

**PLANNING & DEVELOPMENT COMMITTEE**  
**Tuesday, June 15, 2021**

*6:00 pm*

Council Board Room  
One Batavia City Centre, Batavia NY

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**AGENDA**

- I. Roll Call
- II. Call to Order
- III. Approval of Minutes – 5/18/21
- IV. Proposals

**Address:** 204 Oak Street  
**Applicant:** Lou Terragnoli (agent for Quicklee's)

Proposal #1: Site Plan Review and Special Use Permit to change the use of this 3,771 sq.' restaurant building to a convenience store with retail fuel sales. The proposed project involves construction of a four-pump fuel station island with canopy and underground fuel storage tanks. The convenience store with retail fuel sales will use 2,771 sq.' and the drive-through restaurant will use the remaining 1,000 sq.' of space

- Actions:
- 1. Review application
  - 2. Public hearing and discussion
  - 3. SEQR
  - 4. Action by the board – Site Plan and Special Use Permit

**Address:** 211 ½ East Main Street

Proposal #2: City Council has been petitioned to amend the current zoning ordinance to include 211 ½ East Main Street Rear in the abutting C-3, central commercial district. This parcel is currently designated within the P-2 (medical campus) and abuts the C-3 district along the south lot line. City Council has requested the PDC review the request and make recommendation for their consideration.

- Actions:
- 1. Review application
  - 2. Discussion and recommendation to City Council

- VI. Setting of Next Meeting: July 20, 2021
- VII. Adjournment

# PLANNING & DEVELOPMENT COMMITTEE

## *DRAFT MINUTES*

May 18, 2021

6:00 pm

Council Board Room

One Batavia City Centre, Batavia NY

Members present: *David Beatty, Edward Flynn, John Ognibene, Duane Preston*

Members absent: Matt Gray, Tammy Hathaway

Others present: Meg Chilano – Recording Secretary, Doug Randall – Code Enforcement Officer

### **I. Roll Call**

Roll call of the members was conducted. Four members were present and Chairman Duane Preston declared a quorum.

### **II. Call to order**

Mr. Preston called the meeting to order at 6:05 p.m.

### **III. Previous Meeting Minutes**

There were no corrections to the minutes. Mr. Preston assumed the motion and the minutes were approved as written by unanimous consent.

**RESULT: Approval of April 20, 2021 meeting minutes.**

### **IV. Proposals**

- A. Area Variance to widen an existing 10' wide Portland cement driveway by placing 11' of Portland cement to the south side of the existing driveway

**Address:** 282 Ross Street.

**Applicant:** Robert Doty (owner)

- Actions:
1. Review application
  2. Discussion and recommendation to the ZBA

#### **1. Review Application**

Mr. Doty was not present at the beginning of the meeting. His proposal was reviewed at the end of the meeting in order to give him an opportunity to appear, which he failed to do. Mr. Preston observed that Mr. Doty had proposed to increase by 1'.

#### **2. Discussion and Action by the Board**

The board decided that the request was not significant and that they were willing to proceed without Mr. Doty's presence.

**MOTION:** Mr. Beatty moved to recommend approval of the variance to the ZBA; the motion was seconded by Mr. Ognibene, and on roll call, was approved 4-0.

**RESULT: Recommendation to the ZBA for approval of the variance.**

B. Special Use Permit to convert an existing business office space on the second floor of this three-story building to a one-bedroom “Restricted Residential Use” dwelling unit

**Address:** 19-21 Jackson Street

**Applicant:** Mary Valle (owner)

**Actions:**

1. Review application
2. Public Hearing
3. Action on Special Use Permit

**1. Review Application**

Mr. Preston read the summary of the proposal.

**2. Public Hearing**

**MOTION:** Mr. Flynn moved to open the public hearing; the motion was seconded by Mr. Beatty, and on roll call, was approved 4-0.

**RESULT: Public hearing opened at 6:07 p.m.**

Ms. Valle told the board that she has not been able to rent the commercial space on the second floor since the advent of COVID-19. She said that she would like to convert the commercial space to a one-bedroom apartment, and noted that there are already three apartments in the building, which are always occupied.

Mr. Flynn asked if Ms. Valle intends to make any external changes to the building. She said that only changes to the interior would be made, mostly cosmetic, with an effort to maintain the original integrity of the space.

Mr. Preston asked if the third floor is occupied. Ms. Valle answered that there is already one apartment on the second floor and two apartments on the third floor.

Mr. Preston reported that the Genesee County Planning Board recommended approval of the project.

**MOTION:** Mr. Flynn moved to close the public hearing; the motion was seconded by Mr. Ognibene, and on roll call, was approved 4-0.

**RESULT: Public hearing closed at 6:10 p.m.**

**3. Special Use Permit**

**MOTION:** Mr. Flynn moved to approve the Site Plan; the motion was seconded by Mr. Beatty, and on roll call, was approved 4-0.

**RESULT: Special Use Permit approved.**

C. Minor Subdivision to divide .081 acres from this 11.142-acre parcel of vacant land. The smaller portion will be merged into an existing .456-acre parcel known as 104 River Street

**Address:** 90 River Street  
**Applicant:** Community Care of WNY Inc. (owner)

Actions: 1. Review application  
2. Discussion and action by the board

### **1. Review Application**

Mr. Preston read the summary of the proposal. As a member of the Community Care of WNY board, Jay Gsell spoke on behalf of the organization.

### **2. Discussion and Action by the Board**

Mr. Gsell explained that the property had been purchase years ago with the intent to develop the site and create a presence in the community. However, finances will not be conducive to developing the site any time soon.

Mr. Gsell said that the organization is willing to sell this small section of land to Mr. DeJaneiro. He noted that the sliver of land Mr. DeJaneiro wishes to purchase is part of a wetland, with other factors contributing to make it unsuitable for development.

Mr. Flynn asked Mr. DeJaneiro if he treat the land as part of his yard, and Mr. DeJaneiro responded that he has already been mowing that piece of property for over 30 years.

Mr. Preston noted that the Genesee County Planning Board recommended approval of the project.

**MOTION:** Mr. Ognibene moved to approve the subdivision; the motion was seconded by Mr. Flynn, and on roll call, was approved 4-0.

**RESULT: Minor Subdivision approved.**

D. City Council has been petitioned to amend the current zoning ordinance to include 211 East Main Street in the surrounding C-3 central commercial use district. This parcel is currently designated within the P-2 district (medical campus) and projects into the C-3 district along East Main Street. The west, south, and east lot lines about the existing C-3 district

**Regarding:** 211 East Main Street

Actions: 1. Review petition  
2. Recommendation to City Council

### **1. Review Application**

Mr. Preston read the summary of the petition.

### **2. Discussion and Recommendation to City Council**

Dan Ireland, Executive Director – UMMC, and Steve Tanner, Engineer – Clark Patterson Lee, spoke on behalf of the petition. Mr. Ireland explained that 211 East Main Street is locked

between two commercial zones. The YMCA / UMMC project cannot move forward unless the zoning of the property is changed to match the commercial zones of the parcels on either side.

Mr. Flynn asked if there is any reason why the zoning of all three properties cannot be changed to C-3, and Mr. Tanner answered that the City said it could not be done. Mr. Randall indicated that this is not the case, that it would be possible to change the zoning of the three properties to the same district.

Mr. Tanner said that he would prefer that the petition stay as it is currently so that the timing of the project will stay on track for funding purposes.

Mr. Flynn asked if the new building would fit entirely on the footprint of 211 East Main Street. Mr. Tanner stated that the building would occupy the site of 211 and the parcel next to it.

Mr. Randall indicated that there are other property lines to the rear of the project site and asked Mr. Tanner if he is sure that the new building will not encroach on those lines, and Mr. Tanner affirmed that the project would remain entirely within the boundaries of 211 and 213 East Main Street. Mr. Randall said that there would not be any problems as long as the new building is totally within the C districts.

**MOTION:** Mr. Flynn moved to recommend approval of the zoning change to City Council; the motion was seconded by Mr. Beatty, and on roll call, was approved 4-0.

**RESULT: Recommendation to the City Council for approval of the zoning change.**

**V. Setting of Next Meeting:** July 22, 2021

**VI. Adjournment**

Mr. Preston moved to adjourn the meeting at 6:28 p.m., and Mr. Beatty seconded the motion. All voted in favor.

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Meg Chilano  
Bureau of Inspection Secretary



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee  
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 6/1/21

Re: 204 Oak St. \_\_\_\_\_  
Tax Parcel No. (71.014-2-5.2)

Zoning Use District: C-2

The applicant, Patricia Bittar, Director of Land Development Projects at WM Schutt Associates for Quicklee's, has filed a Special Use Permit application and area variance application for reuse this existing commercial property. The proposed project involves construction of a four pump fuel station island with canopy and underground fuel storage tanks, and a change of use for the existing 3,771 square foot restaurant building. 2,771 sq.ft. will be used for a convenience store with retail fuel sales. 1,000 sq.ft will be utilized for a drive thru restaurant.

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the boundary of the city; the right of way of a state parkway, throughway, expressway, road or highway.

**City Planning and Development Committee-** Pursuant to section 190-44 B(1) of the zoning ordinance, the Planning and Development Committee is authorized to conduct **site plan reviews.**

190-37 PDC may authorize special use permits that comply with the terms and specifications of this chapter.

190-44 C (1)(c) PDC shall review **special use permit applications for site plan compliance.**

190-13 C (5) Automobile service stations and drive-in restaurants are permitted with issuance of a special use permit when in compliance with 190-37- E (1-14) and 190-37 K (1-14).

**Zoning Board of Appeals-** Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) **Area variance is required from 190-37 E (10) Service stations may not be located within 500 feet of a public entrance to a church.**
- 2) **Area variance is required from 190-37 E (8) 40 parking spaces are required for the drive-in restaurant (4 per 100 sq.' of floor area) and 28 spaces for the service station (1 per 100 sq.' of floor area). A total of 68 spaces are required, 40 spaces are proposed.**

The Planning and Development Committee will be the lead agency to conduct SEQR.



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) PDC and ZBA  
Address One Batavia City Centre  
City, State, Zip Batavia, NY 14020  
Phone (585) 345-6345 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name Patricia Bittar, Dir. Land Devel. WM Schutt  
Address 37 Central Ave.  
City, State, Zip Lancaster, NY 14086  
Phone (716) 683-5961 Ext. \_\_\_\_\_ Email pbittar@wmschutt.com

MUNICIPALITY:  City  Town  Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |  |  |   |
|--|--|---|
| <input checked="" type="checkbox"/> Area Variance      | <input type="checkbox"/> Zoning Map Change         | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance                  | <input type="checkbox"/> Zoning Text Amendments    | <input type="checkbox"/> Preliminary          |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final                |
| <input type="checkbox"/> Site Plan Review              | <input type="checkbox"/> Other: _____              |   |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

- A. Full Address 204 Oak St.  
B. Nearest intersecting road Noonan Dr.  
C. Tax Map Parcel Number 71.014-2-5.2  
D. Total area of the property 1.4 Area of property to be disturbed .5  
E. Present zoning district(s) \_\_\_\_\_

**5. REFERRAL CASE INFORMATION:**

- A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_
- B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
BMC 190-37 E and 190-37 K for SUP. BMC 190-37 E (8 and 10)
- C. Please describe the nature of this request Approval of site plan, Special Use permit and area variance for service station with drive-in / drive-through restaurant.

**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments    | <input type="checkbox"/> New or updated comprehensive plan     |
| <input checked="" type="checkbox"/> Site plan         | <input type="checkbox"/> Location map or tax maps      | <input checked="" type="checkbox"/> Photos                     |
| <input type="checkbox"/> Subdivision plot plans       | <input checked="" type="checkbox"/> Elevation drawings | <input checked="" type="checkbox"/> Other: <u>Cover letter</u> |
| <input checked="" type="checkbox"/> SEQR forms        | <input type="checkbox"/> Agricultural data statement   |  |

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345-6327 Ext. \_\_\_\_\_  
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drrandall@batavianewyork.com



## Meg Chilano

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**From:** Douglas E. Randall  
**Sent:** Thursday, May 20, 2021 10:47 AM  
**To:** Meg Chilano  
**Subject:** FW: Oak St proposal for Old Bob Evans Location

Meg,

Please save this with the 204 Oak St. file for future distribution to the PDC.

Thanks,  
Doug

**From:** Stephen Rumery <srrumery@yahoo.com>  
**Sent:** Tuesday, May 18, 2021 12:15 PM  
**To:** Douglas E. Randall <DRandall@batavianewyork.com>  
**Subject:** Fw: Oak St proposal for Old Bob Evans Location

Sent from Yahoo Mail on Android

----- Forwarded Message -----

**From:** "Stephen Rumery" <srrumery@yahoo.com>  
**To:** "DRandall@bataviany.com" <drandall@bataviany.com>  
**Cc:** "steve rumery" <srrumery@yahoo.com>, "Rose Rumery" <roserumery@gmail.com>  
**Sent:** Tue, May 18, 2021 at 7:35 AM  
**Subject:** Oak St proposal for Old Bob Evans Location

Hello Doug,

We spoke a couple of weeks ago and you mentioned that you could share our concerns regarding a proposed gas station and store at this location. Please share our concerns with the planning board for consideration.

A number of years ago the DOT changed the traffic flow on Oak St from 2 lanes in each direction to 1 lane each way with turning lanes. With the increase in traffic this has caused problems over the years. I live at 201 Oak st. which is directly across the street from the old Bob Evans. There is also the Monsignor Kirby senior living faculty with over 30 apartments directly behind our home.

With one lane of traffic in each direction my vehicle has been hit twice in the last few years as I waited to turn into our driveway.

We and a number of residents of Monsignor Kirby are concerned over the current congested traffic flow on Oak st and a new exit lane on the old Bob Evans property would only cause more traffic congestion.

