

# PLANNING & DEVELOPMENT COMMITTEE

Tuesday, June 18, 2019

6:00 pm

Council Board Room

One Batavia City Centre, Batavia NY

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## AGENDA

- I. Roll Call
- II. Call to Order
- III. Approval of Minutes – 6/18/19
- IV. Proposals

**Address:** 15 Oak St.  
**Applicant:** James Pontillo (owner)

Proposal 1: Area Variance to widen an existing 24' wide asphalt driveway by placing an additional 15' of asphalt paving for parking on the north side of the existing driveway in the front yard of this property

Actions: 1. Review application  
2. Discussion and recommendation to the ZBA

**Address:** 400 Ellicott St.  
**Applicant:** James Pontillo (owner)

Proposal 2: Area Variance to place an additional asphalt parking area parallel to Swan St. on this property located within the Business Improvement District

Actions: 1. Review application  
2. Discussion and recommendation to the ZBA

**Address:** 219 East Main St.  
**Applicant:** Scott Neff (owner)

Proposal 3: Erect a fence on this property that is located within the Business Improvement District (BID)

Actions: 1. Review application  
2. Discussion and action by the board

**Address:** 113-119 Main St.  
**Applicant:** Joe Condidorio (contractor)

Proposal 4: Amend a previously issued building permit to allow for exterior alterations of the front (north) elevation of the commercial building located within the BID

Actions: 1. Review application  
2. Discussion and action by the board

**Address:** 376 Bank St.  
**Applicant:** Colin Dailey (owner)

Proposal 5: Subdivide this existing residential use parcel into two separate parcels

Actions: 1. Review application  
2. Public hearing  
3. SEQR  
4. Discussion and action by the board

**Address:** 20 Florence Ave.  
**Applicant:** Jake Maurer (contractor for owner)

Proposal 6: Site Plan Review for a proposed 8,875 sq.' pre-engineered metal building addition to an existing structure. The addition will be used as a storage space for bare metal products used in manufacturing processes

Actions: 1. Review application  
2. Public hearing  
3. SEQR  
4. Discussion and action by the board

V. Other/ New Business/Updates

VI. Setting of Next Meeting: August 20, 2019

VII. Adjournment

# PLANNING & DEVELOPMENT COMMITTEE

## *DRAFT MINUTES*

**June 18, 2019**

**6:00 pm**

Council Board Room

One Batavia City Centre, Batavia NY

Members present: *Matt Gray, Robert Knipe, Duane Preston*

Members absent: Edward Flynn, Tammy Hathaway

Others present: Meg Chilano – Recording Secretary, Doug Randall – Code Enforcement Officer

### **I. Roll Call**

Roll call of the members was conducted. Three members were present and Chairman Duane Preston declared a quorum.

### **II. Call to order**

Mr. Preston called the meeting to order at 6:02 pm.

### **III. Previous Meeting Minutes**

There were no corrections to the minutes. Mr. Preston assumed the motion and the minutes were approved as written by unanimous consent.

**RESULT: Approval of May 21, 2019 meeting minutes.**

### **IV. Proposals**

- A. Area Variance to widen an existing 24' side asphalt driveway by placing an additional 15' of asphalt paving for parking on the north side of the existing driveway in the front yard of this property

Address: *15 Oak St.*

Applicant: James Pontillo (owner)

- Actions: 1. Review application  
2. Discussion and recommendation to the ZBA

#### **1. Review Application**

Applicant was not in attendance. Board put proposal aside.

- B. Area variance to place an additional asphalt parking area parallel to Swan Street on this property located within the Business Improvement District

**Address:** *400 Ellicott St.*

**Applicant:** James Pontillo (owner)

- Actions: 1. Review application  
2. Discussion and recommendation to the ZBA

### **1. Review Application**

Applicant was not in attendance. Board put proposal aside.

- C. Preliminary Plat for the subdivision of parcel #72.017-3-2.1. The applicant requests the PDC review and conditionally approve the preliminary plat in preparation for a final plat submittal that will be presented to the PDC within one year of conditional approval

Address: *Clinton Gardens Subdivision Carolwood Dr. – Harrold Sq.*

Applicant: Robert Pidanick (agent for owner)

- Actions: 1. Review application  
2. Discussion and action by the board

### **1. Review Application**

Mr. Preston read the summary of the proposal. Mr. Pidanick, Senior Project Manager for Nussbaumer and Clark Engineers, explained that on behalf of Batavia Homes and Development they are seeking input from the board for a sketch plan on a project that was approved by the City of Batavia 25 years ago. Mr. Pidanick said the project lay dormant for years while the owner focused on his business.

It is proposed to extend the existing Carolwood Drive and Harrold Square, connecting two dead ends with 460' of street. Public utilities will be included. The result will create an additional five lots.

Mr. Pidanick indicated that the project will not vary from the original design; they wish to update the approvals and obtain SEQR approval.

### **2. Discussion and Action by the Board**

Mr. Gray asked if there are any design changes, and Mr. Pidanick answered that the lots are a bit wider in one section, but they meet the City requirements for R-1 zoning.

Mr. Gray asked at what point the streets and utilities will be dedicated to the City. Mr. Pidanick responded that it will happen when the map cover and file is recorded.

Mr. Preston noted that there is already one fire hydrant and one light pole and asked if there will be any others. Mr. Pidanick replied that they will comply with whatever spacing of lights and hydrants is required.

Mr. Knipe observed that there are trees between the back of the lots and a field and asked if they will remain. Mr. Pidanick pointed out that the trees belong to a neighboring property.

Mr. Preston asked about drainage. Mr. Pidanick said they will probably add some rear yard drainage to catch water that runs downhill where there is a natural grade to the east. Mr. Pidanick pointed out that the State has developed more stringent laws since the project first



began and now there may be a need for a stormwater retention system that was not originally designed.

**MOTION:** Mr. Gray moved to conditionally approve the Clinton Gardens Subdivision preliminary plat; the motion was seconded by Mr. Knipe, and on roll call, was approved 3-0.

**RESULT: Preliminary plat conditionally approved.**

- D. Sketch Plan Review for a proposed 8,875 sq.' pre-engineered metal building addition to an existing structure. The addition will be used as a storage space for bare metal products used in manufacturing processes

Address: 20 Florence Ave.

Applicant: Jake Maurer (contractor for owner)

- Actions: 1. Review application  
2. Discussion and action by the board

## 2. Review Application

Mr. Preston read the summary of the proposal. Paul Thompson, Thompson Builds, was available to speak about the project. He stated that they have been hired to design and construct a warehouse to store metal products that are currently being stored outside.

Mr. Thompson said that the building will be set on existing asphalt and they are not increasing or decreasing any impervious areas. Also, there is current storm drainage to the west of the site which will take the roof leaders and runoff from the building.

The building will look similar to other ones on the site.

Mr. Preston asked if it is possible to get from one building to the other without going outside, and Mr. Thompson answered that there is an overhead door that will remain open to allow vehicles to drive through.

Mr. Gray pointed out that the building will be located in the middle of the campus and not visible to anyone except someone in the cemetery.

Mr. Gray asked about lighting, and Mr. Thompson said there will be a wall pack.

**MOTION:** Mr. Knipe moved to approve the Sketch Plan; the motion was seconded by Mr. Gray, and on roll call, was approved 3-0.

**RESULT: Sketch Plan approved.**

V. **Other/New Business/Updates:** none

VI. **Setting of Next Meeting:** July 16, 2019

## VII. Adjournment

Mr. Gray moved to adjourn the meeting at 6:29 p.m.; the motion was seconded by Mr. Preston. All voted in favor.

