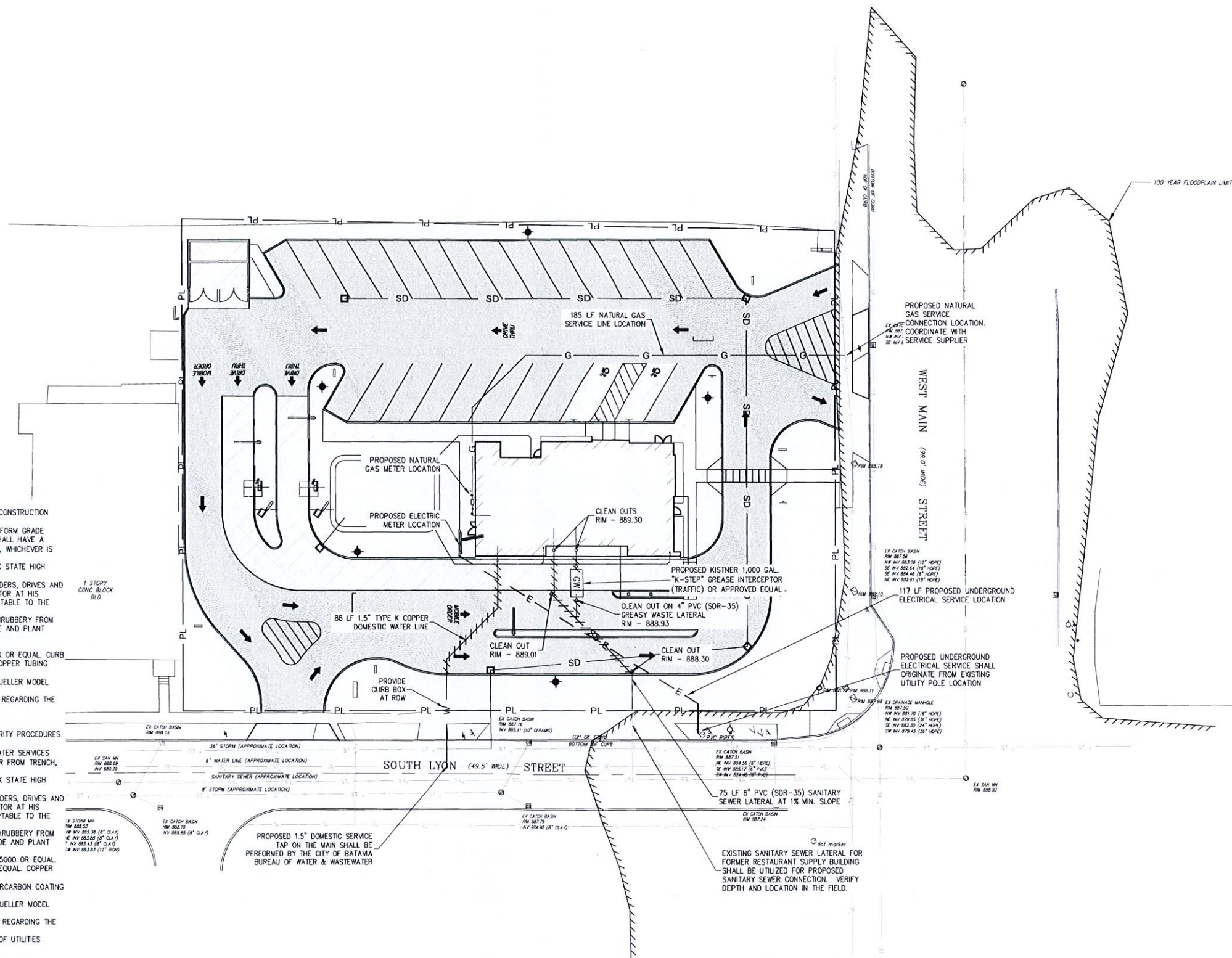
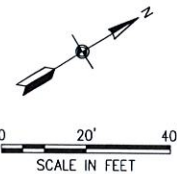
October 26, 2023  
 DRAWN/DESIGN BY THM CHECKED BY TJW

**Site Details**

SCALE: NONE  
 WNY-2300083.00  
 04



WNY-2300083.00 BURGER KING - 301 MAIN, NY (D&D) Design: Pina/Lok Site Details.dwg Thursday, 26 October 2023 9:00AM



- GENERAL NOTES AND SPECIFICATIONS FOR WATERLINE CONSTRUCTION**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BUFFALO PROCEDURES AND CONSTRUCTION SPECIFICATIONS.
  2. ALL WATERLINES SHALL BE CONSTRUCTED TO HAVE A MINIMUM OF 5'-0" COVER AT A UNIFORM GRADE OVER THE ENTIRE PROJECT TO AVOID UNNECESSARY HIGH OR LOW POINTS. WATERLINES SHALL HAVE A MINIMUM OF 2'-0" CLEARANCE BELOW EXISTING CULVERTS OR 5'-0" COVER FROM TRENCH, WHICHEVER IS GREATER.
  3. ALL PROVISIONS OF THE NEW YORK STATE INDUSTRIAL CODE RULE 53 AND THE NEW YORK STATE HIGH VOLTAGE PROXIMITY ACT MUST BE FOLLOWED.
  4. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS TO EXISTING PAVEMENT, SHOULDERS, DRIVES AND STORM DRAINAGE FACILITIES SHALL BE REPAIRED OR REPLACED IN KIND BY THE CONTRACTOR AT HIS EXPENSE. ALL REPORTS OR REPLACEMENTS MADE BY THE CONTRACTOR SHALL BE ACCEPTABLE TO THE OWNER OR AGENCY HAVING JURISDICTION.
  5. THE CONTRACTOR SHALL TAKE ANY PRECAUTIONS NECESSARY TO PROTECT TREES AND SHRUBBERY FROM DAMAGE, UNLESS SPECIFICALLY ORDERED FOR CLEARING. THE CONTRACTOR SHALL PROVIDE AND PLANT REPLACEMENT TREES OR SHRUBBERY AT HIS EXPENSE.
  6. CITY OF BUFFALO SHALL OPERATE ALL VALVES OF EXISTING SYSTEMS.
  7. CORPORATION STOPS SHALL CONFORM TO AWWA C-800 AND SHALL BE MUELLER H-15000 OR EQUAL CURB STOPS SHALL CONFORM TO ASTM B-62 AND SHALL BE MUELLER H-15204 OR EQUAL COPPER TUBING SHALL BE TYPE "K" AND CONFORM TO ASTM B-88.
  8. CURB BOX SHALL BE CAST IRON COMPLETE WITH LID AND PLUG AS MANUFACTURED BY MUELLER MODEL H-10334.
  9. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES REGARDING THE PREVENTION AND ABATEMENT OF SOIL EROSION, SEDIMENTATION AND WATER POLLUTION.

- WATER SERVICE NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BUFFALO WATER AUTHORITY PROCEDURES AND CONSTRUCTION SPECIFICATIONS.
  2. ALL WATER SERVICES SHALL BE CONSTRUCTED TO HAVE A MINIMUM OF 5'-0" COVER. WATER SERVICES SHALL HAVE A MINIMUM OF 2'-0" CLEARANCE BELOW EXISTING CULVERTS OR 5'-0" COVER FROM TRENCH, WHICHEVER IS GREATER.
  3. ALL PROVISIONS OF THE NEW YORK STATE INDUSTRIAL CODE RULE 53 AND THE NEW YORK STATE HIGH VOLTAGE PROXIMITY ACT MUST BE FOLLOWED.
  4. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS TO EXISTING PAVEMENT, SHOULDERS, DRIVES AND STORM DRAINAGE FACILITIES SHALL BE REPAIRED OR REPLACED IN KIND BY THE CONTRACTOR AT HIS EXPENSE. ALL REPORTS OR REPLACEMENTS MADE BY THE CONTRACTOR SHALL BE ACCEPTABLE TO THE OWNER OR AGENCY HAVING JURISDICTION.
  5. THE CONTRACTOR SHALL TAKE ANY PRECAUTIONS NECESSARY TO PROTECT TREES AND SHRUBBERY FROM DAMAGE, UNLESS SPECIFICALLY ORDERED FOR CLEARING. THE CONTRACTOR SHALL PROVIDE AND PLANT REPLACEMENT TREES OR SHRUBBERY AT HIS EXPENSE.
  6. CORPORATION STOPS SHALL CONFORM TO AWWA C-800-66 AND SHALL BE MUELLER H-15000 OR EQUAL CURB STOPS SHALL CONFORM TO ASTM B-62-62 AND SHALL BE MUELLER H-15204 OR EQUAL COPPER TUBING SHALL BE TYPE "K" AND CONFORM TO ASTM B-88-62.
  7. ALL CLAMPING NUTS AND BOLTS SHALL BE HIGH STRENGTH, LOW ALLOY STEEL WITH FLOURCARBON COATING OR TYPE 304 STAINLESS STEEL.
  8. CURB BOX SHALL BE CAST IRON COMPLETE WITH LID AND PLUG AS MANUFACTURED BY MUELLER MODEL H-10334.
  9. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES REGARDING THE PREVENTION AND ABATEMENT OF SOIL EROSION, SEDIMENTATION AND WATER POLLUTION.
  10. CITY OF BUFFALO - HIGHWAY WORK PERMIT SHALL BE OBTAINED BEFORE INSTALLATION OF UTILITIES WITHIN CITY OF BUFFALO R.O.W.