We also already find discarded garbage from the gas station around the corner on our lawn and our concerned that another gas station/store would add to this issue.

We have general environmental concerns about having a gas station close to our residence.

Please share our concerns the with planning board for consideration.

Steve and Rose Rumery  
201 Oak St.

PERMIT NO. 21-02



**PAID**  
JUN - 1 2021  
CITY OF BATAVIA  
CLERK-TREASURER

# SPECIAL USE PERMIT

## CITY OF BATAVIA, NEW YORK

LOCATION: 204 Oak Street  
OWNER: Lou Terragnoli, Quicklee's  
Address: 2697 Lakeville Rd., Suite 1, Avon, NY 14414

Application Date: \_\_\_\_\_  
Tax Parcel No.: 71.014-2-5.2  
Phone No. 716-228-8860

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> COUNTY PLANNING REVIEW | <input checked="" type="checkbox"/> ZONING VARIANCE REQUIRED |
| <u>C-2</u> ZONING DISTRICT                                 | <u>No</u> HISTORIC DISTRICT                                  |
| <u>C</u> FLOOD ZONE  | <u>No</u> HISTORIC LANDMARK                                  |
| <u>Yes</u> CORNER LOT                                      | <u>No</u> CITY ENGINEER REVIEW                               |
| <input checked="" type="checkbox"/> SITE PLAN REVIEW       | <u>No</u> CITY COUNCIL REVIEW                                |
| <u>No</u> BID  | <u>ZBA</u> OTHER   |

PROJECT DESCRIPTION: The proposed project is a Quicklee's store with drive-thru and gas island at the former Bob Evans restuarant site at 204 Oak Street. The existing building will be maintained with modifications to the exterior walls /roof and interior modifications to allow for operation of the convenience store with drive-thru restuarant. Proposed development includes addition of a gas island with four fuel pumps to the west of the existing structure

EXISTING USE: C2

PROPOSED USE: C2

N.Y.S. BLDG. CODE OCC. CLASS: A-2

N.Y.S. BLDG. CODE OCC. CLASS: M and B

LOT SIZE: 1.4 acres

LOT AREA: 1.4 ACRES

CITY PLANNING & DEVELOPMENT REVIEW: Fee \$100 (Dw)

APPROVAL AS PRESENTED     DISAPPROVAL     APPROVAL WITH CONDITIONS

CHAIRMAN SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

	<u>5/07/2021</u>	_____
Applicant Signature	Date	Issuing Officer
Permit Fee: _____	Issue Date: _____	





CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.: 21-09
Hearing Date/Time:

APPLICANT: Lou Terragnoli, Quicklee's l.terragnoli@quicklees.com
Name E-Mail Address
2697 Lakeville Road, Suite 1 716-228-8860
Street Address Phone Fax
Avon NY 14414
City State Zip

STATUS: [X] Owner Agent for Owner Contractor

OWNER: Same as Applicant CITY OF BATAVIA CLERK-TREASURER
Name E-Mail Address
Street Address Phone Fax
City State Zip

LOCATION OF PROPERTY: 204 Oak Street, Batavia

QUICKLEE'S IS PROPOSING A CONVENIENCE STORE/GAS STATION AT THE FORMER LOCATION OF A BOB EVAN'S RESTAURANT AT 204 OAK STREET. THE EXISTING STRUCTURE WILL BE MAINTAINED, WITH MODIFICATIONS MADE INTERNALLY FOR THE PROPOSED USE. EXISTING PARKING LOT WILL REQUIRE MODIFICATIONS. THE REQUESTED AREA VARIANCES ARE FROM 190-37 E (10) CONSTRUCTION OF A SERVICE STATION WITHIN 500-FT OF A PUBLIC ENTRANCE TO A CHURCH AND FROM 190-37 E (8) PROPOSED 40 PARKING SPACES WHEN 68 ARE REQUIRED (40 SPACES FOR DRIVE IN RESTAURANT AND 28 SPACES FOR SERVICE STATION). RESPONSIBILITY OF THE APPLICANT TO PRESENT EVIDENCE SUFFICIENT TO SATISFY THE ZONING BOARD OF APPEALS THAT THE BENEFIT OF THE APPLICANT DOES NOT OUTWEIGH THE HEALTH, SAFETY, MORALS, AESTHETICS AND GENERAL WELFARE OF THE COMMUNITY OR NEIGHBORHOOD.

Applicant's Signature: [Signature] Date: 5/26/2021

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

To be Filled out by Zoning Officer

TAX PARCEL: 71.014-2-5.2 ZONING DISTRICT: C-2 FLOOD PLAIN: C
TYPE OF APPEAL: [X] Area Variance FEE: \$50 (One or Two Family Use)
[ ] Use Variance [X] \$100 (All other Uses)
[ ] Interpretation
[ ] Decision of Planning Committee

Provision(s) of the Zoning Ordinance Appealed: BMC 190-37 E (10) Service stations not to be located within 500' of Church entrance. BMC 190-37 E (8) Number of off street parking spaces does not equal what is required.

## Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.

See attachment

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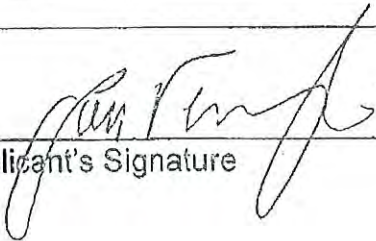
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. See attachment
- 
- 
- 

3. **Substantiality.** The requested area variance is not substantial. See attachment
- 
- 
- 

4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community. See attachment
- 
- 
- 

5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title. See attachment
- 
- 
- 

Applicant's Signature



Date

5/26/2021



CRITERIA TO SUPPORT AREA VARIANCE  
PROPOSED QUICKLEE'S CONVENIENCE STORE/GAS STATION  
204 OAK STREET

1. Undesirable Change in Neighborhood Character:

The site was previously occupied by a Bob Evans restaurant. The existing structure will be maintained, as well as a majority of the parking lot. There will be aesthetic upgrades to the exterior of the structure, with layout modifications internally. The site is zoned commercial, allowing the proposed convenience store use, with a Special Use Permit required for the proposed gas island and store drive-thru. The proposed project will re-use an existing developed site, abutting other existing commercial uses. The site is also located at a ramp to the NYS 90 Interstate Thruway. The proposed use does not cause an undesirable change to the surrounding area, as it will reuse an existing structure while providing aesthetic upgrades to the structure and surrounding landscape.

Proposed landscaping will specifically be enhanced along the Noonan property frontage which abuts the Emmanuel Baptist Church. Also, based on traffic studies done on similar developments and for this site, the peak hours of operation are anticipated from 7 am to 9 am and 4 pm to 6 pm. These peak hours of operation are not anticipated to overlap the peak times of conducting mass services and related activities of the abutting church. Additionally, the Applicant has contacted Pastor Tharpe of the Emmanuel Baptist Church. Pastor Tharpe advised he is in support of the project.

The number of required parking spaces required by City code (68), exceeds the needed parking spaces (43) for operation of the proposed project. Quicklee's would prefer to maintain as much green area as possible and does not want to provide parking that is well above their need. Also, by limiting any increase in impervious surface, the associated stormwater runoff rate will be maintained.

The site location to the NYS Thruway, as well as to the immediate surrounding existing uses (hotels, businesses, church buildings and several residences) is an ideal location for the proposed services to be provided.

The proposed Quicklee's project allows for rehabilitation of a presently developed site. The proposed project will improve site aesthetics and offer employment opportunities.

2. Alternative Cure Sought:

The site chosen for the proposed project will reuse an existing developed site that has been vacated by the former Owner. Choosing an alternate location could result in disturbing a

native piece of property, as opposed to trying to establish another commercial use at a formerly active site. By pursuing the proposed project at this location, the proximity of the proposed gas island to an existing church cannot be avoided.

As stated above, the City code requires a significant increase in required parking spaces at the site. The increase in parking spaces is not warranted by the proposed development and the Applicant would prefer to preserve as much greenspace as possible. There is also insufficient area within the limits of the property to construct the required increase in parking. The amount of queuing within the proposed drive-thru is estimated at a maximum of 6 vehicles during peak operation times. This combined with parking/access for the proposed convenience store and gas island operation can be sufficiently addressed with minimal increase in impervious surface at the site.

### 3. Substantiality:

For section 190-37 E (10) of the City code, service stations shall not be located within 500-ft of a public entrance to a church. The existing site has a curb cut along Noonan Drive that is almost directly aligned with the existing curb cut along Noonan Drive that provides access to the abutting church. It is proposed to maintain all existing access points at the project site for necessary access and circulation. From the proposed gas island to the closest building entrance of the church is approximately 230+/- ft.

For section 190-37 E (8) of the City code, required parking spaces is 40 for the drive thru plus 28 for the service station, resulting in a total of 68 required spaces. Per the proposed Site Layout Plan, the total number of parking spaces to be provided is 43. A majority of the existing asphalt area is proposed to be maintained, with an expanded area of asphalt for the gas island along the west side of the site. Additionally, two sections of existing pavement along the south side of the site will be converted back to green space. The Applicant wants to provide as much green space as possible, while meeting the projects needs for parking and access. Per the Applicant, the proposed 43 spaces and associated access drives are more than sufficient to meet the needs of the intended development, while maintaining all circulation activity within the limits of the project site. The proposed spaces are approximately 59% of the required spaces.

### 4. Adverse Effect or Impact:

The existing site zoning, C2 allows for the proposed convenience store, with addition of a Special Use Permit for the proposed building drive-thru and gas island. The immediate surrounding area includes several existing hotels (Motel 8 and Days Inn ) to the east, Thruway Maintenance Building to the north, US Department of Homeland Security Building and several residences/apartment buildings to the west and two churches with several residences to the south. The site operated as a former full-service restaurant until being vacated. The proposed use will not negatively impact the surrounding area and will provide improvements to building/site aesthetics, as well as increasing employment opportunity.

5. Not Self-Created:

The project site is currently occupied by an existing vacant structure and associated parking area. The proposed project will rehabilitate an existing developed site, as opposed to clearing a naturally vegetated site for the proposed project. The parcel size is 1.4 acres. In addition to the required number of parking spaces being well above the needs of the proposed use, the site has insufficient area to provide the required parking spaces.

In order to rehabilitate a vacant development area, the proposed use will be inserted into a surrounding developed area. At this location, the convenience store/gas island would be inserted in close proximity to an existing church. The proposed operation of the Quicklee's development is anticipated to have minimal negative impact on the church operation, as peak hours of operation are not anticipated to overlap and site aesthetics will improve.



# Short Environmental Assessment Form

## Part 1 - Project Information

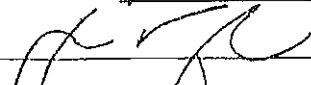
### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

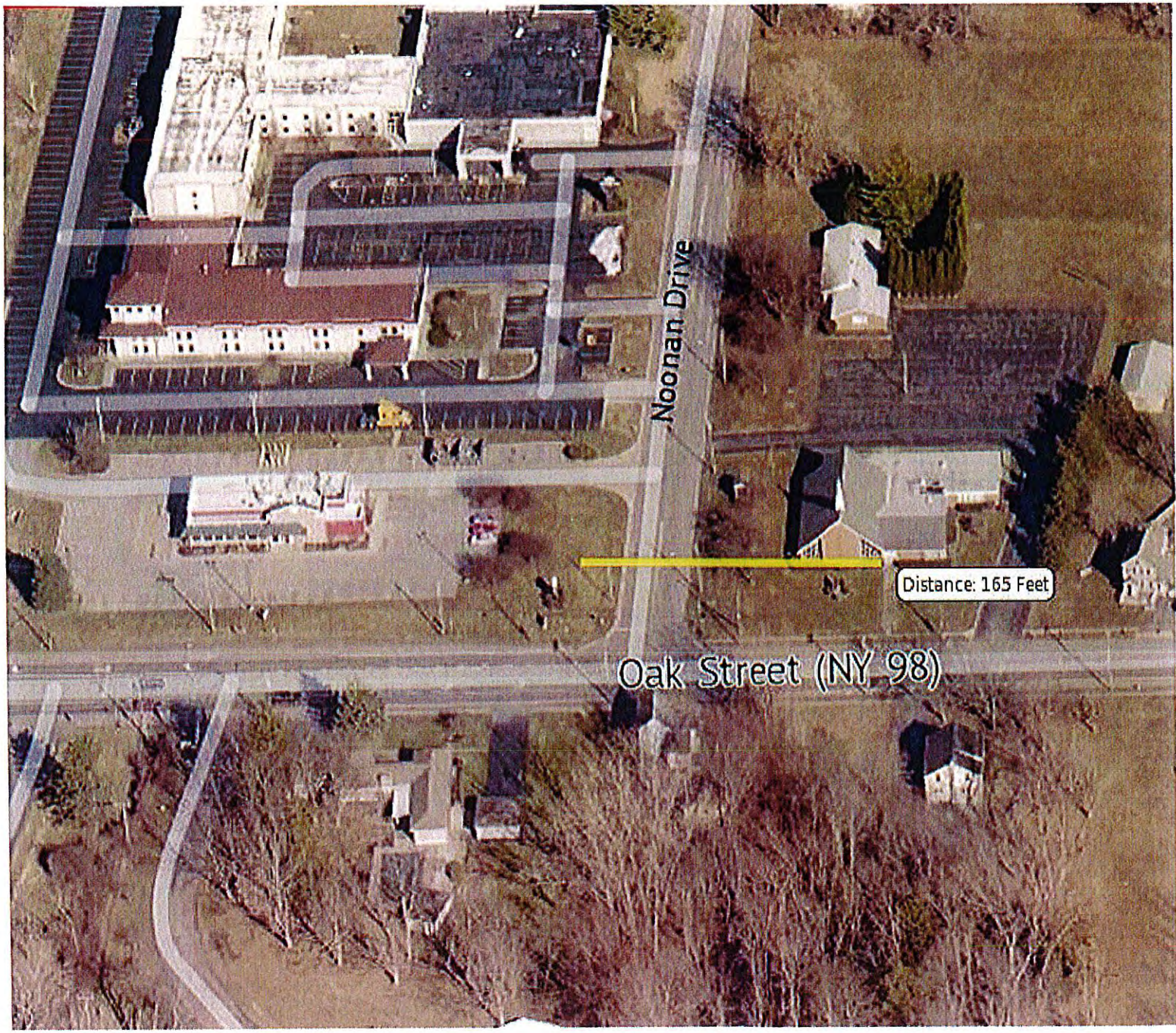
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Proposed Quicklee's convenience store with drive-thru restaurant and gas island			
Project Location (describe, and attach a location map): 204 Oak Street, City of Batavia			
Brief Description of Proposed Action:  The proposed project is a Quicklee's convenience store with drive-thru restaurant and gas island at the former location of a a Bob Evans restaurant at 204 Oak Street. The project site is 1.4 acres in size and the existing structure will be maintained, with proposed improvements to the exterior facade of the building and landscape improvements. The inside of the building will also be modified to accommodate the convenience store and drive-thru restaurant operation. A gas island is proposed along the west side of the existing structure, to include a total of 4 fuel pumps. The existing asphalt parking area will require some modifications to accommodate the added gas island, as well as reconfiguration of parking layout and access lane to the drive-thru window.  The overall level of impervious surface is estimated to increase by 4600 sf, increasing from 36,000+/- sf to 40,600/- sf. The proposed gas island and drive thru restaurant will require a Special Use Permit. The proposed location of the gas island to an existing church and the number of parking spaces to be provided will also require area variances from the ZBA.			
Name of Applicant or Sponsor:  Lou Terragnoli, Quicklee's		Telephone: 716-228-8860  E-Mail: l.terragnoli@quicklees.com	
Address:  2697 Lakeville Road, Suite 1			
City/PO: Avon		State: NY	Zip Code: 14414
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Batavia Site Plan approval, Special Use Permit, ZBA area variances, Building Permit, NYSDOT sidewalk permit			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 1.4 +/- acres	
b. Total acreage to be physically disturbed?		_____ 0.5 +/- acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.4 +/- acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ There is an existing wetland area to the east, along the east side of Boces Rd., and to the west, on the west side of Oak St., no wetland area is identified within the limits of the project site. _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The site includes an existing detention basin along the east property line. The basin will be maintained and all stormwater runoff from the site will continue to be directed to the basin.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor/name: <u>LOW TERRAGNOLI DIRECTOR OF Real Estate</u> Date: <u>5/26/2021</u> Signature: <u></u> Title: <u>Director of Real Estate</u>		