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Meg Chilano  
Bureau of Inspection Secretary



## GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID C-12-BAT-7-19  
Review Date 7/11/2019

Municipality BATAVIA, C.  
Board Name CITY PLANNING AND DEVELOPMENT COMM.  
Applicant's Name Colin Dailey  
Referral Type Subdivision: Final  
Variance(s) \_\_\_\_\_  
Description: Minor Subdivision to divide one parcel into two.  
  
Location 376 Bank St., Batavia  
Zoning District Residential (R-1A) District

### PLANNING BOARD DECISION

**APPROVAL**

### EXPLANATION:

The proposed subdivision should pose no significant county-wide or inter-community impact.

Director

July 11, 2019

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.



## GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID C-11-BAT-7-19  
Review Date 7/11/2019

Municipality BATAVIA, C.  
Board Name CITY PLANNING AND DEVELOPMENT COMM.  
Applicant's Name Joe Condidorio (contractor)  
Referral Type Downtown Design (Site Plan) Review  
Variance(s) \_\_\_\_\_  
Description: Downtown Design (Site Plan) Review to make exterior changes to an existing commercial building.  
  
Location 113-119 Main St. (NYS Rts. 5 & 33), Batavia  
Zoning District Central Commercial (C-3) District

### PLANNING BOARD DECISION

**APPROVAL**

### EXPLANATION:

The proposed exterior changes adhere to downtown design guidelines and should pose no significant county-wide or inter-community impact.

Director

July 11, 2019

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.



## GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID C-09-BAT-7-19  
Review Date 7/11/2019

Municipality	<b>BATAVIA, C.</b>
Board Name	<b>CITY PLANNING AND DEVELOPMENT COMM.</b>
Applicant's Name	<b>Scott Neff</b>
Referral Type	<b>Downtown Design (Site Plan) Review</b>
Variance(s)	
Description:	<b>Downtown Design (Site Plan) Review to erect a 6 ft. vinyl fence.</b>
Location	<b>219 E. Main St. (NYS Rts. 5 &amp; 33), Batavia</b>
Zoning District	<b>Central Commercial (C-3) District</b>

### PLANNING BOARD DECISION

**APPROVAL**

### EXPLANATION:

The proposed fence should pose no significant county-wide or inter-community impact.

Director

July 11, 2019

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.



## GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID C-15-BAT-7-19  
Review Date 7/11/2019

Municipality	<b>BATAVIA, C.</b>
Board Name	<b>CITY PLANNING AND DEVELOPMENT COMM.</b>
Applicant's Name	<b>Jake Maurer of Thompson Builds</b>
Referral Type	<b>Site Plan Review</b>
Variance(s)	
Description:	<b>Site Plan Review to construct an 8,875 sq. ft. addition to an existing storage building for an existing manufacturing plant (Graham Manufacturing).</b>
Location	<b>20 Florence Dr., Batavia</b>
Zoning District	<b>Industrial (I-1) District</b>

### PLANNING BOARD DECISION

**APPROVAL**

### EXPLANATION:

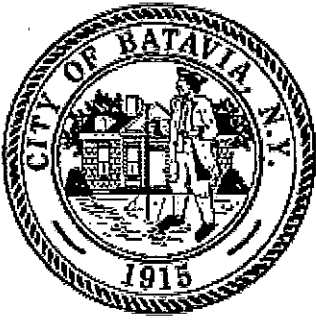
The proposed addition should pose no significant county-wide or inter-community impact.

Director

July 11, 2019

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee  
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 5/31/19

Re: 15 Oak St.  
Tax Parcel No. 84.006-4-32

Zoning Use District: R-3

The applicant, James Pontillo (owner), has applied for a permit to widen an existing 24' wide asphalt driveway by placing an additional 15' of asphalt paving for parking on the north side of the existing driveway in the front yard of this property .

**Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (13).**

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of a state road or highway.

**City Planning and Development Committee-** Pursuant to section 190-49 C. of the zoning ordinance, the Planning and Development Committee shall review and make recommendations to the ZBA for applications that include parking variances.

**Zoning Board of Appeals-** Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) **BMC Sec. 190-39 E (1) The width of driveways shall not exceed 25% of the lot frontage.**

	<u>Permitted</u>	<u>Existing</u>	<u>Proposed</u>	<u>Difference</u>
Driveway width	18'	24'	39'	21' (between permitted and proposed)

SEND OR DELIVER TO:  
GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) 815-7901

DEPARTMENT USE ONLY:  
GCDP Referral # \_\_\_\_\_



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) PDC and ZBA  
Address One Batavia City Centre  
City, State, Zip Batavia, NY 14020  
Phone (585) 345 - 6327 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name James Pontillo  
Address 5593 Griswold Rd.  
City, State, Zip Byron, NY 14422  
Phone (585) 993 - 5593 Ext. \_\_\_\_\_ Email pontillo.properties@gmail.com

MUNICIPALITY:  City  Town  Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |   |  |   |
|---|--|---|
| <input checked="" type="checkbox"/> Area Variance | <input type="checkbox"/> Zoning Map Change         | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance             | <input type="checkbox"/> Zoning Text Amendments    | <input type="checkbox"/> Preliminary          |
| <input type="checkbox"/> Special Use Permit       | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final                |
| <input type="checkbox"/> Site Plan Review         | <input type="checkbox"/> Other: _____              |   |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

A. Full Address 15 Oak St.  
B. Nearest intersecting road Raymond Ave  
C. Tax Map Parcel Number 84.006-4-32  
D. Total area of the property \_\_\_\_\_ Area of property to be disturbed \_\_\_\_\_  
E. Present zoning district(s) R-3

**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
BMC 190-39 (1)

C. Please describe the nature of this request Approval to expand front yard parking area to exceed 25% of frontage

**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments  | <input type="checkbox"/> New or updated comprehensive plan     |
| <input checked="" type="checkbox"/> Site plan         | <input type="checkbox"/> Location map or tax maps    | <input checked="" type="checkbox"/> Photos                     |
| <input type="checkbox"/> Subdivision plot plans       | <input type="checkbox"/> Elevation drawings          | <input checked="" type="checkbox"/> Other: <u>Cover letter</u> |
| <input type="checkbox"/> SEQR forms                   | <input type="checkbox"/> Agricultural data statement |  |

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. \_\_\_\_\_  
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drrandall@batavianewyork.com





CITY OF BATAVIA  
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.: 19-10  
Hearing Date/Time: \_\_\_\_\_

APPLICANT: JAMES D. PONTILLO PONTILLO.PROPERTIES@GMAIL.COM  
Name E-Mail Address  
5593 GRISWOLD ROAD (585) 993.5593  
Street Address Phone Fax  
BYRON NEW YORK 14422  
City State Zip

STATUS:  Owner  Agent for Owner  Contractor

OWNER: - SAME -  
Name E-Mail Address  
Street Address Phone Fax  
City State Zip

LOCATION OF PROPERTY: 15 OAK STREET

DETAILED DESCRIPTION OF REQUEST: TO ALLOW VEHICLES TO BE ABLE TO TURN AROUND AND NO LONGER HAVE TO BACK INTO THE CONGESTED TRAFFIC ON RT. 98. THIS WILL MAKE IT SAFER FOR ALL.

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

[Signature] \_\_\_\_\_ Date MAY 29, 2019

Owner's Signature \_\_\_\_\_ Date \_\_\_\_\_

To be Filled out by Zoning Officer

TAX PARCEL: 84.006-4-32 ZONING DISTRICT: R-3 FLOOD PLAIN: AE

TYPE OF APPEAL:  Area Variance  Use Variance  Interpretation  Decision of Planning Committee  
FEE:  \$50 (One or Two Family Use)  \$100 (All other Uses)

Provision(s) of the Zoning Ordinance Appealed: BMC 190-39(1) Parking areas and driveways shall not exceed 1/4 the frontage when located in a front yard.