- PRIVATE 6 INCH SANITARY LATERAL CONSTRUCTION**
1. THE CONTRACTOR IS ADVISED A TRENCH SHIELD AND/OR SHORING DESIGNED IN ACCORDANCE WITH OSHA STANDARDS AND SHALL BE USED IN ALL OPEN TRENCH EXCAVATIONS.
  2. ANY CONTRACTOR AND/OR PLUMBER PERFORMING WORK IN A CONFINED SPACE (I.E. MANHOLES, WETWELLS, CHAMBERS) MUST CERTIFY TO THE CITY THAT THEY HAVE THEIR OWN CONFINED SPACE ENTRY PROGRAM THAT MEETS OR EXCEEDS OSHA'S REGULATIONS. CERTIFICATION MUST BE NOTARIZED BY A NOTARY PUBLIC.
  3. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUFFALO SEWER AUTHORITY.
  4. IF ANY PROPOSED SEWER LATER RUNS UNDER PAVED AREA AND HAS LESS THAN FOUR (4) FEET OF COVER, THEN CONCRETE ENCASUREMENT IS REQUIRED. IF ANY PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS MORE THAN FOUR (4) FEET OF COVER, THE "SELECT FILL REQUIRED".
  5. THE CONTRACTOR MUST CONTACT THE CITY OFFICE 24 HOURS IN ADVANCE OF CONSTRUCTION.
  6. VENTS MUST BE INSTALLED SIX (6) INCHES ABOVE GRADE IF IN A GRASSY AREA WITH A MUSHROOM CAP.
  7. CLEANOUTS (C.O.) ARE REQUIRED EVERY ONE HUNDRED FEET (100') AND AT CHANGE OF DIRECTION.

- NOTES:**
1. ALL CONSTRUCTION TO CONFORM TO CITY OF BATAVIA CONSTRUCTION SPECIFICATIONS AND DETAILS.
  2. ALL WATERLINE SHALL BE INSTALLED IN ACCORDANCE WITH THE 10 STATES STANDARDS STANDARDS AND SPECIFICATIONS.
  3. ##### BACKFILL WITH MECHANICALLY TAMPED SELECT FILL IN MAX 6" LIFTS.
  4. CONTRACTORS TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  5. WATERLINE SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.0' FROM PROPOSED GRADE.
  6. WHERE THE PROPOSED WATERLINE CROSSES THE PROPOSED OR EXISTING SEWERS AN 18" CLEARANCE (MINIMUM) SHALL BE MAINTAINED.
  7. PIPING SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH A.W.W.A. C-805 FOR P.V.C. PIPE WITH INSTALLATION AND TESTING AS PER A.W.W.A. MANUAL M-2.3.

**GPI** Engineering  
Design  
Planning  
Construction Management  
(716) 633-4444  
GPI.NET.COM  
Greenman - Pedersen, Inc.  
4950 Genesee Street, Suite 100  
Buffalo, NY, 14225

PREPARED FOR  
Carrols, LLC  
968 James Street  
Syracuse, NY 13203

**Burger King Redevelopment**  
West Corner of West Main St and South Lyon St  
City of Batavia, NY



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October 26, 2023  
DRAWN/DESIGN BY: THM  
CHECKED BY: TJW

**Utility Plan**

SCALE: 1" = 20'

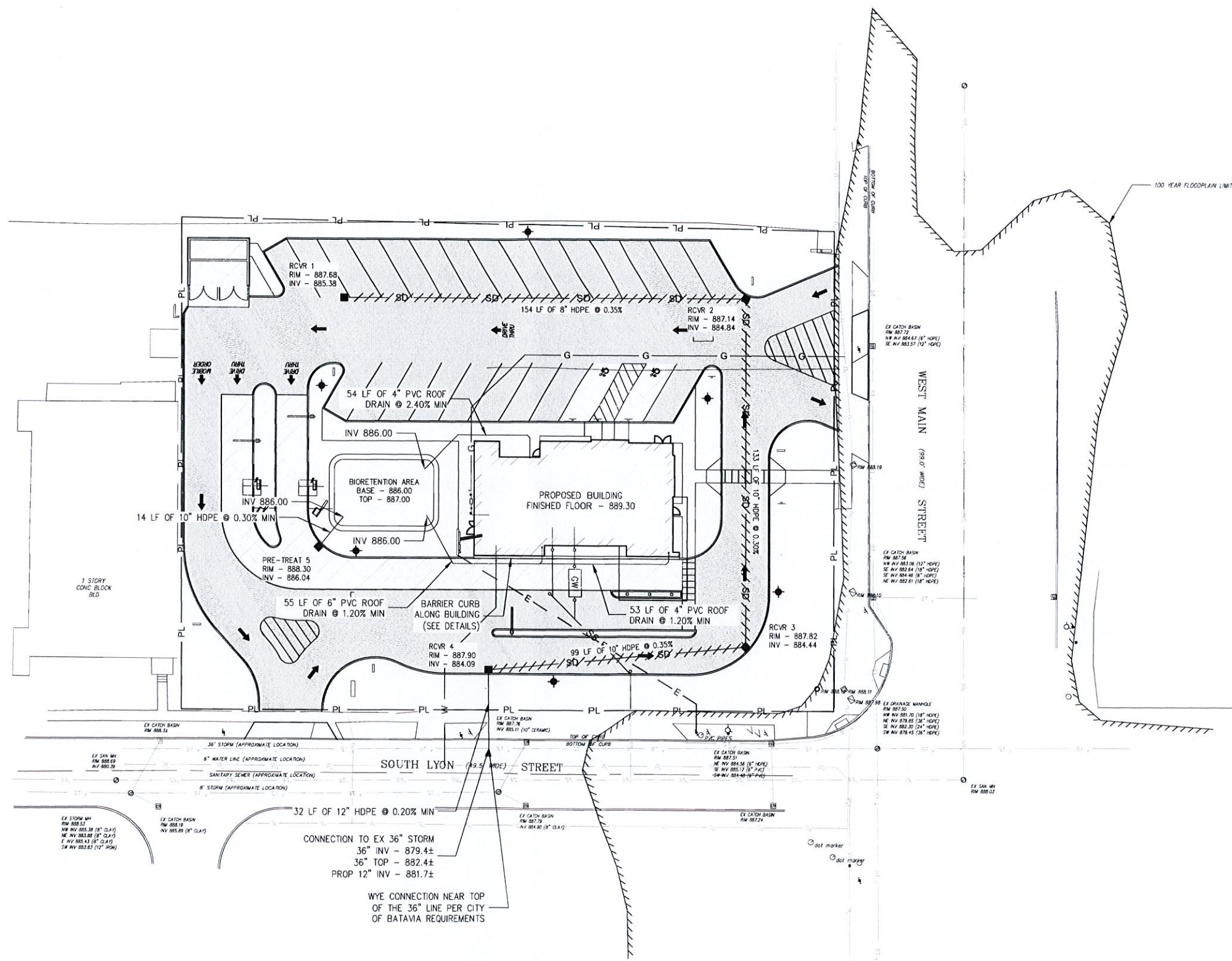
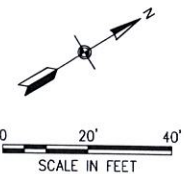
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- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE
- ASPHALT PAVEMENT

**NOTES:**

1. ALL CONSTRUCTION TO CONFORM TO CITY OF BUFFALO CONSTRUCTION SPECIFICATIONS AND DETAILS
2. //// BACKFILL WITH MECHANICALLY TAMPED SELECT MATERIAL IN MAX 6" LIFTS. (95% COMP. - MAX DENSITY PER ASTM D1557)
3. HIGH DENSITY POLYETHYLENE (H.D.P.E.) SHALL MEET AASHTO M294 SPECS (N-12).
4. CONTRACTORS TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
5. TOP ELEVATIONS SHOWN FOR BIORETENTION AREAS ARE MINIMUMS. SEE GRADING PLAN FOR ADDITIONAL INFORMATION.