Noonan Drive

Distance: 165 Feet

Oak Street (NY 98)





# 204 OAK STREET PART OF LOT 4 AND 5 CITY OF BATAVIA - GENESEE COUNTY - NEW YORK

### GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BATAVIA STANDARD CONSTRUCTION SPECIFICATIONS AND/OR SUBJECT TO THE LATEST REVISIONS APPROVED BY THE CITY ENGINEER. THE CONTRACTOR IS REQUIRED TO SUBMIT SHOP DRAWINGS TO THE TOWN OF CLARENCE TOWN ENGINEER.
2. THE LOCATION OF UTILITIES AND OTHER FEATURES, AS SHOWN ON THE PLANS, ARE FROM THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD INVESTIGATE AND DETERMINE THE EXACT LOCATIONS OF UTILITIES PRIOR TO CONSTRUCTION IN ORDER TO AVOID CONFLICTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT, SUPPORT AND MAINTAIN ALL EXISTING UTILITIES DURING THE COURSE OF HIS OPERATIONS. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. ALL PROVISIONS OF THE NEW YORK STATE INDUSTRIAL CODE RULE 53 AND THE NEW YORK STATE VOLTAGE PROXIMITY ACT MUST BE FOLLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE TO ADVISE ALL UTILITIES AND AGENCIES OF HIS PROPOSED OPERATIONS.
4. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS TO EXISTING PAVEMENT, SHOULDERS, DRIVES AND STORM DRAINAGE FACILITIES SHALL BE REPAIRED OR REPLACED IN KIND BY THE CONTRACTOR AT HIS EXPENSE. ALL REPAIRS OR REPLACEMENTS MADE BY THE CONTRACTOR SHALL BE ACCEPTABLE TO THE OWNER OR AGENCY HAVING JURISDICTION.
5. THE CONTRACTOR SHALL TAKE ANY PRECAUTIONS NECESSARY TO PROTECT TREES AND SHRUBBERY FROM DAMAGE, UNLESS SPECIFICALLY ORDERED FOR CLEARING.
6. THE CONTRACTOR SHALL BE AWARE THAT SOIL CONDITIONS ARE UNKNOWN AND ASSUMED TO VARY AT DIFFERENT DEPTHS AND LOCATIONS.
7. ALL UTILITY OPEN CUT ROAD CROSSINGS SHALL BE BACKFILLED WITH NO. 2 RUN OF CRUSHER STONE AND COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY ASTM D-1557 PER TRENCH DETAILS. SELECT BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF 5-FEET BEYOND EDGE OF PAVEMENT.
8. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL STANDARDS REGARDING THE PREVENTION AND ABATEMENT OF SOIL EROSION, SEDIMENTATION AND WATER POLLUTION.
9. THE PLANS AND SPECIFICATIONS FOR THIS PROJECT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CAN NOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. ALL WORK MUST BE CARRIED OUT TO MEET ACTUAL FIELD CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND DEVELOPER IN ACCORDANCE WITH THEIR INSTRUCTIONS.



LOCATION MAP  
N.T.S.

### SHEET INDEX

Sheet Number	Sheet Title
C1	COVER SHEET
BT-1	BOUNDARY AND TOPOGRAPHIC SURVEY
C2	DEMOLITION PLAN AND NOTES
C3	SITE PLAN AND NOTES
C3.1	SITE DETAILS
C3.2	SITE DETAILS
C4	STORM DRAINAGE, GRADING PLAN, NOTES & DETAILS
C5	EROSION AND SEDIMENT CONTROL PLAN, NOTES & DETAILS
C5.1	EROSION AND SEDIMENT CONTROL DETAILS
C6	LANDSCAPE PLAN AND DETAILS
C7	PHOTOMETRIC PLAN

**WM SCHUTT  
ASSOCIATES**

37 CENTRAL AVE.  
LANCASTER, NY 14086-2143

PH. 716-683-5961  
FAX 716-683-0169

WWW.WMSCHUTT.COM

DEVELOPER:  
QUICKLEE'S  
2697 LAKEVILLE RD., SUITE 1  
AVON, NEW YORK 14414

DATE: \_\_\_\_\_



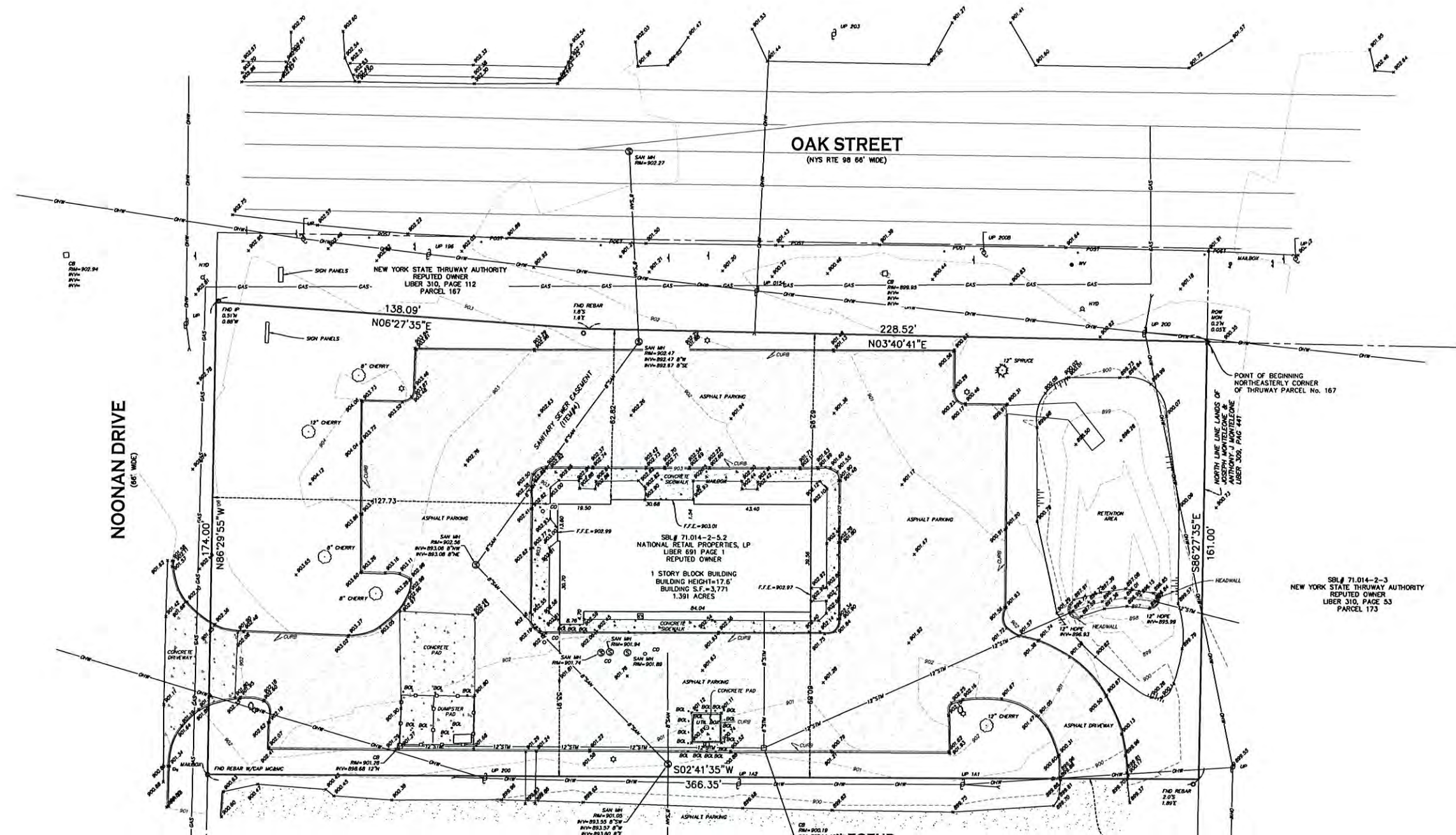
DRAWING REVISIONS		
ITEM	DATE	DESCRIPTION

THIS SHEET ISSUED MAY 27, 2021

**C1**

WSA PROJECT NO. 01172C





DRAWING REVISIONS	ITEM	DATE	DESCRIPTION

DESIGNED BY: GABRIEL J. REGAN  
 DRAWN BY: GABRIEL J. REGAN  
 CHECKED BY: GABRIEL J. REGAN  
 DATE: FEBRUARY 22, 2021

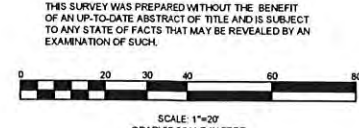
WARNING: ALTERING THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPTING AS PROVIDED IN SECTION 1305 OF THE REAL PROPERTY LAW. THE PROFESSIONAL LIABILITY INSURANCE POLICY OF THE LAND SURVEYOR'S EDUCATION FUND, INC. DOES NOT COVER THIS TYPE OF WORK.  
 WM SCHUTT & ASSOCIATES P.C.

**WM SCHUTT ASSOCIATES**  
 37 CENTRAL AVE.  
 LANCASTER, NY 14086-2143  
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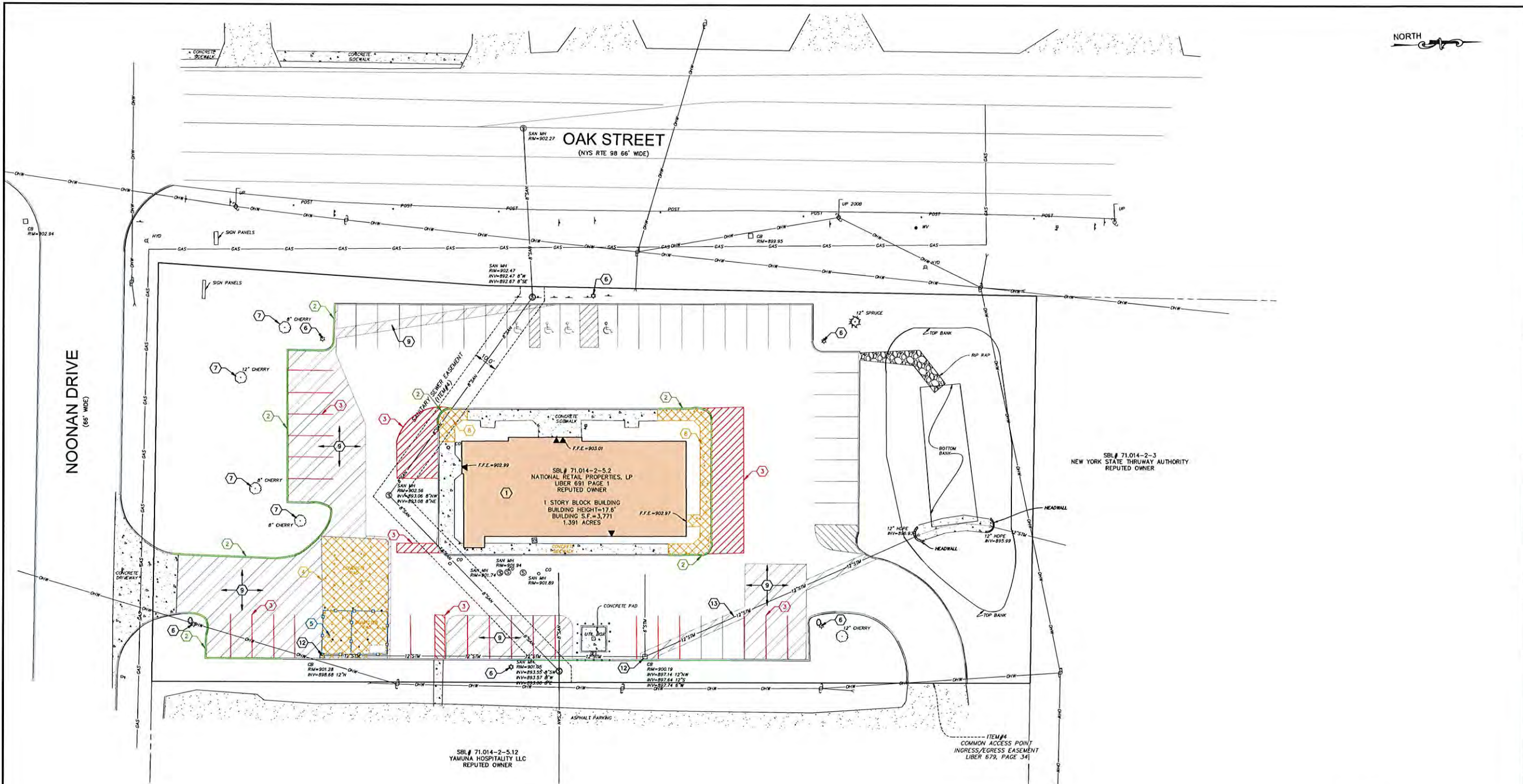
**CITY OF BATAVIA**  
**COUNTY OF GENESEE, STATE OF NEW YORK**  
**PART OF LOT(S) 4 & 5**  
**204 OAK STREET**  
**BOUNDARY AND TOPOGRAPHIC SURVEY**