**PAID**  
MAY 30 2019  
CITY OF BATAVIA  
CLERK-TREASURER



Permit No. \_\_\_\_\_  
Date: \_\_\_\_\_

### DRIVEWAY AND PARKING SPACE PERMIT \$10 fee – Please attach Survey / Illustration

ADDRESS OF PROPERTY: 15 OAK STREET

OWNER: JAMES D. PONTILLO JAMESPONTILLO\_JP@GMAIL.COM  
Name E-mail Address  
5543 GRISWOLD ROAD (585) 993.5593  
Street Address Phone  
BYRON NEW YORK 14422  
City State Zip

CONTRACTOR: - SELF -  
Name E-mail Address  
Street Address Phone  
City State Zip

 APRIL 30, 2019  
Owner/Contractor's Signature Date

DIMENSIONS OF EXISTING DRIVEWAY: Width 20' Length 85'

DIMENSIONS OF NEW DRIVEWAY / ADDITION: Width 15' Length 20'

SURFACE MATERIAL: Existing BLACK-TOP Proposed BLACK-TOP

*To be filled out by Zoning Enforcement Officer*

TAX PARCEL: 84.006-4-32 ZONING DISTRICT: R-3 SURVEY: \_\_\_\_\_  
DIMENSIONS OF LOT: Lot Frontage 72' Front Yard 72'  
PERCENTAGE OF LOT FRONTAGE: \_\_\_\_\_ SURFACE MATERIAL: Asphalt  
APPROVED: \_\_\_\_\_ AREA VARIANCE:  GRADE PLAN: \_\_\_\_\_  
ISSUING OFFICER: \_\_\_\_\_ DATE: \_\_\_\_\_

*18' Permitted.  
24' Existing.  
39' Proposed (15' additional)*



## Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.

NO


2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. NO

3. **Substantiality.** The requested area variance is not substantial. NO

4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.