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**Burger King Redevelopment**  
West Corner of West Main St and South Lyon St  
City of Batavia, NY



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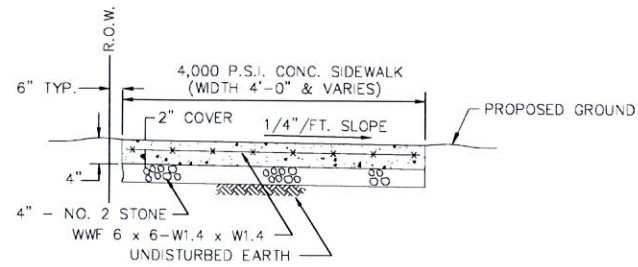
**Paving and Drainage Plan**

SCALE: 1" = 20'

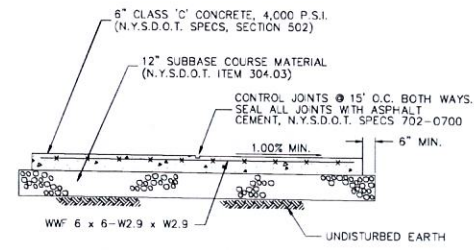
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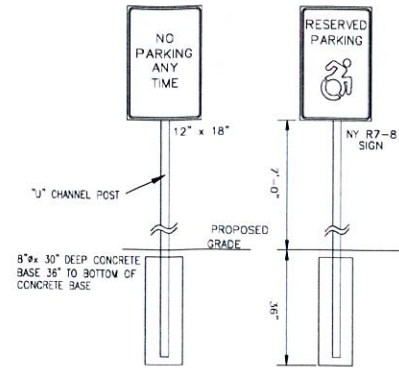




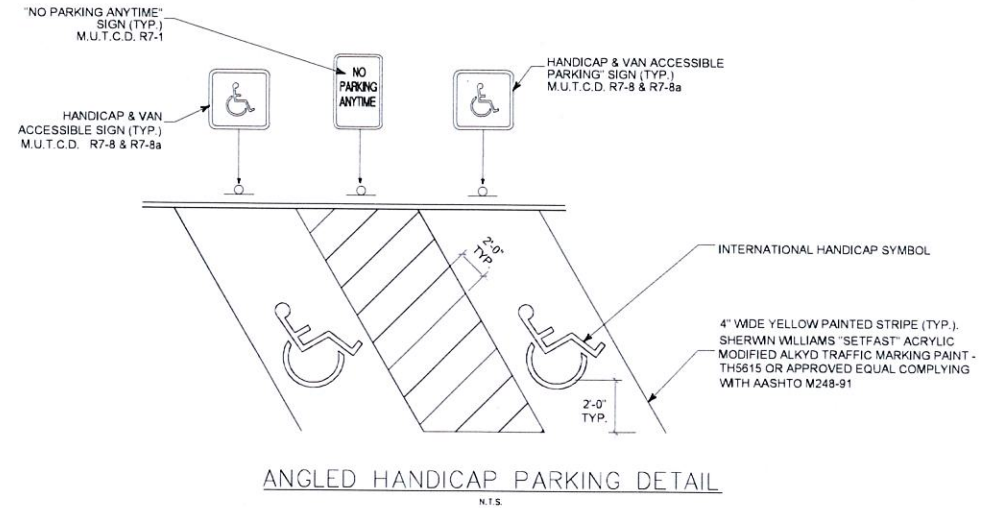
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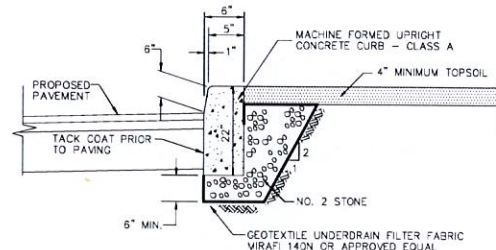
HEAVY DUTY CONCRETE SECTION  
N.T.S.



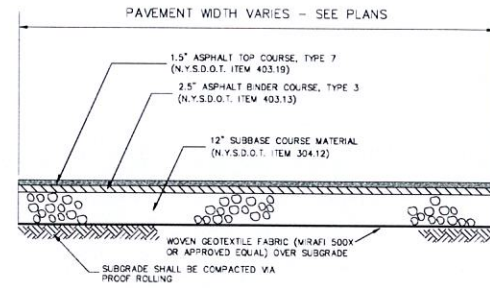
PARKING SIGN  
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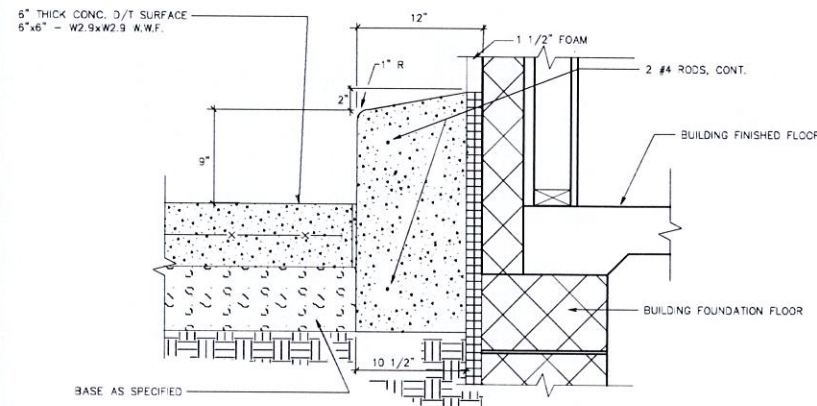
ANGLED HANDICAP PARKING DETAIL  
N.T.S.



MACHINE FORMED  
UPRIGHT CONCRETE CURB DETAIL  
N.T.S.



LIGHT DUTY PAVEMENT SECTION  
N.T.S.



9" BARRIER CURB DETAIL  
N.T.S.

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**Burger King Redevelopment**  
West Corner of West Main St and South Lyon St  
City of Batavia, NY



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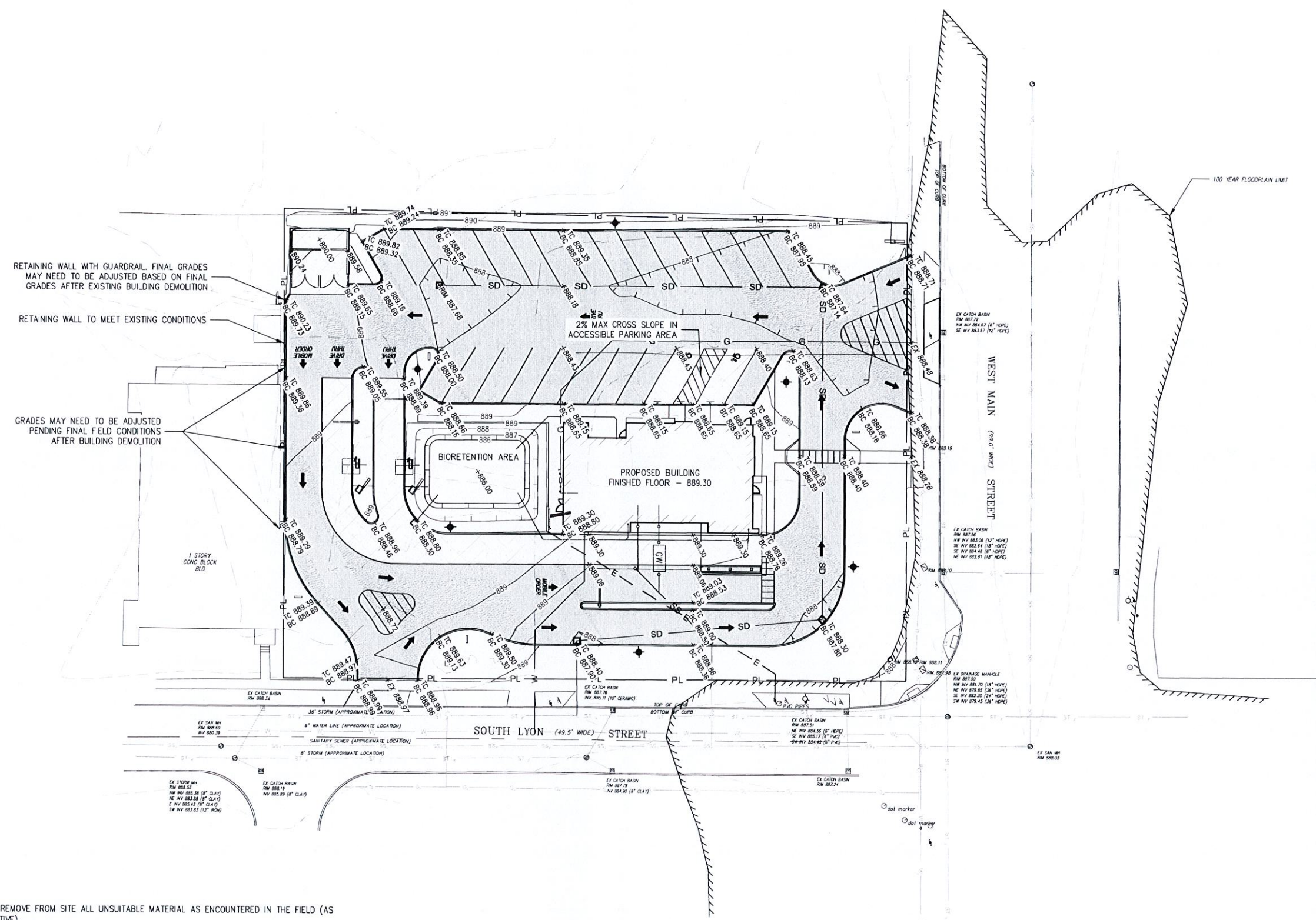
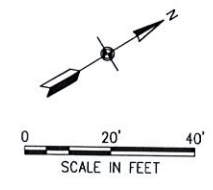
**Burger King Redevelopment**  
West Corner of West Main St and South Lyon St  
City of Batavia, NY