**BT-1**  
 DRAWING SCALE: 1" = 20'  
 SURVEY FILE: D/20213-01  
 WSA PROJECT NO. 20213

- LEGEND**
- |                          |  |                       |
|--------------------------|--|-----------------------|
| ▲ ANTENNA/DISH           | ▲ HYDRANT                                | ☉ WATER MANHOLE       |
| ○ BENCHMARK              | □ PROPERTY MONUMENT (AS DESCRIBED)       | ☉ WATER METER         |
| ○ BOLLARD                | ○ LIGHT POLE                             | ☉ WATER SERVICE VALVE |
| □ CATCH BASIN            | ▲ MARKBOX                                | ☉ WATER VALVE         |
| □ CLEANOUT               | ▲ MONUMENT AS DESCRIBED                  | ○ WELL                |
| ☉ COMMUNICATIONS BOX     | ○ OIL LINE MARKER                        | ○ YARD DRAIN          |
| ☉ COMMUNICATIONS MANHOLE | ○ PHONE BOOTH                            |                       |
| ☉ COMMUNICATIONS MARKER  | > PIPE OUTLET                            |                       |
| ☉ COMMUNICATIONS VAULT   | POST                                     |                       |
| ○ CONIFEROUS SHRUB       | ☉ POWER VAULT                            |                       |
| ○ CONIFEROUS TREE        | ☉ RAILROAD CONTROL BOX                   |                       |
| ○ DECIDUOUS SHRUB        | ☉ SANITARY SEWER MANHOLE                 |                       |
| ○ DECIDUOUS TREE         | ☉ SCUPPER                                |                       |
| ○ DRILL/AUGER HOLE       | — SIGN (SINGLE POLE)                     |                       |
| ○ ELECTRIC MANHOLE       | — SIGN (DOUBLE POLE)                     |                       |
| ○ ELECTRIC METER         | — SIGN (TRIPLE POLE)                     |                       |
| ○ END SECTION            | ○ SIGNAL POLE                            |                       |
| ○ FILLER CAPS            | ○ SIGNAL POLE (WITH TRAFFIC UTILITY BOX) |                       |
| ○ FLAG POLE              | ☉ STORM SEWER MANHOLE                    |                       |
| ○ FLOOD LIGHT            | ☉ TRAFFIC CONTROL BOX                    |                       |
| ○ GAS LINE MARKER        | ☉ TRAFFIC PULLBOX                        |                       |
| ○ GAS MANHOLE            | ☉ UNKNOWN MANHOLE                        |                       |
| ○ GAS METER              | ○ UTILITY BOX                            |                       |
| ○ GAS SERVICE VALVE      | ○ UTILITY POLE                           |                       |
| ○ GAS VALVE              | ○ UTILITY POLE WITH LIGHT                |                       |
| ○ GUY WIRE               |  |                       |
| ○ HANDICAP PARKING       |  |                       |







DRAWING REVISIONS	
ITEM	DESCRIPTION

DESIGNED BY: PMB  
 DRAWN BY: DLS  
 CHECKED BY: WES  
 DATE: \_\_\_\_\_

WARNING: THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 7029, PART 2 OF THE NEW YORK STATE EDUCATION LAW AND PART 2009 OF THE NEW YORK STATE EDUCATION REGS. WM. SCHUTT & ASSOCIATES P.C.



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**QUICKLEE'S**  
 CITY OF BATAVIA  
 GENESEE COUNTY - NEW YORK

**DEMOLITION PLAN AND NOTES**

THIS SHEET ISSUED MAY 27, 2021

**C2**

DRAWING SCALE: 1" = 20'

WSA PROJECT NO. 20213

**SITE DEMOLITION NOTES**

- CONTRACTOR SHALL COORDINATE START-UP AND DEMOLITION ACTIVITIES WITH OWNER. CONTRACTOR SHALL CONDUCT ALL OPERATIONS IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICAL, THE LEAST OBSTRUCTION TO TRAFFIC.
- ALL EXISTING UTILITIES SERVING THIS SITE SHALL BE PROPERLY TERMINATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF BATAVIA AND ASSOCIATED UTILITIES.
- ALL NATIONAL FUEL SUPPLY CORPORATION CONSTRUCTION GUIDELINES ARE TO FOLLOWED FOR ANY CONSTRUCTION TAKING PLACE IN PROXIMITY TO GAS LINES.
- ALL PROVISIONS OF NEW YORK STATE INDUSTRIAL CODE RULE 53 AND THE NEW YORK STATE HIGH VOLTAGE PROXIMITY ACT MUST BE FOLLOWED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT HIS DEMOLITION OPERATIONS AS WELL AS TRANSPORT AND DISPOSE OF DEMOLITION MATERIAL IN A MANNER ACCEPTABLE TO THE NYSDEC AND DEPOSIT SAID C&D MATERIAL IN A PROPERLY PERMITTED FACILITY. NYSDEC ENCOURAGES THE REUSE (RECYCLING) OF EXEMPT C&D MATERIAL ON-SITE WITHIN FILL AREAS, EMBANKMENTS AND UNDER BUILDING SLABS RATHER THAN DISPOSAL OFF-SITE. COORDINATE ANY PROPOSED ON-SITE REUSE OF C&D MATERIAL WITH OWNERS.
- CONTRACTOR TO ADJUST ALL UTILITIES MEANT TO BE FLUSH WITH FINISHED GRADE (CLEANOUTS, MANHOLES, VALVE BOXES, CATCH BASINS, AND ETC.) WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- CAUTION - NOTICE TO CONTRACTORS THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST NOTIFY THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE INITIATING ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL WORK WITHIN THE ROW OF OAK STREET TO COMPLY WITH NYS DOT REQUIREMENTS
- THE CONTRACTOR SHALL BE AWARE THAT SOIL CONDITIONS ARE UNKNOWN AND ASSUME TO VARY AT DIFFERENT DEPTHS AND LOCATIONS.

**DEMOLITION PROCEDURE NOTES**

- EXISTING BUILDING TO REMAIN IN PLACE.
- EXISTING CURB TO BE REMOVED AT FULL DEPTH.
- EXISTING PAVEMENT MARKINGS TO BE REMOVED.
- EXISTING CONCRETE PAD TO BE REMOVED AT FULL DEPTH.
- EXISTING DUMPSTER ENCLOSURE, FENCING AND BOLLARDS TO BE REMOVED.
- EXISTING LIGHT FIXTURE TO BE REMOVED.
- EXISTING TREE TO BE REMOVED.
- EXISTING CONCRETE SIDEWALK TO BE REMOVED AT FULL DEPTH.
- EXISTING ASPHALT TO BE REMOVED AT FULL DEPTH.
- EXISTING HANDICAP SIGN TO BE REMOVED.
- EXISTING NO PARKING SIGN TO BE REMOVED.
- EXISTING CATCH BASIN TO BE PRESERVED AND PROTECTED.
- EXISTING 12" STORM PIPE TO BE REMOVED.

**LEGEND**

	ASPHALT REMOVAL TO FULL DEPTH
	CONCRETE REMOVAL TO FULL DEPTH
	EXISTING CONCRETE CURB TO BE REMOVED AT FULL DEPTH
	EXISTING PAVEMENT MARKINGS TO BE REMOVED

**CAUTION - NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**IMPORTANT NOTE:**  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

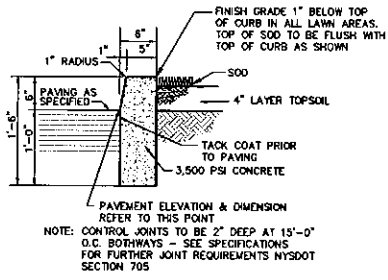
**IMPORTANT NOTE:**  
 CONTRACTOR IS TO CONTACT THE "UNDERGROUND FACILITY PROTECTIVE ORGANIZATION" (1-800-962-7962) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

SCALE: 1" = 20'  
 GRAPHIC SCALE IN FEET

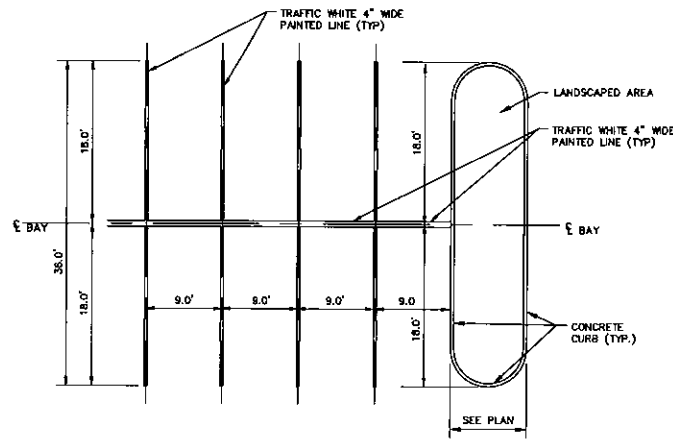




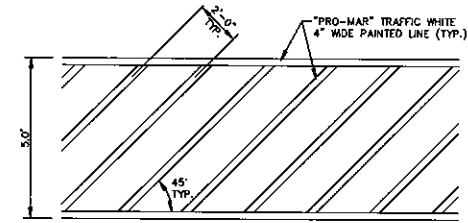




**TYPE "A" CONCRETE CURB - 1**  
N.T.S.

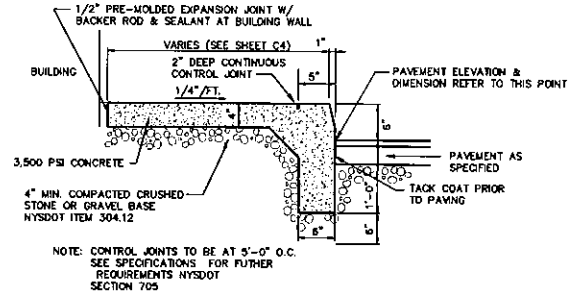


**90° PARKING SPACE STRIPING - 5**  
N.T.S.

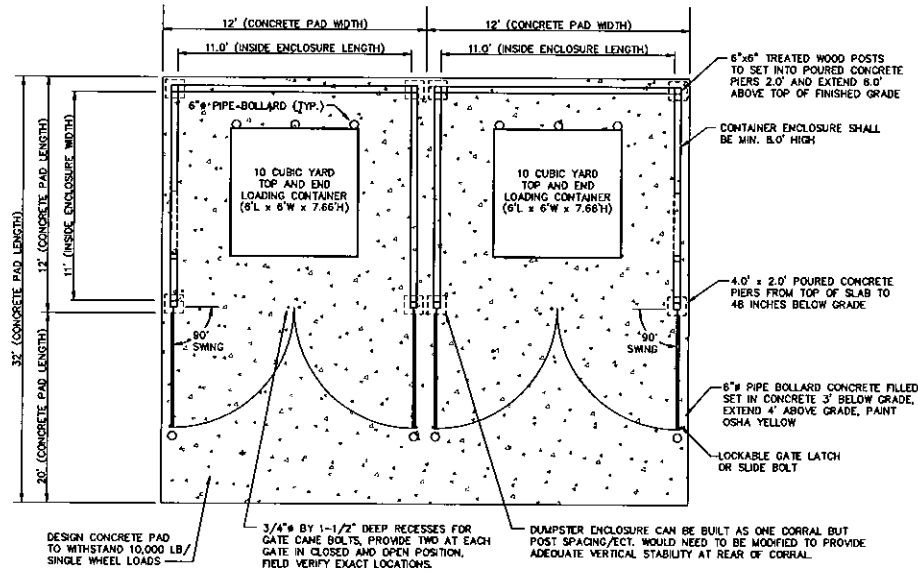


**45° PAVEMENT MARKING - 8**  
N.T.S.

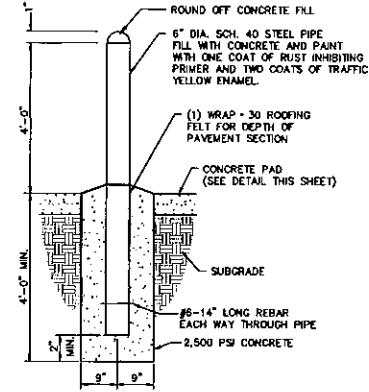
NOTE: CONCRETE SIDEWALK AND DRIVEWAY MATERIAL SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 608-3.