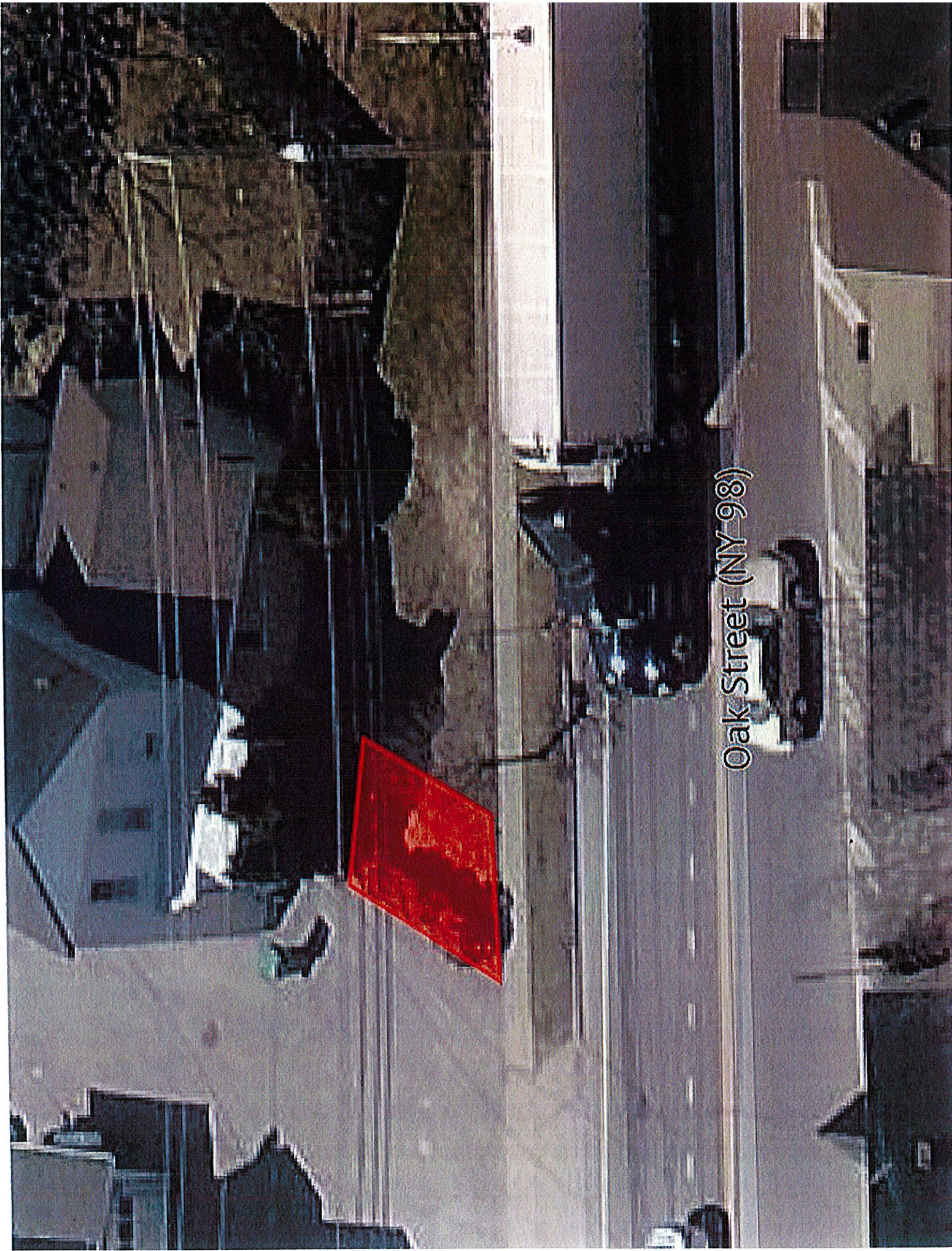
NO

5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title. NO

  
Applicant's Signature

MAY 29, 2019  
Date





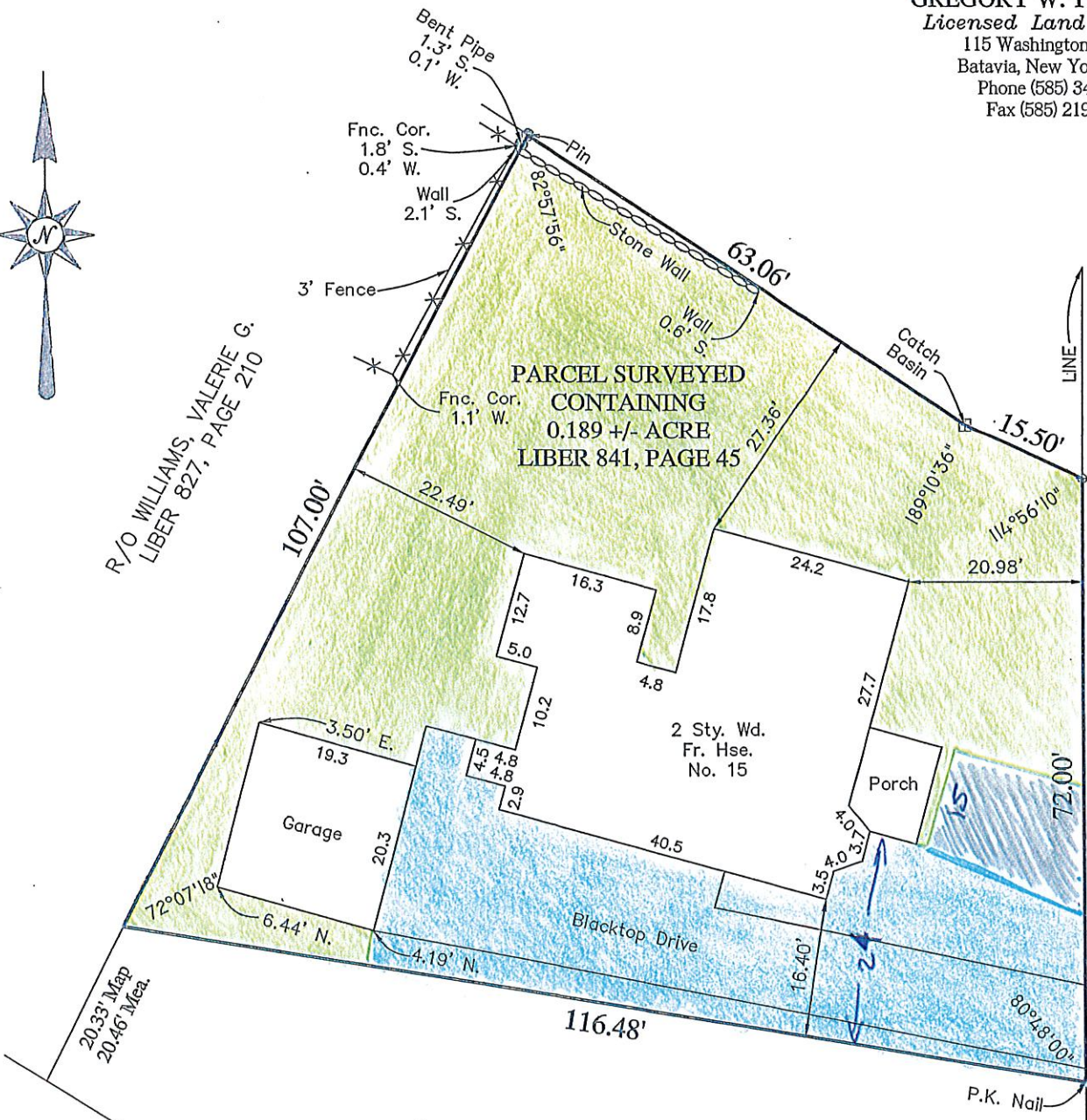
Oak Street (NY 98)



GREGORY W. TOWNSEND  
 Licensed Land Surveyor  
 115 Washington Avenue  
 Batavia, New York 14020  
 Phone (585) 344-1331  
 Fax (585) 219-4313



R/O WILLIAMS, VALERIE G.  
 LIBER 827, PAGE 210



PARCEL SURVEYED  
 CONTAINING  
 0.189 +/- ACRE  
 LIBER 841, PAGE 45

2 Sty. Wd.  
 Fr. Hse.  
 No. 15

RAYMOND PLACE

R/O DWYER, CHRISTOPHER J. &  
 DANIELLE R.  
 LIBER 908, PAGE 434

OAK STREET - ROUTE 98 (66.0' R.O.W.)

- LEGEND
- EXISTING IRON STAKE
  - ◆ DRILL HOLE

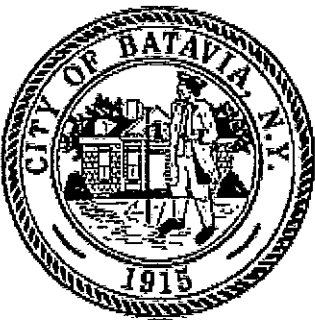
REFERENCE

SURVEY MAP NO. 84-387 BY THOMAS F. DUTTON, L.S., DATED OCT. 31, 1984

FIRST AMMENDED MAP OF THE EDWARD J. DELLINGER SUBDIVISION FILED AT BOOK 4 OF MAPS, PAGE 185

- EXISTING GRASS
- EXISTING BLACK-TOP
- PROPOSED BLACK-TOP

BOUNDARY SURVEY SHOWING THE PARCEL  
 TO BE CONVEYED BEING PART OF VILLAGE



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee  
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 5/31/19

Re: 400 Ellicott St.  
Tax Parcel No. 84.074-2-1

Zoning Use District: C-3

The applicant, James Pontillo (owner), has applied for a permit to place an additional asphalt parking area parallel to Swan St. on this property located within the Downtown Business Improvement District.

**Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (13).**

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of a state road or highway

**City Planning and Development Committee-** Pursuant to section 190-49 C. of the zoning ordinance, the Planning and Development Committee shall review and make recommendations to the ZBA for applications that include parking variances.

**Zoning Board of Appeals-** Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) **BMC 190-39 B (1)(a)** All parking spaces shall be located behind or to the side of the principal building.

SEND OR DELIVER TO:  
GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) 815-7901

DEPARTMENT USE ONLY:  
GCDP Referral # \_\_\_\_\_



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) PDC and ZBA  
Address One Batavia City Centre  
City, State, Zip Batavia, NY 14020  
Phone (585) 345 - 6327 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name James Pontillo  
Address 5593 Griswold Rd.  
City, State, Zip Byron, NY 14422  
Phone (585) 993 - 5593 Ext. \_\_\_\_\_ Email pontillo.properties@gmail.com

MUNICIPALITY:  City  Town  Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |   |  |   |
|---|--|---|
| <input checked="" type="checkbox"/> Area Variance | <input type="checkbox"/> Zoning Map Change         | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance             | <input type="checkbox"/> Zoning Text Amendments    | <input type="checkbox"/> Preliminary          |
| <input type="checkbox"/> Special Use Permit       | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final                |
| <input type="checkbox"/> Site Plan Review         | <input type="checkbox"/> Other: _____              |   |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

A. Full Address 400 Ellicott St.  
B. Nearest intersecting road Swan St.  
C. Tax Map Parcel Number 84.074-2-1  
D. Total area of the property \_\_\_\_\_ Area of property to be disturbed \_\_\_\_\_  
E. Present zoning district(s) C-3

**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
BMC 190-39 B (1)(a)

C. Please describe the nature of this request Approval to place a parking area in front of a principal building located within the C-3 (BID) district.

**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments  | <input type="checkbox"/> New or updated comprehensive plan     |
| <input checked="" type="checkbox"/> Site plan         | <input type="checkbox"/> Location map or tax maps    | <input checked="" type="checkbox"/> Photos                     |
| <input type="checkbox"/> Subdivision plot plans       | <input type="checkbox"/> Elevation drawings          | <input checked="" type="checkbox"/> Other: <u>Cover letter</u> |
| <input type="checkbox"/> SEQR forms                   | <input type="checkbox"/> Agricultural data statement |  |

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. \_\_\_\_\_  
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com





CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.:
Hearing Date/Time:

APPLICANT: JAMES D. PONTILLO PONTILLO.PROPERTIES@GMAIL.COM
Name E-Mail Address
5593 GRISWOOD ROAD (585) 993.5593
Street Address Phone Fax
BYRON NEW YORK 14422
City State Zip

STATUS: [X] Owner \_\_\_ Agent for Owner \_\_\_ Contractor

OWNER: -SAME-
Name E-Mail Address
Street Address Phone Fax
City State Zip

LOCATION OF PROPERTY: ADD ELLICOTT STREET NEAR.

DETAILED DESCRIPTION OF REQUEST: EXTEND DRIVE-WAY ALONG
PROPERTY SO VEICHTALS ARE NO LONGER BROCKING
SIDE-WALK. THIS WOULD MAKE IT SAFER FOR ALL.