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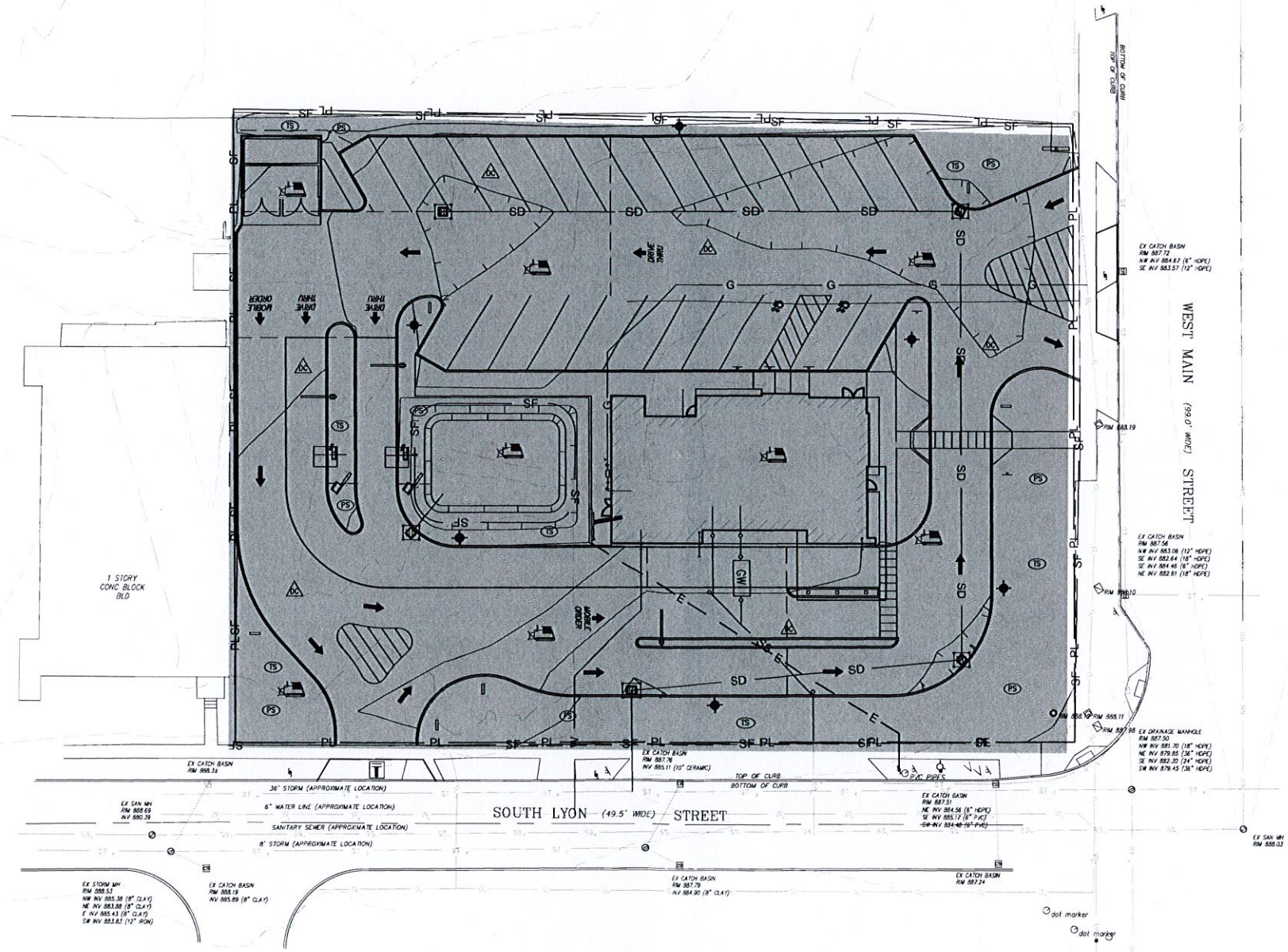
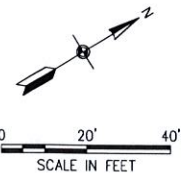
**Grading Plan**  
SCALE: 1" = 20'  
WNY-2300083.00  
10



- LEGEND**
- TC - TOP OF CURB
  - BC - BOTTOM OF CURB
  - RM - RIM OF STRUCTURE
  - EX - EXISTING GRADE

- EARTHWORK, COMPACTION AND GRADING NOTES**
1. AFTER STRIPPING AND STOCKPILING OF TOPSOIL, REMOVE FROM SITE ALL UNSUITABLE MATERIAL AS ENCOUNTERED IN THE FIELD (AS DIRECTED BY THE ENGINEER OR HIS REPRESENTATIVE).
  2. PRIOR TO FILL OPERATIONS, ALL AREAS WITHIN BUILDING AND PAVEMENT INFLUENCE THAT ARE TO RECEIVE FILL SHALL BE PROOFROLLED, AND ALL UNSTABLE MATERIAL SHALL BE REMOVED OR STABILIZED IN PLACE, AND THEN COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY TO A MINIMUM DEPTH OF TWELVE (12) INCHES, AS DETERMINED BY ASTM D-1557.
  3. IMPORTED FILL FROM OFF-SITE BORROW PITS MUST BE MATERIAL SIMILAR IN CONTENT TO NATIVE MATERIAL. ALL IMPORTED FILL MATERIAL MUST BE TESTED AND HAVE THE APPROVALS OF THE CITY ENGINEER.
  4. FILL SHALL BE DEPOSITED IN EIGHT (8) INCH LOOSE LAYERS MAXIMUM, EXCEPT FILL WITHIN LANDSCAPED AREAS WHICH MAY BE DEPOSITED IN TWELVE (12) INCH LOOSE LAYERS MAXIMUM. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY ASTM D-1557 (90% IN LANDSCAPED AREAS) AT ITS OPTIMUM MOISTURE CONTENT  $\pm 2\%$ .
  5. THE PLACEMENT AND COMPACTION OF BOTH FILL AND SUBBASE MATERIAL SHALL BE SUPERVISED, INSPECTED AND TESTED BY THE CITY ON-SITE GEOTECHNICAL REPRESENTATIVE TO THE SATISFACTION OF THE ENGINEER. TOPSOIL SHALL BE REPLACED NO LESS THAN 4" THICK AND TURF SHALL BE ESTABLISHED IN THE RIGHT-OF-WAY.