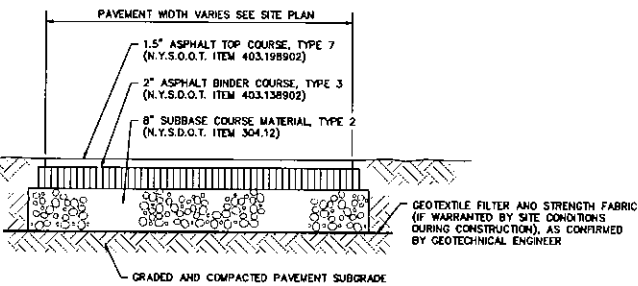
**INTEGRAL CURB/SIDEWALK DETAIL - 2**  
N.T.S.



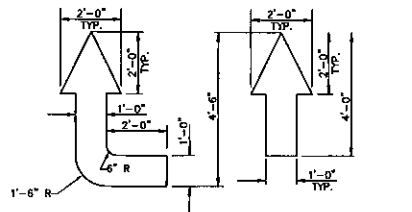
**DUMPSTER ENCLOSURE - 6**  
N.T.S.



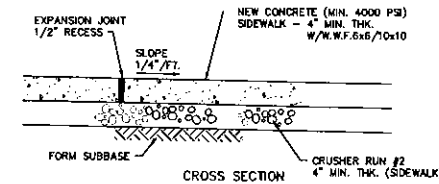
**PIPE BOLLARDS - 9**  
N.T.S.



**STANDARD DUTY ASPHALT SECTION - 3**  
N.T.S.

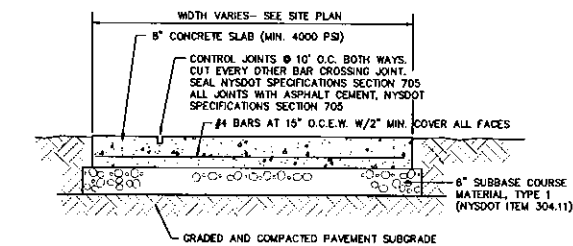


**PAINTED TRAFFIC ARROWS - 7**  
N.T.S.



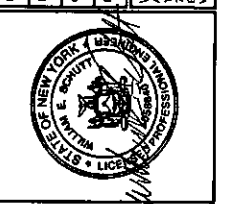
NOTES:  
1. CONTROL JOINTS TO BE AT 5'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700.  
2. CONCRETE SIDEWALK MATERIAL SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 608-3.

**CONCRETE SIDEWALK - 10**  
N.T.S.



**EXTERIOR CONCRETE SLAB ON GRADE - 4**

DRAWING REVISIONS	
ITEM	DESCRIPTION



**WM SCHUTT ASSOCIATES**  
37 CENTRAL AVE.  
LANCASTER, NY 14086-2143  
PH. 716-683-5961  
FAX 716-683-0189  
WWW.WMSCHUTT.COM

**QUICKLEE'S**  
CITY OF BATAVIA  
GENESEE COUNTY - NEW YORK  
**SITE DETAILS**



8'-0"

4'-0" 21"

Sign: 32 sq ft each

Quicklee's Colors:  
Blue: Avery 285 C  
Red: Avery Pantone 485 C  
Green: Oracal Lime Tree 063

Description:  
(1) Double sided internally illuminated monument sign.  
Sign constructed of an extruded aluminum cabinet with flat lexan faces with translucent vinyl applied graphics. Sign internally illuminated with White LED modules.  
Lower portion: LED fuel pricing sign with Watchfire Gas price LED units and aluminum face with routed out push thru acrylic copy. White LED illumination.  
LED fuel: 8" character- red and green modules.  
Size: 13 1/2" x 27" x 3 1/4"

Sign to be mounted to existing base structure.

MONUMENT SIGN - 11  
N.T.S.

Monument Sign  
Date: 5/05/2021  
Client: Quicklee's  
Address: 196 Oak St. Batavia, NY

This drawing is not to be viewed, modified or printed in any way. It is intended for use only as a guide and is not to be used as a substitute for a contract. All electrical signs require 120V ELEC. TRIG. UNLESS OTHERWISE STATED.

sk/light signs inc.  
60 Industrial Park Circle  
Rochester NY 14624  
Phone 585 594-2500  
Fax 585 594-2525

103" 24'-0" 25" 24"

71" 36"

Sign: 140 sq ft

Channel letters  
Date: 5/05/2021  
Client: Quicklee's  
Address: Batavia, NY

Description:  
(1) Set of internally illuminated face lit LED channel letter flush mounted to building fascia. Channel letters to be constructed of aluminum returns with plastic edge trim and 3/16" acrylic faces with translucent vinyl applied colors.

Colors:  
Blue: Avery 285 C  
Red: Avery Pantone 485 C  
Green: Oracal Lime Tree 063

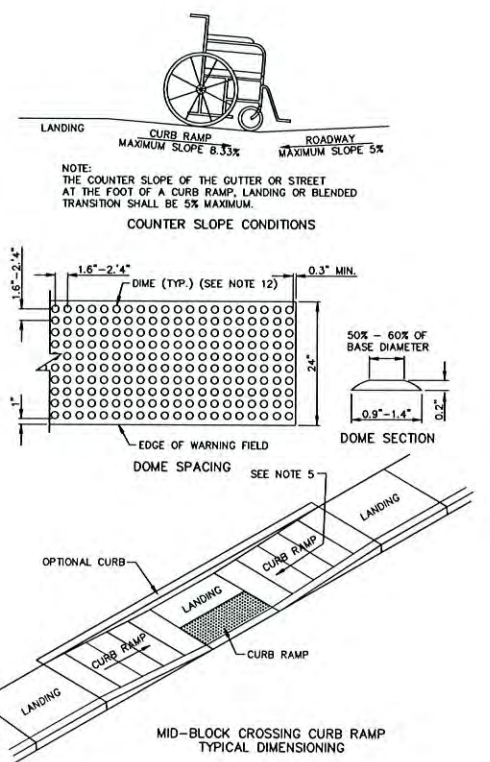
LED Flush Mount

LED Illuminated Letter

CHANNEL LETTERS - 13  
N.T.S.

GENERAL NOTES:

- THE DIMENSIONS AND SLOPES PRESENTED IN THE DETAILS ARE THE MINIMUM NECESSARY TO COMPLY WITH THE ADA AND DOT STANDARDS. ANY DEVIATION LESS THAN THE MINIMUM WIDTH OR GREATER THAN THE MAXIMUM SLOPE FROM THESE STANDARDS MUST BE DOCUMENTED WITH THE STANDARDS BEING MET TO THE GREATEST EXTENT PRACTICABLE AND CONSISTENT WITH THE MOST CURRENT ADAAG.
- REQUIRE THE USE OF DETECTABLE WARNINGS. DETECTABLE WARNINGS ON THIS SHEET ARE SHOWN FOR ILLUSTRATION ONLY.
- THE MINIMUM WIDTH FOR SIDEWALK CURB RAMPS IS 5'-0".
- THE RUNNING SLOPE OF A CURB SHALL BE 1:20 (5%) MINIMUM (PREFERRED) AND 1:12 (8.33%) MAXIMUM.
- WHERE THE SLOPE OF THE ROADWAY EXCEEDS 8.33% THE CURB RAMP LENGTH IS THE LENGTH NECESSARY TO MEET THE EXISTING SIDEWALK. IT IS NOT NECESSARY THAT THE RAMP LENGTH EXCEEDS 15'-0".
- THE CROSS SLOPE OF CURB RAMPS SHOULD BE AS FLAT AS POSSIBLE, NOT TO EXCEED 1:50 (2%). THE CROSS SLOPE AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
- THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING THE FLARES, SHALL BE PLANAR. GRADE BREAKS SHALL BE FLUSH AND PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN.
- RAMP TRANSITIONS BETWEEN WALKS, LANDINGS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX).
- WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED PARALLEL TO THE CURB LINE, SHALL BE PROVIDED.
- LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF 5'-0" BY 5'-0".
- THE RUNNING AND CROSS SLOPES ON LANDINGS AT INTERSECTIONS IS 1:50 (2%) MAXIMUM. THE RUNNING AND CROSS SLOPES AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
- THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING UNIT (THE DOMES AND THE ENTIRE 24" LEVEL SURFACE) IS FOR ILLUSTRATION ONLY.
- THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH IF THE CURB RAMP OR FLUSH SURFACE, EXCLUSIVE OF SIDE FLARES.
- THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP, LANDING OR CURB RAMP AND THE STREET.
- WHERE DOMES ARE ARRANGED RADially THEY MAY DIFFER IN DOME DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON THIS SHEET.
- THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.
- DETECTABLE WARNING LOCATIONS:  
17. DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE OR CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5" TO 9" FROM THE FRONT OF THE CURB OR THE ROADWAY EDGE (12" WHERE TRAVERSABLE CURB IS USED.)



HANDICAP RAMP - 12  
N.T.S.

Preliminary drawing

8'-0" 26"

Sign: 17.33 sq ft each

Canopy Signs  
Date: 5/06/2021  
Client: Quicklee's  
Address: 196 Oak St. Batavia, NY

Description:  
(1) single face LED channel type cloud sign flush mounted to canopy.  
Sign to have a flat lexan face with translucent vinyl applied graphics.

LED Flush Mount

LED Illuminated Letter

Color:  
Returns: Black  
Trim Cap: Black  
Acrylic: White  
LED: White  
Translucent vinyl applied

Colors:  
Blue: Avery 285 C  
Red: Avery Pantone 485 C  
Green: Oracal Lime Tree 063

CANOPY SIGNS - 14  
N.T.S.

DRAWING REVISIONS

ITEM	DATE	DESCRIPTION

DESIGNED BY: PAMB  
DRAWN BY: DLS  
CHECKED BY: WES  
DATE:      

WARNING:  
THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPTING AS PROVIDED IN SECTION 7029 PART 2 OF THE NEW YORK STATE EDUCATION LAW.  
WM. SCHUTT & ASSOCIATES P.C.

WM SCHUTT ASSOCIATES  
37 CENTRAL AVE.  
LANCASTER, NY 14086-2143  
PH: 716-683-5961  
FAX 716-683-0169  
WWW.WMSCHUTT.COM

QUICKLEE'S  
CITY OF BATAVIA  
GENESE COUNTY - NEW YORK  
SITE DETAILS

THIS SHEET ISSUED MAY 27, 2021

C3.2

DRAWING SCALE: NONE

WSA PROJECT NO. 20213



NORTH

### GRADING/PAVING/STORM NOTES

1. ALL WORK TO CONFORM TO THE CITY OF BATAVIA, GENESEE COUNTY AND NYS DOT REQUIREMENTS.
2. CONTRACTOR REQUIRED TO OBTAIN PERMITS FROM THE GENESEE COUNTY DEPARTMENT OF PUBLIC WORKS FOR ANY AND ALL WORK WITHIN THE NOONAN DRIVE ROW AND NYS DOT FOR ANY AND ALL WORK WITHIN OAK STREET ROW.
3. ANY DAMAGE CAUSED BY CONTRACTOR'S OPERATIONS TO EXISTING PAVEMENT, SHOULDERS, DRIVES AND/OR STORM DRAINAGE FACILITIES SHALL BE REPAIRED OR REPLACED IN KIND BY THE CONTRACTOR AND SHALL BE ACCEPTABLE TO THE OWNER OR AGENCY HAVING JURISDICTION.
4. THE CONTRACTOR SHALL TAKE ANY AND ALL PRECAUTIONS NECESSARY TO PROTECT TREES AND SHRUBBERY FROM DAMAGE, UNLESS SPECIFICALLY ORDERED FOR CLEARING. THE CONTRACTOR SHALL PROVIDE AND PLANT REPLACEMENT TREES OR SHRUBBERY AT HIS EXPENSE.
5. THE CONTRACTOR SHALL BE AWARE THAT SOIL CONDITIONS ARE UNKNOWN AND ASSUMED TO VARY AT DIFFERENT DEPTHS AND LOCATIONS.
6. ALL ROAD AND DRIVE CROSSINGS SHALL BE BACKFILLED WITH NO. 2 RUN OF CRUSHER STONE PLACED IN 6-INCH LIFTS AND PROPERLY COMPACTED. SELECT BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF 4- FEET BEYOND EDGE OF PAVEMENT.
7. MANHOLE RIMS AND WATERLINE VALVE BOXES SHALL BE SET AT FINISHED GRADE.
8. DURING GRADING OPERATIONS, EXCAVATION AREAS, EMBANKMENTS AND/OR SUBGRADES SHALL BE SHAPED, SLOPED, PROTECTED AND MAINTAINED TO FACILITATE THE DRAINAGE OF SURFACE WATER. EXISTING DRAINAGE ROUTES AND FACILITIES SHALL BE PROTECTED AND MAINTAINED.
9. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES REGARDING THE PREVENTION AND ABATEMENT OF SOIL EROSION, SEDIMENTATION AND WATER POLLUTION.
10. STORM SEWERS CONSTRUCTED ON SITE SHALL BE CONSTRUCTED USING HEAVY DUTY CORRUGATED POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AS SUPPLIED BY HANCOR, INC. OR EQUAL. PIPE BEDDING MATERIAL SHALL BE NO. 1 WASHED STONE WITH A GRADATION CONFORMING WITH NYS DOT SECTION 703-02. THE CRUSHED STONE SHALL BE WELL GRADED WITH NO PARTICLE LARGER THAN 1" AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
11. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER AND THE CITY OF BATAVIA, BUILDING DEPT. OF ANY HAZARDOUS SUBSTANCE ENCOUNTERED DURING THE CONSTRUCTION OF THE WORK. HE SHALL AT HIS EXPENSE, CONFORM TO ALL LAWS, RULES, REGULATIONS AND DIRECTIONS AS PROMULGATED BY THE UNITED STATES DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION, THE NEW YORK STATE DEPARTMENT OF HEALTH AND ANY SUCH LOCAL RULES, ORDINANCES AND LAWS WHEN ENCOUNTERING OR WORKING WITH ANY SUCH HAZARDOUS SUBSTANCE.
12. THE CONTRACTOR SHALL COMPLY IN ALL RESPECTS TO THE INDUSTRIAL CODE PART (RULE NO.) 53 RELATING TO CONSTRUCTION, EXCAVATION AND DEMOLITION OPERATIONS AT OR NEAR UNDERGROUND FACILITIES, AS ISSUED BY THE STATE OF NEW YORK DEPARTMENT OF LABOR, BOARD OF STANDARD AND APPEALS.
13. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AHEAD OF THE PIPE LAYING OPERATION, SO THAT, IF MINOR ADJUSTMENTS MUST BE MADE IN ELEVATION AND/OR ALIGNMENT DUE TO INTERFERENCE FROM THESE UTILITIES, SAID CHANGES CAN BE MADE IN ADVANCE OF THE WORK.