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Applicant's Signature Date MAY 29, 2019

Owner's Signature Date

To be Filled out by Zoning Officer

TAX PARCEL: 84.074-2-1 ZONING DISTRICT: C-3 FLOOD PLAIN: AH

TYPE OF APPEAL: [X] Area Variance \_\_\_ Use Variance \_\_\_ Interpretation \_\_\_ Decision of Planning Committee
FEE: \_\_\_ \$50 (One or Two Family Use) [X] \$100 (All other Uses)

Provision(s) of the Zoning Ordinance Appealed: BMC 190-39 B(1)(a) All parking spaces shall be located behind or to the side of the principal bldg.





Permit No. \_\_\_\_\_

Date: \_\_\_\_\_

**DRIVEWAY AND PARKING SPACE PERMIT**  
\$10 fee – Please attach Survey / Illustration

ADDRESS OF PROPERTY: 400 ELLICOTT STREET 12 GAR

OWNER: JAMES D. PONTILLO PONTILLO.PROPERTIES@GMAIL.COM  
Name E-mail Address

5593 GRISWOLD ROAD (585) 993.5593  
Street Address Phone

BYRON NEW YORK 14422  
City State Zip

CONTRACTOR: - SAME -  
Name E-mail Address

Street Address Phone

City State Zip

[Signature]  
Owner/Contractor's Signature

MAY 29, 2019  
Date

DIMENSIONS OF EXISTING DRIVEWAY: Width 20' Length 13.3'

DIMENSIONS OF NEW DRIVEWAY / ADDITION: Width 39.2' Length 8.15'

SURFACE MATERIAL: Existing BLACK-TOP Proposed BLACK-TOP

*To be filled out by Zoning Enforcement Officer*

TAX PARCEL: 84.074-2-1 ZONING DISTRICT: C-3 SURVEY: \_\_\_\_\_

DIMENSIONS OF LOT: Lot Frontage \_\_\_\_\_ Front Yard \_\_\_\_\_

PERCENTAGE OF LOT FRONTAGE: \_\_\_\_\_ SURFACE MATERIAL: \_\_\_\_\_

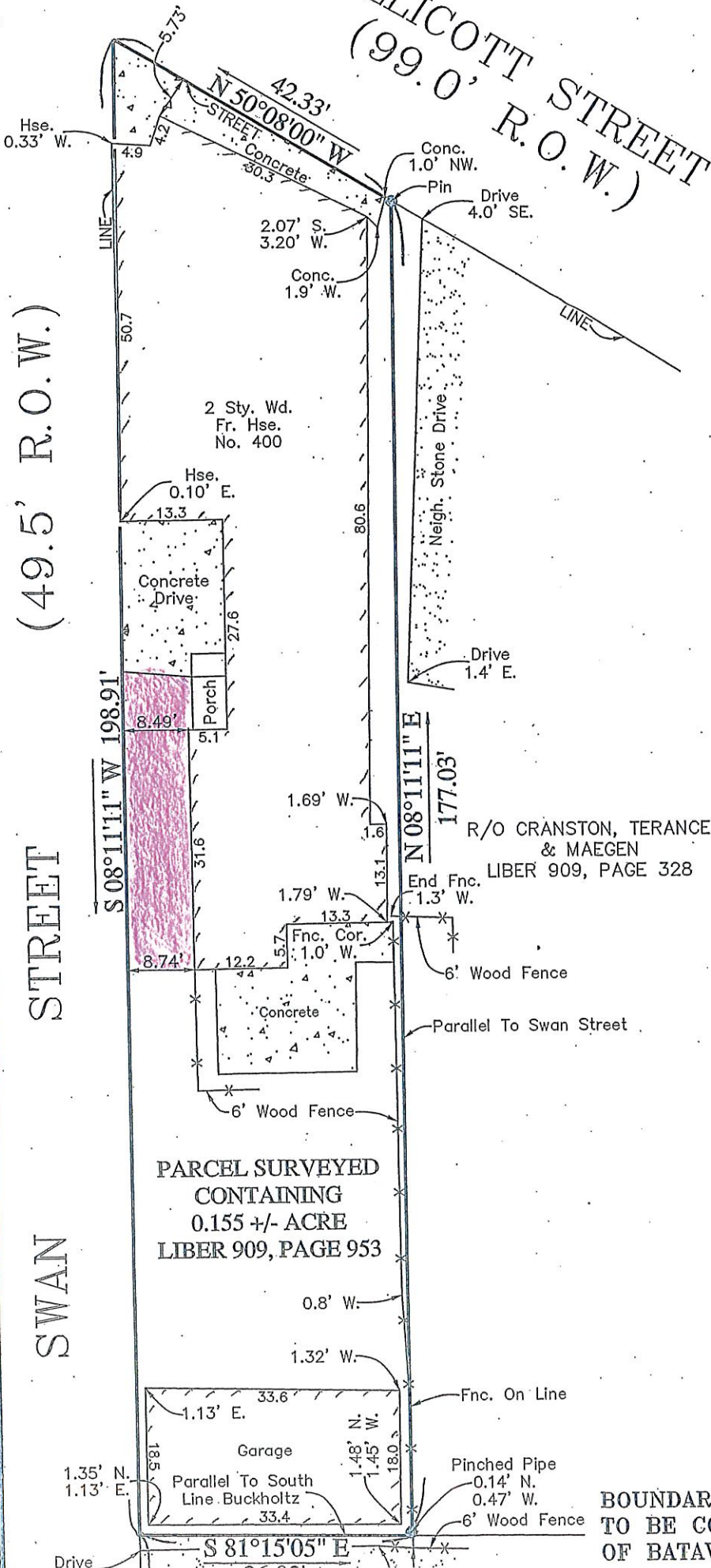
APPROVED: \_\_\_\_\_ AREA VARIANCE: \_\_\_\_\_ GRADE PLAN: \_\_\_\_\_

ISSUING OFFICER: \_\_\_\_\_ DATE: \_\_\_\_\_



ELLICOTT STREET  
 (99.0' R.O.W.)

SWAN STREET  
 (49.5' R.O.W.)



LEGEND  
 ● EXISTING IRON STAKE

"UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."

"ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES."