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**LEGEND**

|  |  |
|--|--|
| CHECK DAM  |  |
| FILTER FABRIC/<br>FILTER BAG DROP INLET PROTECTION |  |
| LAND GRADING                                       |  |
| SILT FENCE/SILT SOCK                               |  |
| TEMPORARY SEEDING                                  |  |
| STABILIZED CONSTRUCTION ENTRANCE                   |  |
| PERMANENT SEEDING                                  |  |
| DUST CONTROL                                       |  |
| INLET/OUTLET PROTECTION                            |  |

**LEGEND**

INDICATES MIN. AREA TO BE STRIPPED, GRADED & WHERE APPLICABLE, EITHER SEED, SIDEWALK OR PAVED (TYP.)

**NOTE:**  
ALL TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CURRENT NEW YORK STATE STANDARD AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

**GPI** Engineering  
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Construction Management  
1161 132-1344  
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Greenman - Pedersen, Inc.  
4950 Gansevoort Street, Suite 100  
Buffalo, NY 14225

PREPARED FOR  
Carrols, LLC  
968 James Street  
Syracuse, NY 13203

**Burger King Redevelopment**  
West Corner of West Main St and South Lyon St  
City of Batavia, NY



**REVISIONS**

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October 26, 2023  
DRAWN/DESIGN BY: THM  
CHECKED BY: TJW

**Erosion and Sediment Control Plan**

SCALE: 1" = 20'  
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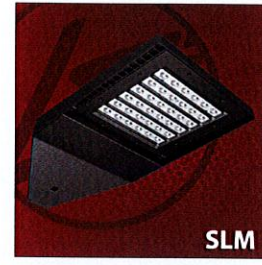
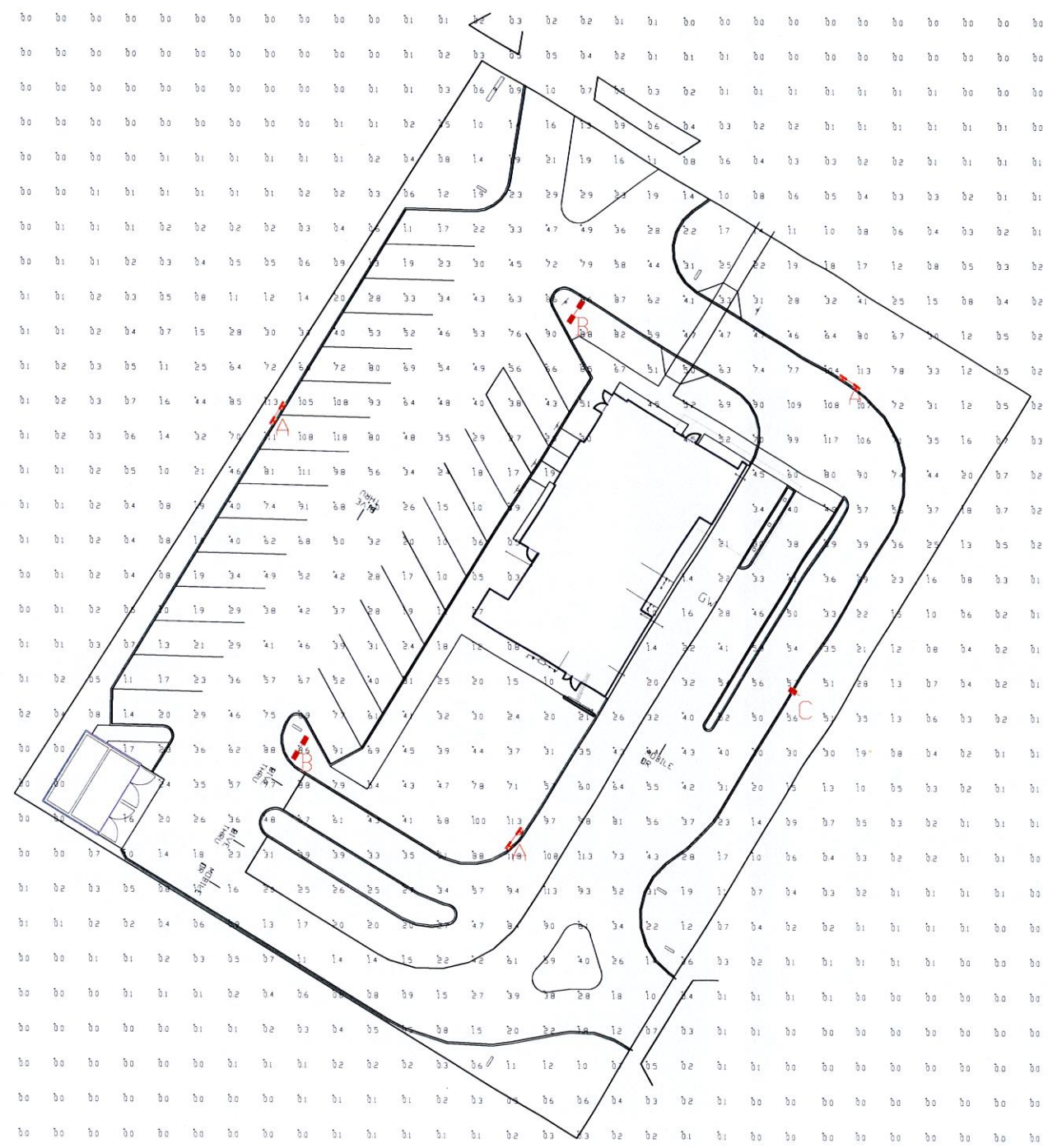
N:\2023\WNY-2300083.00\_BURGER KING - BATAVIA, NY\CAD\Design Plans\11 Erosion and Sediment Control Plan.dwg Wednesday, 25 October 2023 4:04PM











| Calculation Summary        |             |       |     |      |     |         |         |
|----------------------------|-------------|-------|-----|------|-----|---------|---------|
| Label                      | CalcType    | Units | Avg | Max  | Min | Avg/Min | Max/Min |
| CALCULATING POINTS @ GRADE | Illuminance | Fc    | 205 | 11.8 | 0.0 | NA      | NA      |
| PARKING & DRIVING SUMMARY  | Illuminance | Fc    | 444 | 11.8 | 0.5 | 888     | 2360    |

| Luminaire Schedule |     |       |             |  |                  |       |       |                |           |
|--------------------|-----|-------|-------------|--|------------------|-------|-------|----------------|-----------|
| Symbol             | Qty | Label | Arrangement | Description                                    | Mounting Height  | LLD   | LLF   | Ann Lum Lumens | Ann Watts |
|                    | 3   | A     | D180° 2RTD  | SLM-LED-18L-SIL-50-70CRI-(1)FT-L(1)FT-R-D180RT | 18" POLE+2" BASE | 1.000 | 1.000 | 37808          | 270       |
|                    | 2   | B     | D180°       | SLM-LED-18L-SIL-5W-50-70CRI-D180               | 18" POLE+2" BASE | 1.000 | 1.000 | 36996          | 270       |
|                    | 1   | C     | Single      | SLM-LED-18L-SIL-FT-50-70CRI-SINGLE             | 18" POLE+2" BASE | 1.000 | 1.000 | 18904          | 135       |

**PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LEDs and other variable field conditions. Calculations do not include obstructions such as awnings, curbs, landscaping, or any other architectural elements unless noted. Future nomenclature notes does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts  
Total Watts = 1485