### GENERAL NOTES:

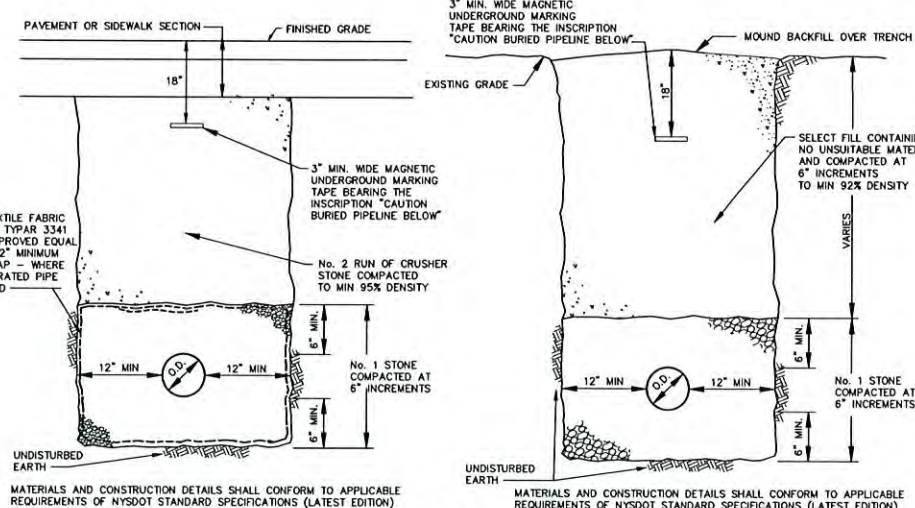
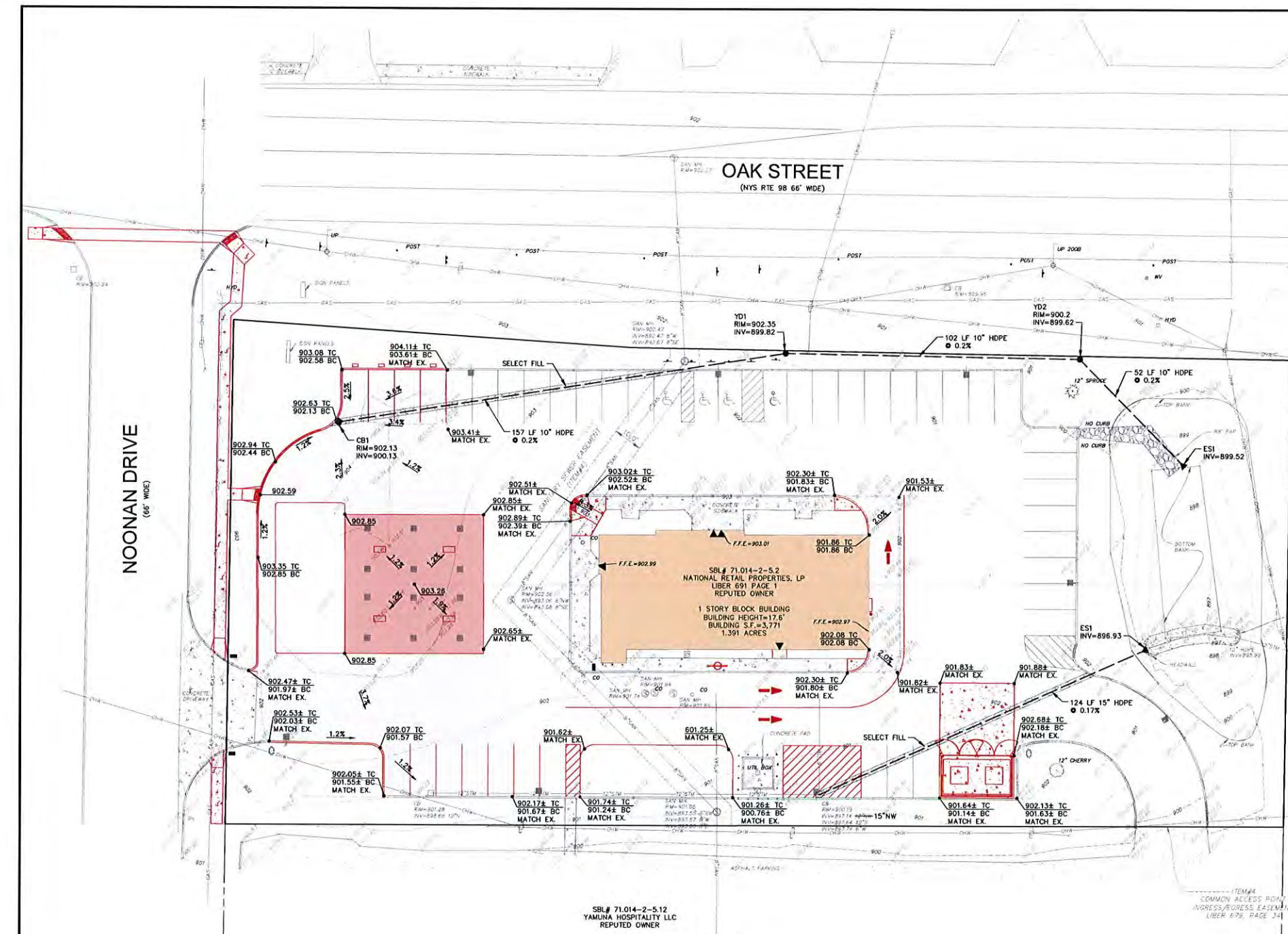
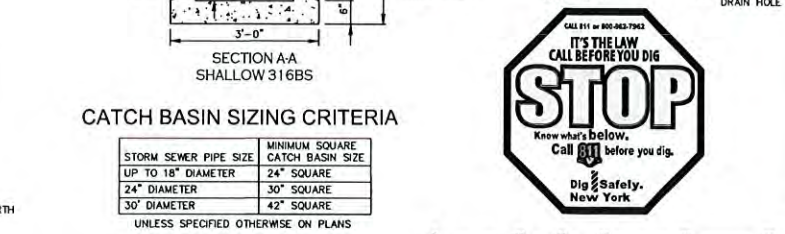
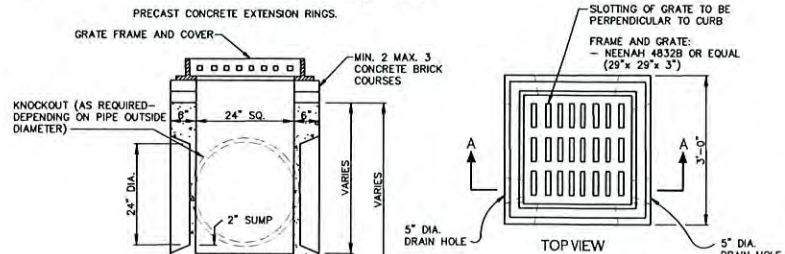
1. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND UTILITY CONNECTIONS.
2. ALL WORK TO CONFORM TO THE CITY OF BATAVIA REQUIREMENTS AND STANDARD SPECIFICATIONS. ANY PERMITS AND/OR LICENSES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.
3. ANY DAMAGE TO EXISTING PAVEMENT, SHOULDER, DRIVES, CURBS, SIDEWALKS, LANDSCAPING AND ETC. WHICH ARE SCHEDULED TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF THE NYS INDUSTRIAL CODE RULE 53 AND THE NYS HIGH VOLTAGE PROXIMITY ACT. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES REGARDING THE PREVENTION, CONTROL AND ABATEMENT OF SOIL EROSION, SEDIMENTATION AND WATER POLLUTION.
5. ALL UNDERGROUND UTILITY TRENCHES UNDER BUILDING FOUNDATION, PAVEMENT, CURBS, SIDEWALKS, AND DRIVES SHALL BE FULLY BACKFILLED WITH NO. 2 RUN OF CRUSHER STONE AND SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
6. ALL NYSDOT CONSTRUCTION GUIDELINES ARE TO BE FOLLOWED FOR ANY CONSTRUCTION TAKING PLACE IN PROXIMITY TO EXISTING GAS LINES.
7. MATERIAL AND CONSTRUCTION DETAILS SHALL CONFORM TO APPLICABLE REQUIREMENTS OF NYSDOT STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 600 - UTILITIES OR AS AMENDED BY OWNER.
8. MATERIAL AND CONSTRUCTION DETAILS SHALL CONFORM TO APPLICABLE REQUIREMENTS OF NYSDOT STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 304 - SUBBASE COURSE AND SECTION 403 HOT MIX ASPHALT PAVEMENT OR AS AMENDED BY OWNER.
9. MATERIAL AND CONSTRUCTION DETAILS SHALL CONFORM TO APPLICABLE REQUIREMENTS OF NYSDOT STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 608 - SIDEWALKS, DRIVEWAYS, BICYCLE PATHS, BRICK PAVING, AND ETC., AND SECTION 609 - CURBING, GUTTERS AND CONCRETE MALL OR AS AMENDED BY OWNER.

### LEGEND

- PROPOSED STORM BASIN
- PROPOSED STORM SEWER PIPE
- ▨ SELECT FILL
- GB GRADE BREAK
- TC TOP OF CURB
- BC BOTTOM OF CURB
- 98.0 — PROPOSED CONTOUR
- 95.0 — EXISTING CONTOUR
- 55.0 — PROPOSED SPOT ELEVATION
- 0.70% — SLOPE AND DIRECTION OF FLOW ALONG MAIN SURFACE FLOW LINE

NOTE: ALL CONCRETE BLOCK TO BE TREATED WITH RHEOMIX OR EQUAL. PARGE INSIDE OF BLOCKS.

NOTE: USE KISTNER CONCRETE PRODUCTS 24" SQ. DROP INLET WITH FRAME AND GRATE (MODEL 316B) OR EQUAL.



TYPICAL TRENCH DETAIL - PAVEMENT

TYPICAL TRENCH DETAIL - EARTH

**CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**IMPORTANT NOTE:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

**IMPORTANT NOTE:**  
CONTRACTOR IS TO CONTACT THE "UNDERGROUND FACILITY PROTECTIVE ORGANIZATION" (1-800-962-7962) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

**QUICKLEE'S**  
CITY OF BATAVIA  
GENESEE COUNTY - NEW YORK

**STORM DRAINAGE, GRADING PLAN, NOTES & DETAILS**

THIS SHEET ISSUED MAY 27, 2021

**C4**

DRAWING SCALE: 1" = 20'

WSA PROJECT NO. 20213

DESIGNED BY: PMB  
DRAWN BY: DLS  
CHECKED BY: WES  
DATE:

WARNING: THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPTING AS PROVIDED IN SECTION 7029, PART OF THE NEW YORK STATE EMBLEM AND SEAL ACT (NYS EMBLEM AND SEAL LAW) AND SECTION 1700, PART OF THE NEW YORK STATE EMBLEM AND SEAL ACT (NYS EMBLEM AND SEAL LAW).  
WM. SCHUTT & ASSOCIATES P.C.