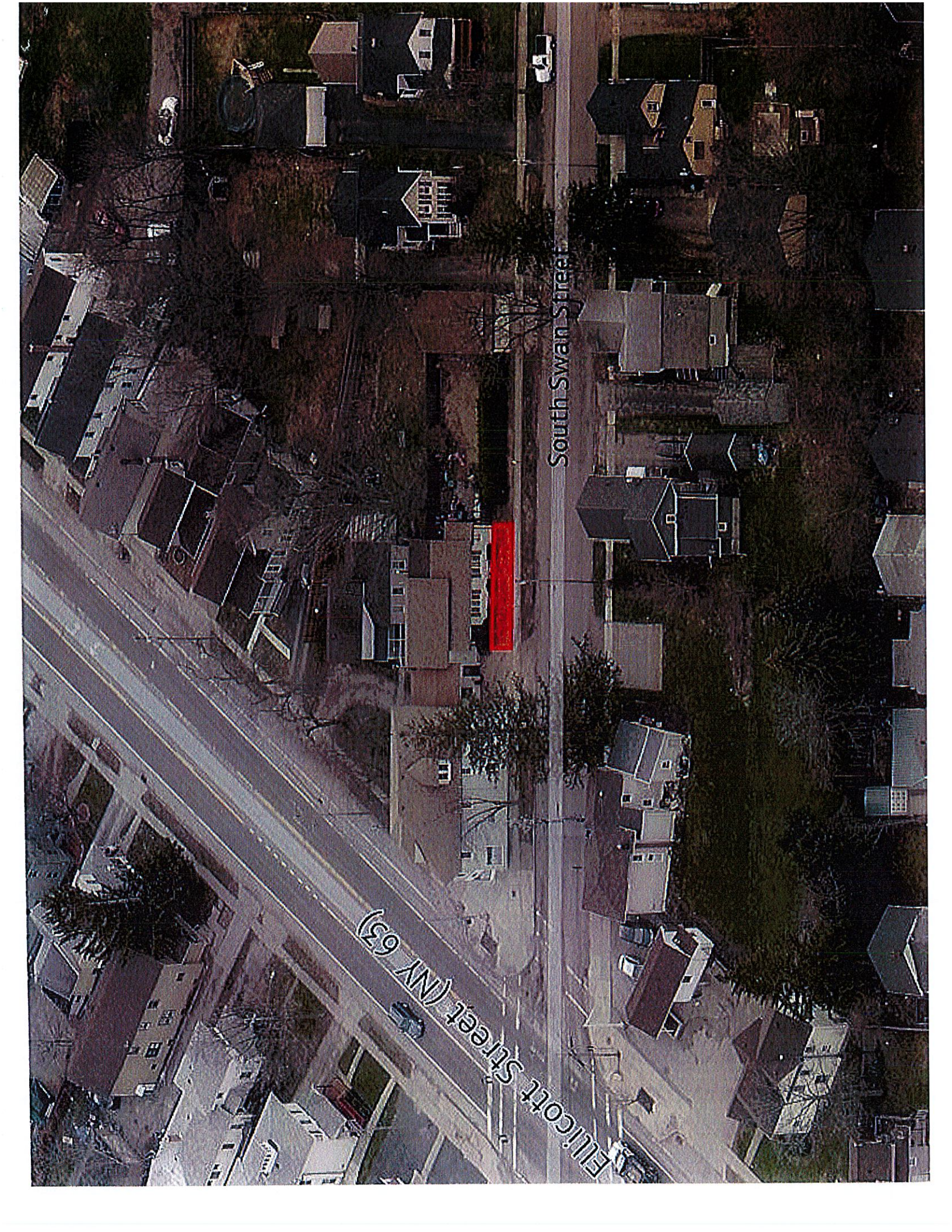
"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATION SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS/HER BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATION ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

R/O CRANSTON, TERANCE & MAEGEN  
 LIBER 909, PAGE 328

PARCEL SURVEYED  
 CONTAINING  
 0.155 +/- ACRE  
 LIBER 909, PAGE 953

BOUNDARY SURVEY SHOWING THE PARCEL TO BE CONVEYED. SITUATE IN THE CITY OF BATAVIA, COUNTY OF GENESEE AND

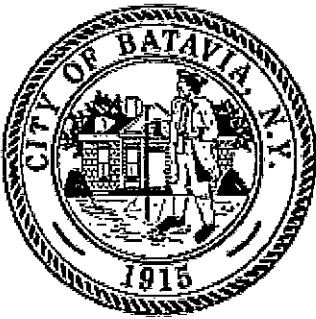




South Swan Street

Ellicott Street (NY 63)





*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 6/11/19

Re: **84.011-1-21**  
Tax Parcel No. 219 East Main St.

Zoning Use District: C-3

The applicant, Scott Neff (owner), has filed an application to erect a fence on this property that is located within the Business Improvement District.

**Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (10).**

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway

**City Planning and Development Committee-** Pursuant to section 190-14 D (2)(a) of the zoning ordinance, the Planning and Development Committee shall review applications for building permits that involve exterior changes on properties located within the Business Improvement District.

SEND OR DELIVER TO:  
GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) 815-7901

DEPARTMENT USE ONLY:  
GCDP Referral # \_\_\_\_\_



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) Planning and Development Committee

Address One Batavia City Centre

City, State, Zip Batavia, NY 14020

Phone (585) 345 - 6327 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name Scott Neff

Address 219 East Main St.

City, State, Zip Batavia, NY 14020

Phone (585) 344 - 1262 Ext. \_\_\_\_\_ Email \_\_\_\_\_

MUNICIPALITY:  City  Town  Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Area Variance      | <input type="checkbox"/> Zoning Map Change                      | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance       | <input type="checkbox"/> Zoning Text Amendments                 | <input type="checkbox"/> Preliminary          |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update              | <input type="checkbox"/> Final                |
| <input type="checkbox"/> Site Plan Review   | <input checked="" type="checkbox"/> Other: <u>Permit in BID</u> |   |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

A. Full Address 219 East Main St.

B. Nearest intersecting road Summit St.

C. Tax Map Parcel Number 84.011-1-21

D. Total area of the property \_\_\_\_\_ Area of property to be disturbed \_\_\_\_\_

E. Present zoning district(s) C-3 (BID)

**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
\_\_\_\_\_

C. Please describe the nature of this request Approval to place a 6' vinyl fence on a portion of this property  
\_\_\_\_\_  
\_\_\_\_\_

**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments  | <input type="checkbox"/> New or updated comprehensive plan     |
| <input checked="" type="checkbox"/> Site plan         | <input type="checkbox"/> Location map or tax maps    | <input checked="" type="checkbox"/> Photos                     |
| <input type="checkbox"/> Subdivision plot plans       | <input type="checkbox"/> Elevation drawings          | <input checked="" type="checkbox"/> Other: <u>Cover letter</u> |
| <input type="checkbox"/> SEQR forms                   | <input type="checkbox"/> Agricultural data statement | _____  |

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. \_\_\_\_\_

Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com

DATE: 5/24/19

APPLICANT NAME & PHONE: Scott Neff

**Project Location and Information** **Permit #:** **Fee:**

Address of Project: 219 East main St. 84.011-1-21

Owner & Address: Scott Neff and Mark Woodward

Phone: 585-344-1262

**Project Type/Describe Work**

Estimated cost of work: 3954.00 Start date: \_\_\_\_\_

Describe project:  
to furnish & install 82' of 6' weather-wise white fence on 5x5 post w/ french gothic caps. All post are set 40" in cement & are filled w/ cement.

**Contractor Information** – Insurance certificates (liability & workers comp) required being on file OK

**GENERAL**

Name/Address: Excel Fence Inc.

Phone: 585-547-2227

**PLUMBING (City of Batavia Licensed Plumber Required)**

Name/Address: \_\_\_\_\_

Phone: \_\_\_\_\_

**HEATING**

Name/Address: \_\_\_\_\_

Phone: \_\_\_\_\_

**ELECTRICAL (Third Party Electrical Inspection Required)**

Name/Address: \_\_\_\_\_

Phone: \_\_\_\_\_

**FOR OFFICE USE ONLY**

Zoning District: \_\_\_\_\_ Flood Zone: \_\_\_\_\_ Corner Lot: \_\_\_\_\_ Historic District/Landmark: \_\_\_\_\_

Zoning Review: \_\_\_\_\_ Variance Required: \_\_\_\_\_ Site Plan Review: \_\_\_\_\_ Other: \_\_\_\_\_

National Grid Sign Off (Pools): \_\_\_\_\_ Lot Size: 62 x 223

Existing Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_

Proposed Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_



# PROPOSAL

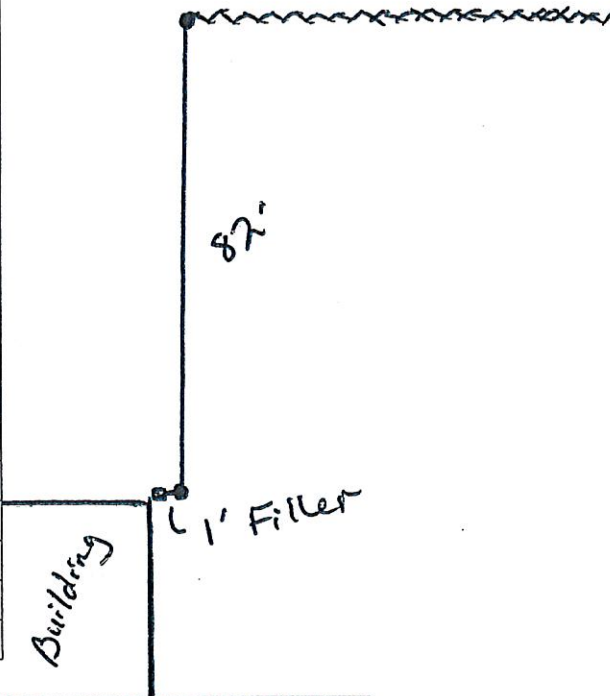
**EXCEL FENCE INC.**  
 10760 Alleghany Road  
 DARIEN CENTER, NY 14040  
 Phone (585) 547-2227 Fax (585) 547-2237  
 www.excellfence.com