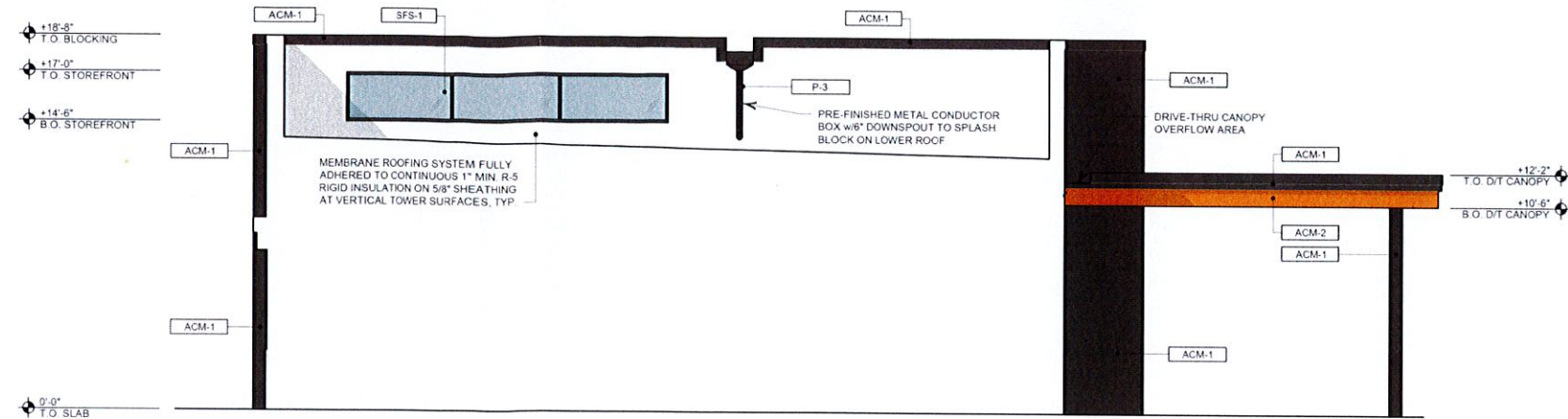

LIGHTING PROPOSAL LD-159017

BURGER KING  
301-107 W MAIN STREET  
BATAVIANTN

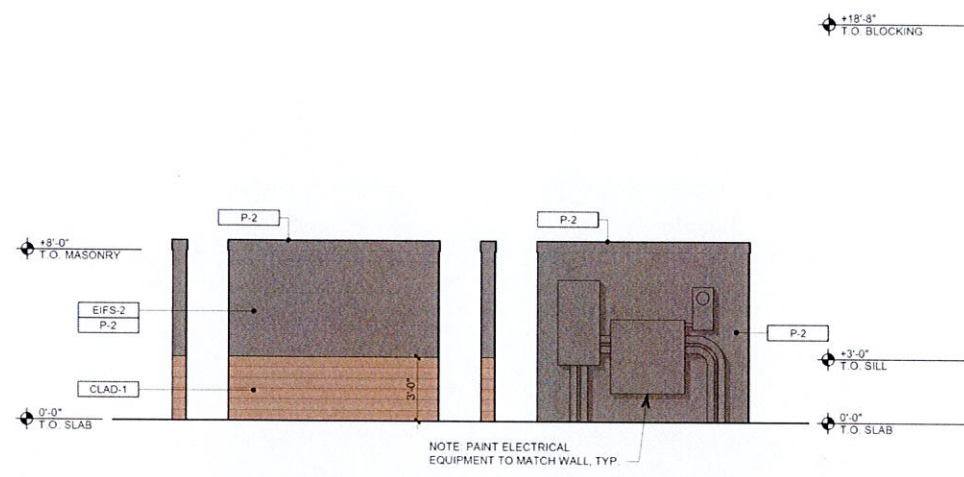
BY: SHW DATE: 10/24/23 REV: SHEET: 1 OF: 1

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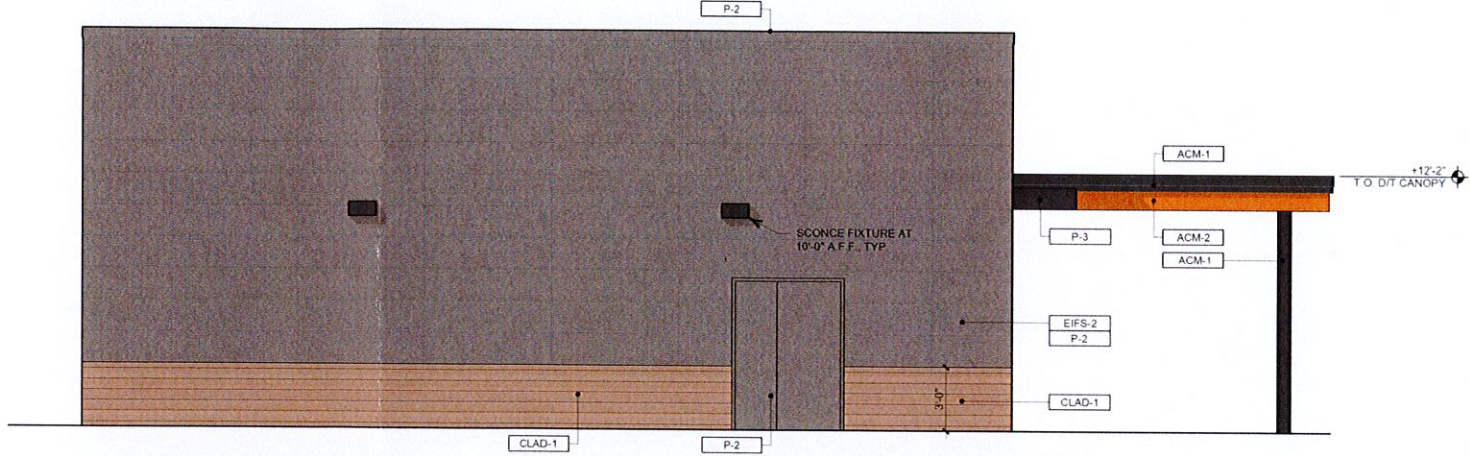




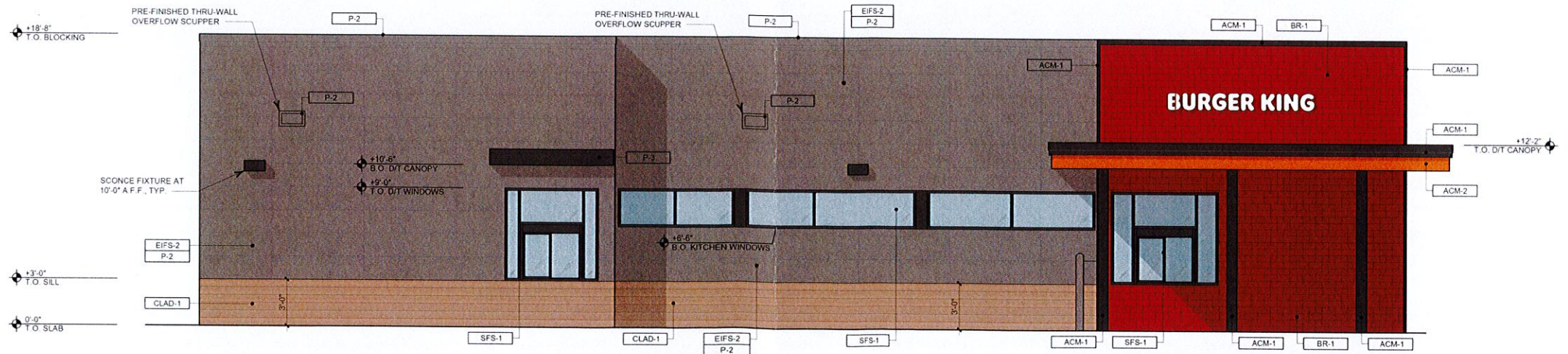
**ELEVATION** 5  
SCALE: 1/4"=1'-0"



**SCREEN WALL ELEVATIONS** 6  
SCALE: 1/4"=1'-0"



**ELEVATION** 3  
SCALE: 1/4"=1'-0"



**ELEVATION** 4  
SCALE: 1/4"=1'-0"

NOTE: DUE TO VARIATIONS IN MONITOR AND PLOT SETTING, ACTUAL COLORS MAY VARY FROM THOSE SHOWN ON RENDERED ELEVATIONS. FINAL MATERIAL SELECTIONS SHOULD BE VERIFIED WITH PHYSICAL SAMPLES

| No. | Description                   | Date    |
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| -   | ISSUED FOR SKETCH PLAN REVIEW | 6/29/23 |