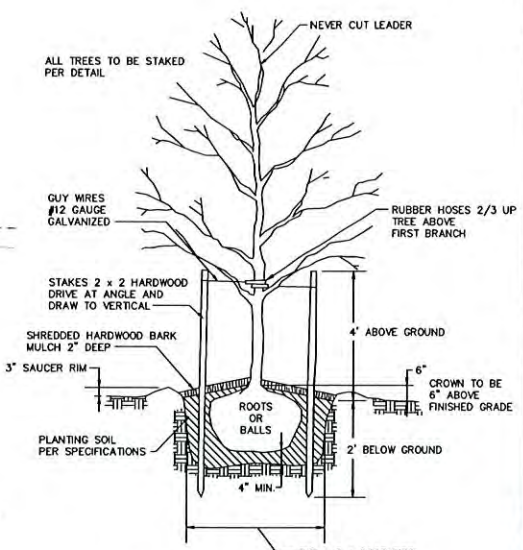
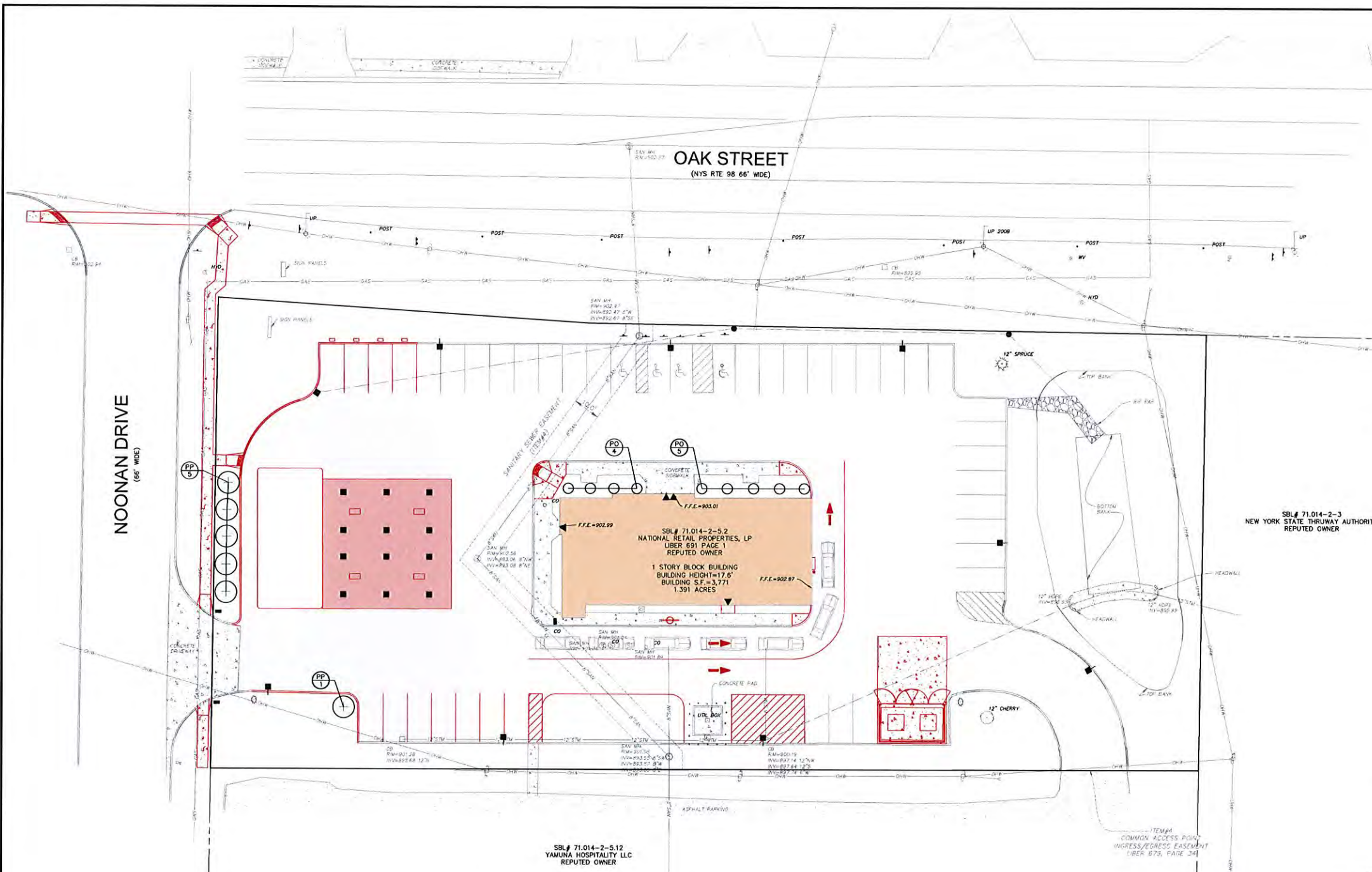
37 CENTRAL AVE.  
LANCASTER, NY 14086-2143  
PH: 716-683-5961  
FAX: 716-683-0169  
WWW.WMSCHUTT.COM



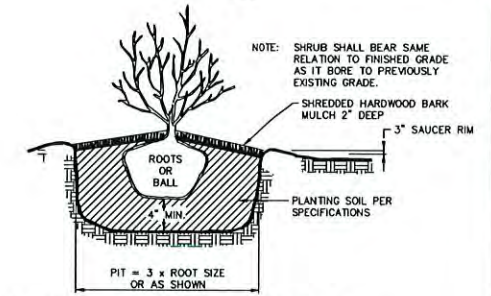








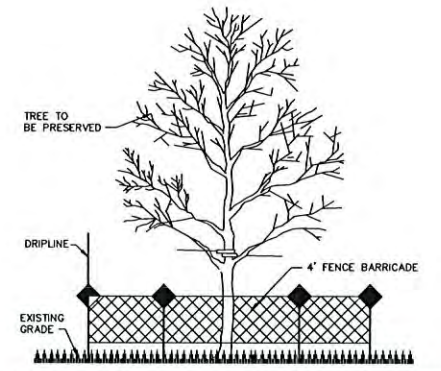
**TREE PLANTING DETAIL**  
N.T.S.



**SHRUB PLANTING DETAIL**  
N.T.S.

**SEED NOTE (FOR ALL DISTURBED, NON-PAVED/NON-PLANTED AREAS)**

- UNLESS RECOMMENDED OTHERWISE BY THE SEED VENDOR OR THE LANDSCAPE CONTRACTOR, PERMANENT GRASS SEEDING SHALL CONSIST OF A MIXTURE OF THE FOLLOWING:
  - KENTUCKY BLUEGRASS = 25% BY WEIGHT (98% MIN. PURITY; 85% MIN. GERMINATION)
  - PENN LAWN RED FESCUE = 25% BY WEIGHT (95% MIN. PURITY; 80% MIN. GERMINATION)
  - TRIPLE CROWN PERENNIAL RYE = 50% BY WEIGHT (95% MIN. PURITY; 90% MIN. GERMINATION)



**TREE PLANTING ZONE**  
N.T.S.

**TREE PROTECTION DURING CONSTRUCTION**

TREE PROTECTION SHALL BE ESTABLISHED, BEFORE ANY CLEARING OR CONSTRUCTION IS BEGUN.

ALL TREES TO BE PRESERVED ARE TO BE CLEARLY MARKED AND PROTECTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. A TREE PROTECTION ZONE IS TO BE ESTABLISHED AROUND EACH TREE OR GROUP OF TREES TO BE SAVED. THE TREE PROTECTION ZONE IS AN AREA AROUND EACH TREE OR GROUP OF TREES WHICH NO CONSTRUCTION ACTIVITY OF ANY KIND IS ALLOWED.

THE TREE PROTECTION ZONE IS CLEARLY DELINEATED WITH TEMPORARY FOUR-FOOT BRIGHT ORANGE POLYPROPYLENE FENCE BARRICADE. THE FENCING IS TO EXTEND AS FAR OUT AS THE BRANCH SPREAD OF THE TREES (SEE EXAMPLE BELOW). TREE PROTECTION SIGNS ARE TO BE PLACED ON THE FENCE BARRICADE.

NO GRADING, FILLING, DITCHING, EQUIPMENT PARKING, OR MATERIAL STORAGE WITHIN THE TREE PROTECTION ZONE. NO CHEMICAL OR CEMENT RINSING WITHIN TREE PROTECTION ZONE. NO BURNING OF TRASH OR DEBRIS WITHIN TREE PROTECTION ZONE.

TO THE GREATEST EXTENT PRACTICAL, UTILITY TRENCHES SHALL BE LOCATED OUTSIDE OR THE TREE PROTECTION ZONE. IF AN UNDERGROUND LINE MUST GO NEAR A TREE, TUNNEL OR AUGER UNDERNEATH MAJOR ROOTS WITHOUT CUTTING THEM.

CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF GROUT, TRUNK, AND LIMB DAMAGE; INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.

**PLANTING LIST - TREES**

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
PP	6	PICEA PUNGENS	COLORADO SPRUCE	6' HGT.	B&B	

**PLANTING LIST - SHRUBS**

PO	9	'DONNA MAY'	DONNA MAY NINEBARK	NO. 3 CONT.		
----	---	-------------	--------------------	-------------	--	--

**CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**IMPORTANT NOTE:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

**IMPORTANT NOTE:**  
CONTRACTOR IS TO CONTACT THE "UNDERGROUND FACILITY PROTECTIVE ORGANIZATION" (1-800-962-7962) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

DRAWING REVISIONS	
ITEM	DESCRIPTION

DESIGNED BY: PMB  
DRAWN BY: DLS  
CHECKED BY: WES  
DATE: \_\_\_\_\_

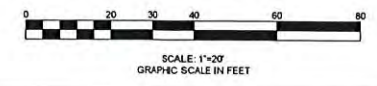


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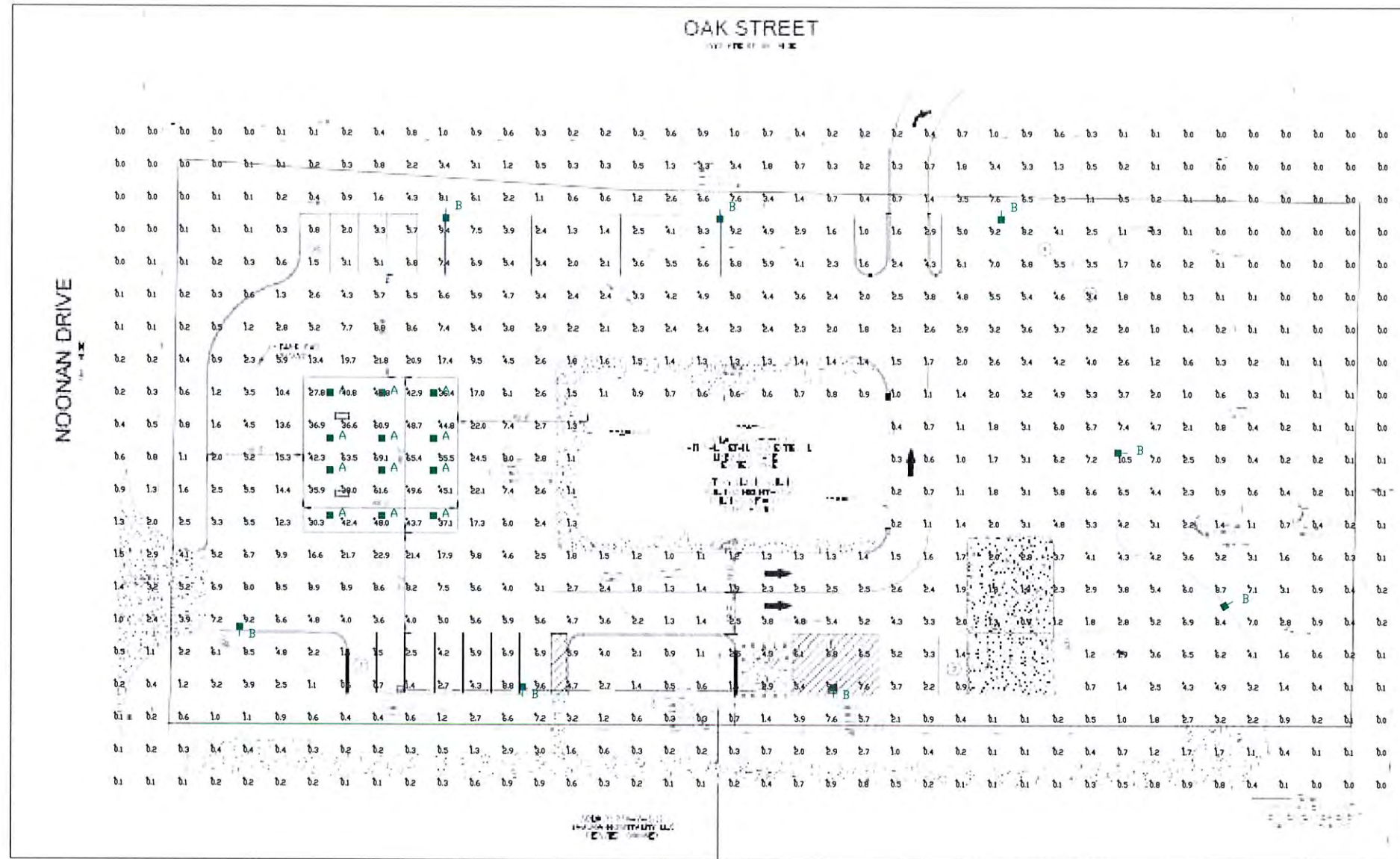
**QUICKLEE'S**  
CITY OF BATAVIA  
GENESEE COUNTY - NEW YORK

**LANDSCAPE PLAN AND DETAILS**

THIS SHEET ISSUED MAY 27, 2021  
**C6**  
DRAWING SCALE: 1" = 20'  
WSA PROJECT NO. 20213







Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts	
■	12	A	SINGLE	SCV-LED-ISL-SC-50 MTD @ 15'	1.000	1.000	1.000	14963	102	
■	8	B	SINGLE	MRM-LED-18L-SIL-FT-50-70CRI-SINGLE-14'POLE+2'BASE	1.000	1.000	1.000	19324	135	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	3.98	69.1	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	46.00	69.1	27.8	1.65	2.49
INSIDE CURB	Illuminance	Fc	4.97	24.5	0.2	24.85	122.50

Drawing scaled or converted from PDF file or scanned / submitted image. Dimensions are approximate.

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts  
Total Watts = 2304

LIGHTING PROPOSAL LO-153703  
 QUICKLESS  
 OAK ST & NOONAN DRIVE  
 BATAVIA, NY  
 DATE: 04-20-21 REV: 0 SHEET 1 OF 1  
 SCALE: 1"=20'



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 6/4/21

Re: 211 1/2 East Main Rear (84.011-1-26.11)

City Council has been petitioned to amend the current zoning ordinance to include 211 1/2 East Main Rear in the abutting C-3, Central Commercial use district.

This parcel is currently designated within the P-2 (medical campus) and abuts the C-3 district along the south lot line.

City Council has requested the Planning and Development Committee review the request and make recommendations for their consideration.