3948

Name: Ameriptise Financial Home Phone: 716-553-5907 Work Phone: \_\_\_\_\_ Date: 5-21-1  
 Address: 219 E. Main St City: Batavia, N.Y State: 14020 Cross St.: \_\_\_\_\_

WOOD FENCE
Material
Height
Total Ft.
Fence Style
Gates
Post Style
CHAIN LINK
Color
Height
Total Ft.
Gates
ORNAMENTAL
Style
Color
Caps
Height
Gates
Total Ft.
PVC Weather-wise
Style <u>Cambridge</u>
Color <u>white</u>
Caps <u>French-Gothic</u>
Height <u>6'</u>
Gates <u>-</u>
Total Ft. <u>82'</u>

Furnish + Install 82' of 6' weather-wise (Cambridge) style white on 5"x5" post w/ French gothic caps. All post are set 40" in cement and are filled w/ cement.



CONDITIONS
Stakes
Plot/Survey
Steep Grade
SPECIAL NOTES
Follow Ground
Level
1" Above
Rails In/Out
PREP NECESSARY
Line to be Clear
Remove Old Fence
Haul Away
Holes Thru
Gates

TERMS
Total <u>\$3,954.00</u>
Deposit <u>-</u>
Balance on Completion <u>\$3,954.00</u>

- DIRT FROM POT HOLES REMAINS ON SITE, REMOVAL CONSIDERED AN EXTRA CHARGE
- Conditions: A service charge of 1/2% per month will be charged if not paid in full upon completion of job. This is an annual rate of 18%.
- Customer installment monies (30%) will be used the next business day to purchase materials relating to this job. The balance of said price is due upon completion unless otherwise set forth.
- Notice of cancellation: Owner may cancel this transaction, without penalty or obligation, within 3 business days, from the date above.
- Property owner responsible for survey and/or permits.
- Underground locators only mark major utilities, therefore it is the customer's responsibility to locate and mark personal utilities including, but not limited to drain tile, sprinklers, electric, etc.
- EXCEL FENCE INC. assumes no liability for damage to personal or unmarked underground utilities.
- PLEASE READ REVERSE FOR ALL TERMS AND CONDITIONS.

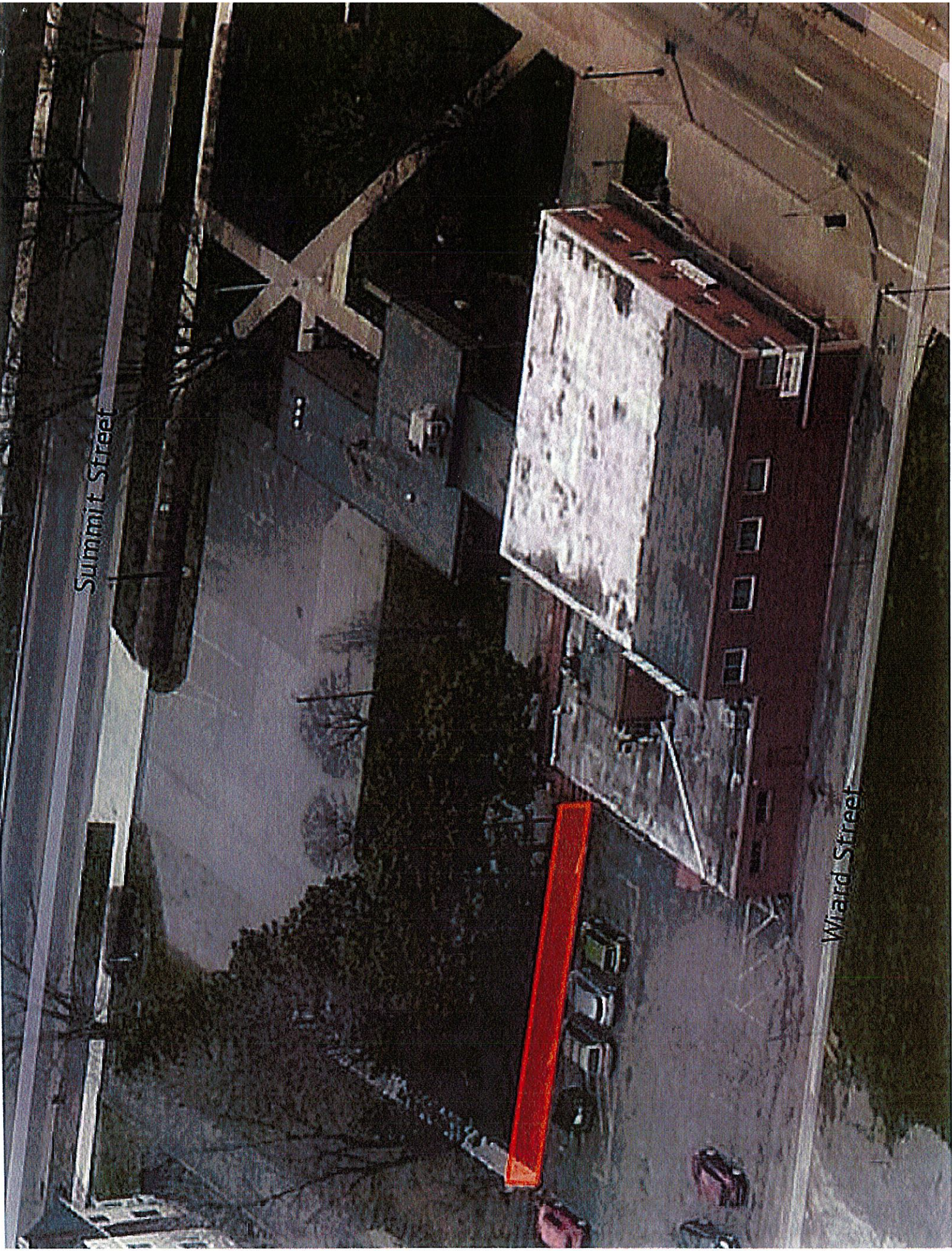
PLEASE PAY OUR FOREMAN UPON COMPLETION.