**BURGER KING**  
301-307 W MAIN STREET  
BATAVIA, NEW YORK

CARROLLS, LLC  
SYRACUSE, NEW YORK















**ELEVATIONS**

ISSUE  
6/29/23  
LAUER-MANGUSO  
ASSOCIATES ARCHITECTS



**LAUER-MANGUSO & ASSOCIATES ARCHITECTS**  
4080 Ridge Lea Road  
Buffalo, N.Y. 14228  
(716) 837-0833

Date: 10/6/2023 Drawing No. A-2.1  
Drawn By: CJP  
Checked By: PJM  
Job Number: 22024

| BURGER KING PROTOTYPE MATERIALS & FINISH SCHEDULE |  |                                    |                                     |                       |         |                            |  |  |   |
|---|--|------------------------------------|-------------------------------------|-----------------------|---------|----------------------------|--|--|---|
| TAG   | MATERIAL   | LOCATION                           | MATERIAL DESCRIPTION                | PROSPECT MANUFACTURER | PRODUCT |                            | FINISH/COLOR   | DIMENSION                                | MANUFACTURER REPRESENTATIVE CONTACT INFORMATION |
|   |  |                                    |                                     |                       |         |                            |  |  |   |
| ACM-1   |  ALUMINUM COMPOSITE METAL   | CANOPIES                           | BLACK MATTE FRAME                   | LOCAL SUPPLIER        |         | ACM                        | TO MATCH P-3   | REFERENCE DESIGN DOCUMENTS 4MM THICKNESS |   |
| ACM-2   |  ALUMINUM COMPOSITE METAL   | BOTTOM CANOPIES                    | ORANGE UNDER CANOPY                 | ALLEN INDUSTRIES      |         | ACM                        | SHERWIN WILLIAMS LIGHT BROWN 6348  | REFERENCE DESIGN DOCUMENTS 4MM THICKNESS |   |
| BR-1  |  METAL                      | MAIN ENTRANCE                      | WHOPPER SCREEN WALL                 | ALLEN INDUSTRIES      |         | METAL PANEL SYSTEM         | SHERWIN WILLIAMS LIGHT BROWN 6348<br>BACKGROUND: SHERWIN WILLIAMS BROWN 6342 | TBD                                      |   |
| MS-1  |  METAL                      | MAIN ENTRANCE                      | WHOPPER SCREEN WALL                 | ALLEN INDUSTRIES      |         | COSTUME LIGHTBOX SCREEN    | SHERWIN WILLIAMS LIGHT BROWN 6348<br>BACKGROUND: SHERWIN WILLIAMS BROWN 6342 | TBD                                      |   |
| CLAD-1  |  CLADDING (WOOD)            | MAIN ELEVATION, WAINSCOT & CEILING | FIBER CEMENT TEXTURED PANELS        | NICHHA                |         | NEW VINTAGE WOOD           | TBD  | 18" x 10'-0"                             |   |
| TR-1  |  NICHHA OPEN OUTSIDE CORNER | NICHHA OPEN OUTSIDE CORNER         | METAL TRIM                          | NICHHA                |         | METAL TRIM                 | BLACK MATTE  | 2.96" x 10'-0"                           |   |
| CLAD-2  |  CLADDING (CONCRETE)        | MAIN FAÇADE                        | FIBER CEMENT TEXTURED PANELS        | NICHHA                |         | INDUSTRIALBLOCK            | GRAY   | 18" x 10'-0"                             |   |
| EFS-1   |  NICHHA FIBER CEMENT        | DINING EXTERIOR                    | NICHHA FIBER CEMENT                 | NICHHA                |         | NICHHA TUFFBLOCK           | TO MATCH P-1   | 18" x 10'-0"                             |   |
| EFS-2   |  NICHHA FIBER CEMENT      | BOH                                | NICHHA FIBER CEMENT                 | NICHHA                |         | NICHHA TUFFBLOCK           | TO MATCH P-2   | 18" x 10'-0"                             |   |
| ST-1  |  STUCCO                   | DINING EXTERIOR & BOH              | EXTERIOR SMOOTH STUCCO FINISH       | STO OR APPROVED EQUAL |         | TEXTURE: FINE SAND         | WHITE OR GRAY. MATCH PAINT COLOR DEPENDING ON LOCATION                       | N/A                                      |   |
| P-1   |  PAINT                    | DINING EXTERIOR                    | EXTERIOR PAINT                      | BENJAMIN MOORE        |         | TO MATCH EFS-1             | BM 2111-50 STONE HARBOR  | N/A                                      |   |
| P-2   |  PAINT                    | BOH                                | EXTERIOR PAINT                      | BENJAMIN MOORE        |         | TO MATCH EFS-2             | BM 2111-40 TAGS TAURE  | N/A                                      |   |
| P-3   |  PAINT                    | METAL COLUMNS                      | EXTERIOR PAINT                      | BENJAMIN MOORE        |         | TO MATCH ACM-1             | 2133-10 ONYX SEMI-GLOSS  | N/A                                      |   |
| SFS-1   |  STOREFRONT SYSTEM        | ALUMINUM STOREFRONT SYSTEM         | HOME OF THE WHOPPER RELIEF IN BRICK | LOCAL SUPPLIER        |         | ALUMINUM STOREFRONT SYSTEM | BLACK MATTE  | VARIES                                   |   |

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- ISSUED FOR SKETCH PLAN REVIEW 6/29/23

△ - REVISIONS

**BURGER KING**  
301-307 W MAIN STREET  
BATAVIA, NEW YORK

CARROLS, LLC  
SYRACUSE, NEW YORK

**EXTERIOR  
FINISH SCHEDULE**

**ISSUE**  
6/29/23  
LAUER-MANGUSO  
ASSOCIATES ARCHITECTS



**LAUER-MANGUSO & ASSOCIATES ARCHITECTS**  
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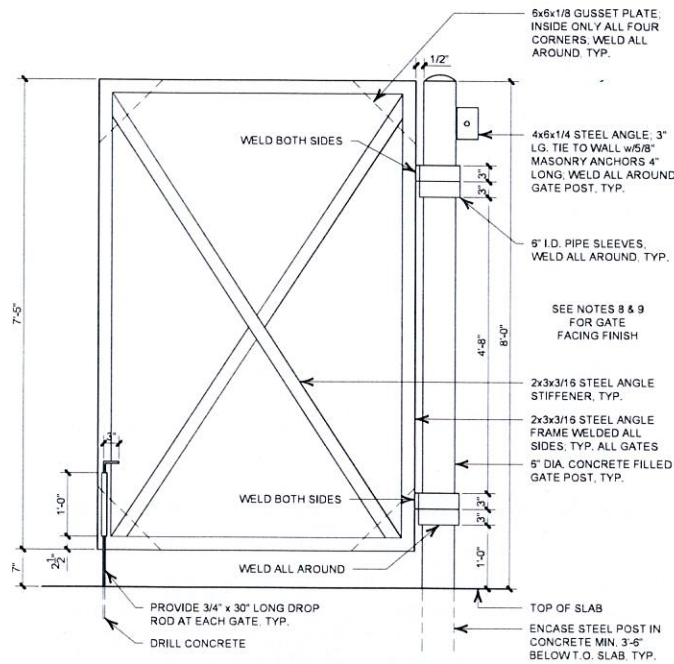
Date: 10/6/2023 Drawing No. A-2.2  
 Drawn By: CJP  
 Checked By: PJM  
 Job Number: 22024

WARNING: It is a violation of Section 7209, Subdivision 2, of the New York State Law for any persons, unless acting under the direction of a Licensed Architect or Professional Engineer, to offer in any way, plans, specifications, or reports to which the seal of a Licensed Architect or Professional Engineer has been applied.

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**GENERAL NOTES**

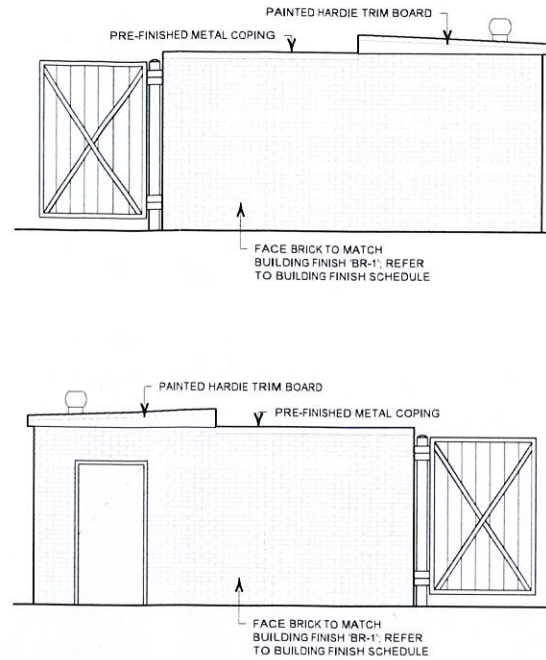
1. REFER TO SITE PLAN FOR LOCATIONS AND PROPOSED GRADES. TYP.
2. TRASH ENCLOSURE MUST CONFORM TO BUILDING SETBACKS. REFER TO CIVIL DRAWINGS AND LOCAL CODES
3. FLOOR DRAIN MAY BE REQUIRED. REFER TO CIVIL DRAWINGS AND LOCAL CODES
4. SLAB TO SLOPE 0.1" FROM BACK TO FRONT FOR DRAINAGE. IF FLOOR DRAIN IS REQUIRED, SLOPE TO GRATE MIN. 0.1" BELOW PERIMETER OF SLAB
5. LOCATE PERSONAL ACCESS SO THAT IT IS MOST ACCESSIBLE FROM REAR DOOR OF BUILDING
6. REVERSES OF THE SHOWN CONFIGURATIONS ARE ALSO ACCEPTABLE
7. ALL STEEL FINISHES TO BE PAINTED TO MATCH BUILDING. REFER TO BUILDING FINISH SCHEDULE AND COORD. w/OWNER
8. ALL GATE SLATS TO CORRUGATED METAL PANELING. POWDER COATED DRAY GRAY. REFER TO BUILDING FINISH SCHEDULE AND COORD. w/OWNER
9. ALL GATES TO BE THRU-BOLTED TO STEEL FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE. TYP.