**Review Procedures:**

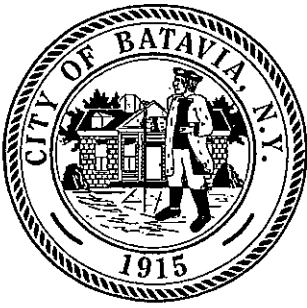
**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

**City Planning and Development Committee-** Pursuant to City Charter chapter 13-3, the Planning and Development Committee shall serve in an advisory capacity to City Council and make recommendations regarding proper use of private lands as outlined in the comprehensive plan.

BMC 190-51 If the PDC fails to file a report within thirty days after referral, the proposed amendment shall be deemed approved, and City Council may proceed.

City Council will be the lead agency to conduct SEQR.





## *Memorandum*

To: Honorable City Council Members

From: Rachael J. Tabelski, MPA, City Manager

Date: June 4, 2021

Subject: Petition to Re-Zone 211 ½ E. Main St.

United Memorial Medical Center (UMMC), affiliated with Rochester Regional Health (RRH) currently owns a parcel of land located at 211 ½ East Main St.

UMMC/RRH has submitted a petition to re-zone this parcel from a P-2 to a C-3 commercial designation as they plan to collaborate with the GLOW YMCA Inc. to build a collaborative Healthy Living Campus. The Healthy Living Campus will span three parcels 213, 211 and 211 ½ East Main St. 213 East Main St. is currently zoned C-3.

Attached is the Petition to Re-Zone for your review, and the current zoning map.

As New York Consolidated Laws, General City Law - GCT § 27 provides City Council with the authority to refer matters to the Planning and Development Committee, I recommend that Council refer this petition to the City of Batavia Planning and Development Committee for review and recommendation.

#-2021

**A RESOLUTION REFERRING THE PETITION TO REZONE 211 ½ EAST MAIN STREET TO THE PLANNING AND DEVELOPMENT COMMITTEE**

**Motion of Councilperson**

**WHEREAS**, the City Council is desirous of reviewing the Batavia Municipal Code, Section §190, in response to a petition from United Memorial Medical Center (UMMC), requesting a parcel, 211 ½ East Main Street, to be re-zoned; and

**WHEREAS**, under the City Charter § 13-3 the City Planning and Development Committee shall have such powers and duties to serve in an advisory capacity and provide such advice as to assist the City Council in developing a strategy that interprets, plans and leads in the implementation of land use matters relating to public and private development within the City of Batavia; and

**WHEREAS**, General City Law - GCT § 27 provides City Council with the authority to refer matters to the Planning and Development Committee requesting reviews and recommendations regarding planning and development within the City of Batavia.

**NOW THEREFORE, BE IT RESOLVED**, that the City Council of the City of Batavia hereby request that the City Planning and Development Committee review a Petition to Re-Zone 211 ½ East Main Street, and make a recommendation to the City Council for consideration.

**Seconded by Councilperson  
and on roll call**

**PETITION TO RE-ZONE**  
**211 1/2 East Main Street , SBL No. 84.11-1-26.11**  
**Batavia, New York**

Rochester Regional Health / United Memorial Medical Center, parcel owners, and Ciurzynski Consulting LLC, the owner's representative, hereby submit the within Petition to Re-zone the above-referenced parcel from P-2 to C-3.

**Background**

We are seeking to have the City of Batavia re-zone one parcel located at 211 1/2 East Main Street, Batavia, NY 14020. The parcel is currently owned by United Memorial Medical Center. We are entering into agreement with the GLOW YMCA to develop 211 and 213 East Main Street for the construction of the GLOW YMCA/ Rochester Regional Health United Memorial Healthy Living Campus which will house the new YMCA and healthy living offices. A portion of the building will extend onto the 211-1/2 parcel. In the future, Parcels 211, 213 and a portion of 211 ½ will be merged to create one parcel for the new YMCA. Rochester Regional Health will retain ownership of the property following the proposed rezone and merge of the property. The property was zoned P-2 for many years given the boiler facility that currently stands on the property was used by the former St. Jerome Hospital and recently by United Memorial Medical Center, and is currently is listed as P-2 on the City of Batavia zoning map. The property is bordered to the south by C-3 zoning. A copy of the existing City zoning map is attached as Exhibit A. The property was most recently used as a boiler and laundry facility, however the building will eventually be demolished to make way for the new GLOW YMCA/Rochester Regional Health United Memorial Healthy living campus and associated parking upon approval of this re-zone request.

### Adjoining Uses

The property is bordered to the south by the C-3 zoning district and is bordered on the north and west by the P-2 district. We have discussed our proposed use with the adjoining property owners at 209 East Main Street, the Glow YMCA (Rochester Regional Health/ United Memorial Medical Center owns the property to the east, north, south and west). Attached as Exhibit B is a petition signed by the owners of the adjoining property, indicating they are in favor of having the property re-zoned to C-3.

### Proposed Future Use

We intend to take the following steps regarding the site at 211-1/2:  
Demolish the existing building located on the property, combine the 211 and 213 properties with a small portion of the 211 ½ property and build the new GLOW YMCA/Rochester Regional Health / United Memorial Medical Center Healthy Living Campus. The remainder of 211 ½ will be for parking.

**WHEREFORE**, Petitioners respectfully request that the City Council of the City of Batavia amend the zoning for 211 1/2 East Main Street, SBL No. 84.11-1-26.11, Batavia, New York to C-3.

DATED: May 26, 2021



\_\_\_\_\_  
Daniel Ireland, President  
Rochester Regional Health / United Memorial Medical Center




\_\_\_\_\_  
David Ciurzynski, Ciurzynski Consulting



STATE OF NEW YORK )  
COUNTY OF Genesee ) SS.:

On the 20 day of May, 2021, before me, personally appeared Daniel Ireland, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



Notary Public

NICHOLE SZYMKOWIAK  
NOTARY PUBLIC-STATE OF NEW YORK

No. 01SZ6364638

Qualified In Genesee County

My Commission Expires 09-18-2021

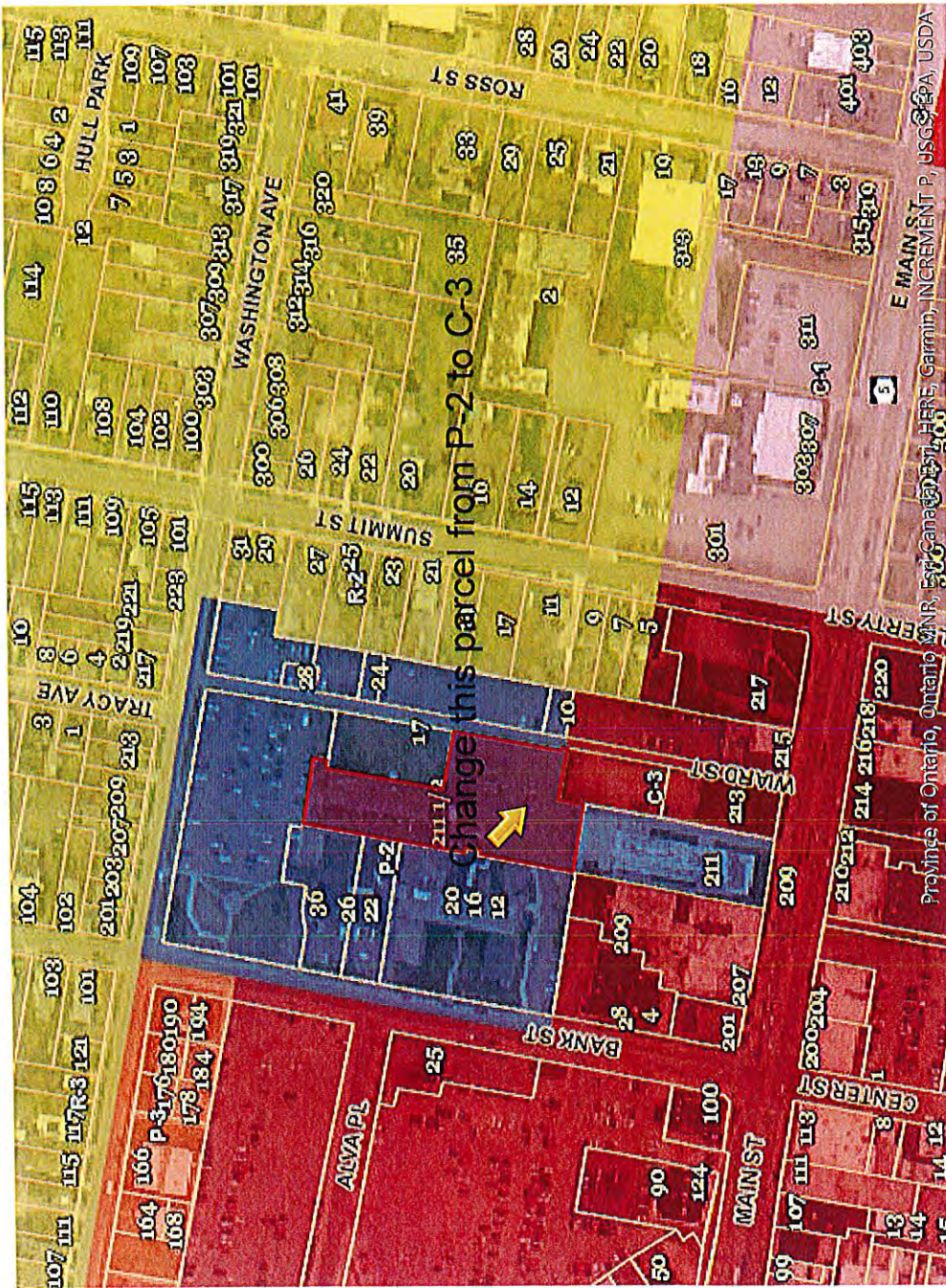
STATE OF NEW YORK )  
COUNTY OF Wyoming ) SS.:

On the 3<sup>rd</sup> day of June, 2021, before me, personally appeared David Ciurzynski, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that by her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



Notary Public

DEBRA L. KIRSCH  
Notary Public  
State of N.Y. Wyoming  
My Commission Expires 09-18-2023



107 111 115 117R-3 121 101  
 104 103 102 201 203 207 209 213 217 219 221 223 101  
 104 166 P-3 176 180 190  
 168 173 184 194

ALVA PL  
 25  
 90  
 124  
 100  
 MAIN ST  
 107 111 113 200 204  
 13 14 12 15

IRAGAY AVE  
 3 8 6 1 4 2 19 21 217 218 101  
 10 115 113 111 109 105 106 101  
 31 29 27 25 23 21 20  
 R2-5  
 24 22 20  
 30 26 22 P-2 20 16 12 17 10 9 7 5  
 211 1/2  
 211 213 215 217  
 C-3  
 209 207 209 210 218 220  
 210 212

SUNNYSIDE ST  
 300 306 303  
 20 24 22 20  
 312 314 316 320 41 39  
 WASHINGTON AVE  
 307 309 313 317 319 321 101 101

BANK ST  
 28 4 201 207 209  
 210 212 214 216 218 220  
 GERRYST  
 109 107 111 113 8 1 13 14 12 15

ROSS ST  
 16 14 12 11 9 7 5  
 2 25 21 20  
 29 28 26 24 22 20  
 33 313 10 18  
 17 16 12 10 7 3  
 303 307 C-1 311 315 310  
 401 403

MAIN ST  
 301 303 307 C-1 311 315 310  
 17 16 12 10 7 3  
 401 403

WARD ST  
 217 215 213 209 207 209 210 218 220  
 210 212

LIBERTY ST  
 214 216 218 220  
 210 212

E MAIN ST  
 17 16 12 10 7 3  
 401 403



**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part I is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Re-zone of 211 1/2 East Main Rear, Batavia		
Project Location (describe, and attach a general location map): 211 1/2 East Main Rear, Batavia, NY 14020		
Brief Description of Proposed Action (include purpose or need): Change zoning use district from P-2 (medical campus) to C-3 (Central Commercial)		
Name of Applicant/Sponsor: David Ciurzynski, owner rep.		Telephone: 585-344-1664
		E-Mail: ciurzynski.consulting@gmail.com
Address: PO Box 102		
City/PO: Attica	State: New York	Zip Code: 14011
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Rochester Regional Health/United Memorial Medical Center		Telephone:
		E-Mail:
Address: 127 North		
City/PO: Batavia	State: NY	Zip Code: 14020

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Batavia City Council	
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No  <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) If Yes, identify the plan(s): _____ _____ _____	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? If Yes, identify the plan(s): _____ _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No



**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

Change in zoning \_\_\_\_\_  
\_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? C-3 \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? City of Batavia \_\_\_\_\_

b. What police or other public protection forces serve the project site?  
City of Batavia, Genesee County, NYS \_\_\_\_\_

c. Which fire protection and emergency medical services serve the project site?  
City of Batavia \_\_\_\_\_

d. What parks serve the project site?  
City of Batavia \_\_\_\_\_

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
\_\_\_\_\_

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres

b. Total acreage to be physically disturbed? \_\_\_\_\_ acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,  
 i. Total number of structures \_\_\_\_\_  
 ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length  
 iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,  
 i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:  
 i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:  
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
  
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

• Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

• Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No  
 If Yes:  
 i. Estimate methane generation in tons/year (metric): \_\_\_\_\_  
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No  
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No  
 If Yes:  
 i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.  
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_  
 iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_  
 iv. Does the proposed action include any shared use parking?  Yes  No  
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_  
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No  
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No  
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No  
 If Yes:  
 i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_  
 iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.  
 i. During Construction:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_  
 ii. During Operations:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_



m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration: \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_



s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_  
\_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
\_\_\_\_\_

iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_  
\_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No

If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No

If Yes:

i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No  
 If Yes:  
 i. Species and listing (endangered or threatened): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 If Yes:  
 i. Species and listing: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name David R. Ciurzynski Date 6.7.2021

Signature  Title Owner Representative