**GATE ELEVATION**

SCALE: 3/4"=1'-0"

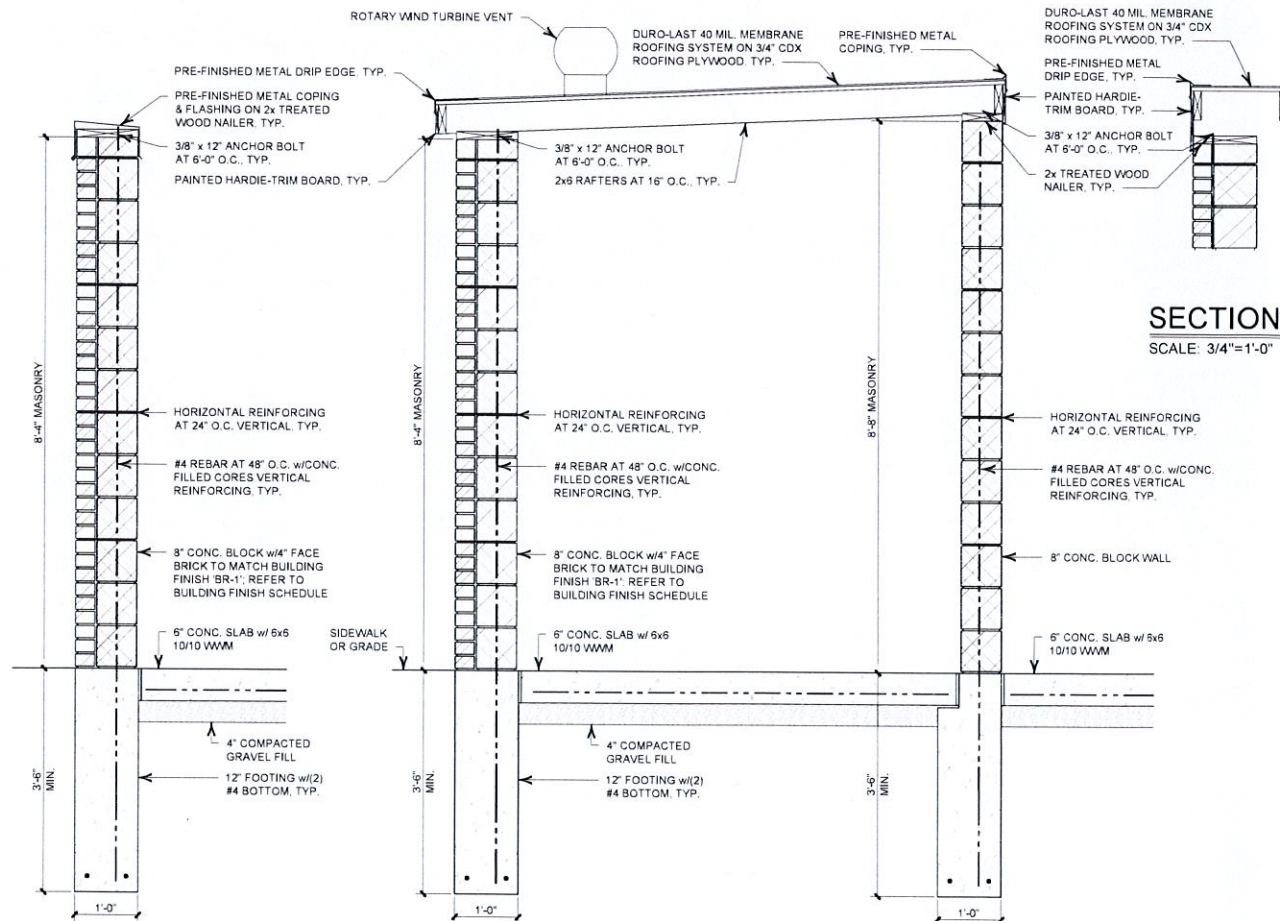
3



**TRASH ENCLOSURE ELEVATIONS**

SCALE: 1/4"=1'-0"

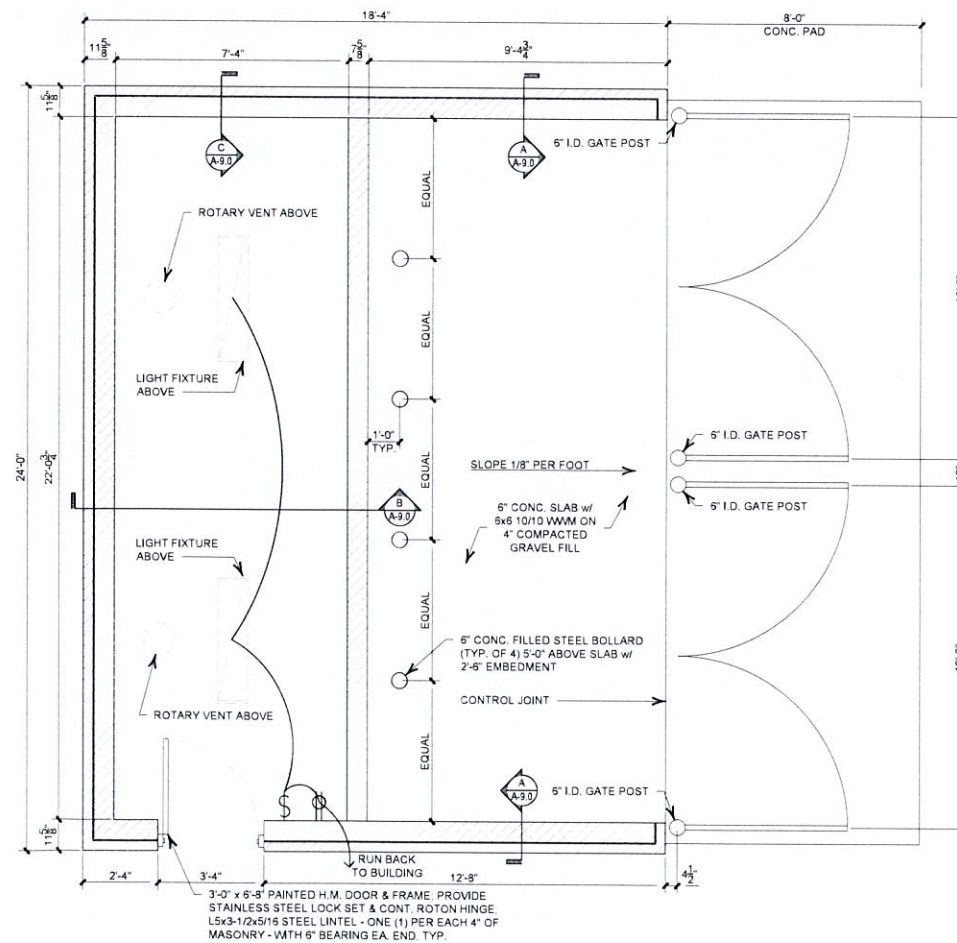
2



**SECTION**

SCALE: 3/4"=1'-0"

C



**TRASH ENCLOSURE PLAN**

SCALE: 3/8"=1'-0"

1

| No.                                     | Description | Date |
|---|-------------|------|
| - ISSUED FOR SKETCH PLAN REVIEW 6/29/23 |             |      |
| - REVISIONS                             |             |      |

**BURGER KING**  
 301-307 W MAIN STREET  
 BATAVIA, NEW YORK

CARROLLS, LLC  
 SYRACUSE, NEW YORK

**TRASH ENCLOSURE  
 DETAILS**

**ISSUE**  
 6/29/23  
 LAUER-MANGUSO  
 ASSOCIATES ARCHITECTS

**LAUER-MANGUSO  
 & ASSOCIATES  
 ARCHITECTS**  
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Date: 10/6/2023 Drawing No.:  
 Drawn By: CJP  
 Checked By: PJM  
 Job Number: 22024 **A-9.0**