Owner's Signature \_\_\_\_\_ Sold By: [Signature]  
 Owner's Signature \_\_\_\_\_ Accepted By: \_\_\_\_\_  
 Date: \_\_\_\_\_ Date: \_\_\_\_\_





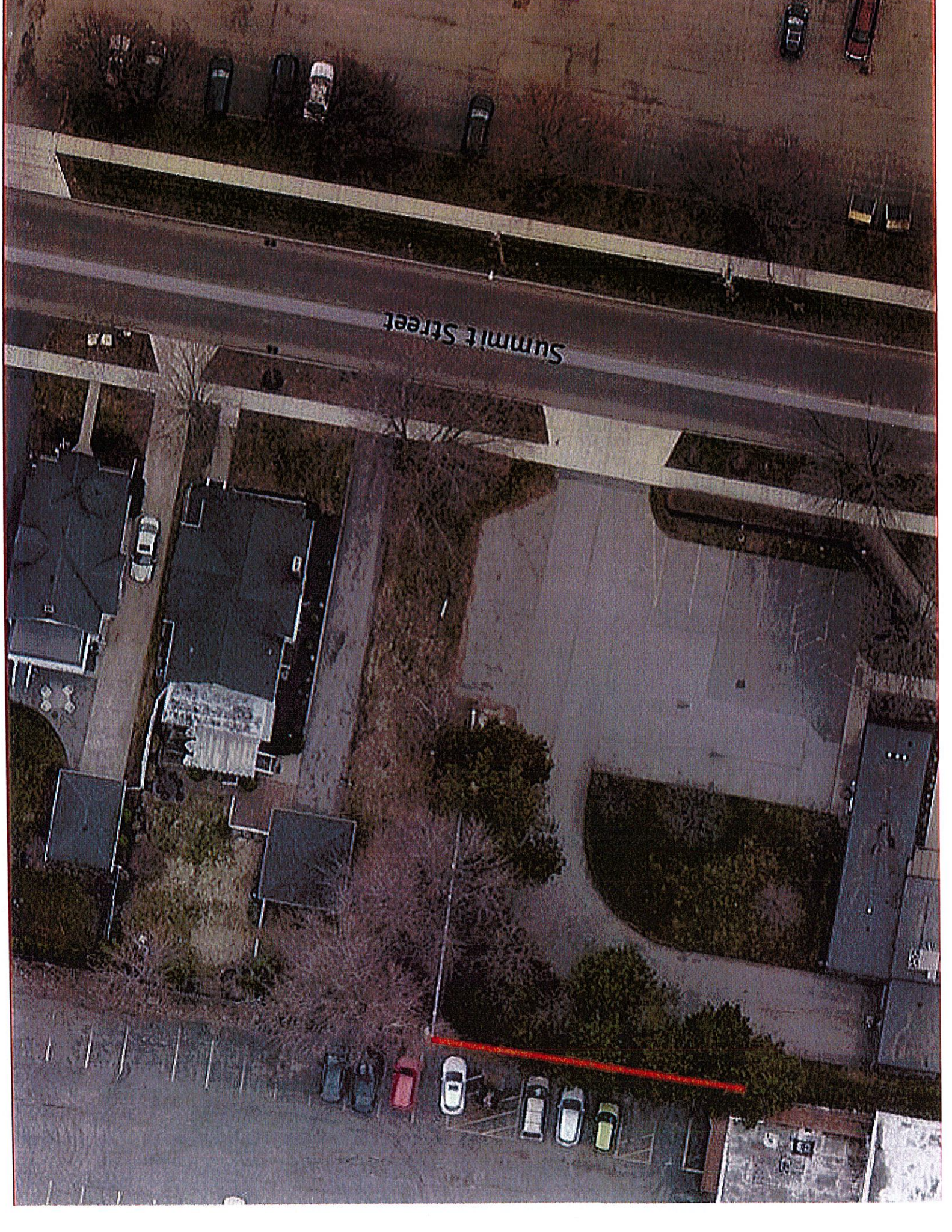




Summit Street

Ward Street





Summit Street



N/F  
215 EAST MAIN PROPERTIES LLC  
L.896 D.209  
S.B.L. #84.011-1-23

FORMERLY  
215 EAST MAIN STREET, INC.  
L.315 D.33

BRICK 2  
STORY

N/F  
MATTHEW R. BUCKLEY  
L.910 D.347  
S.B.L. #84.011-1-20

FORMERLY  
CARL F. COLANTONIO  
L.403 D.943

9 R = 148.50' D&M  
82.50' D&M

PARCEL SURVEYED  
= 0.703 ACRE  
S.B.L. #84.011-1-22

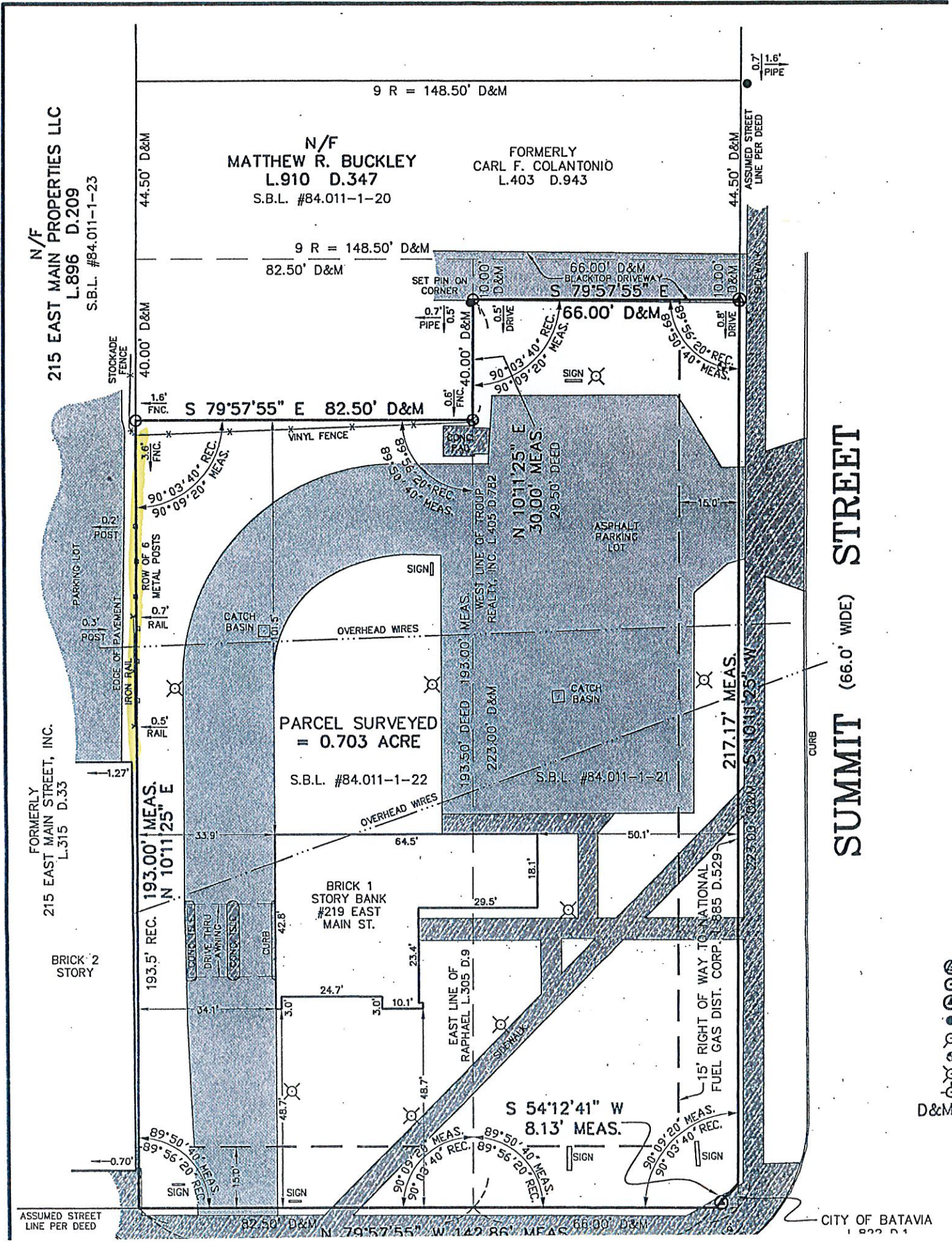
BRICK 1  
STORY BANK  
#219 EAST  
MAIN ST.

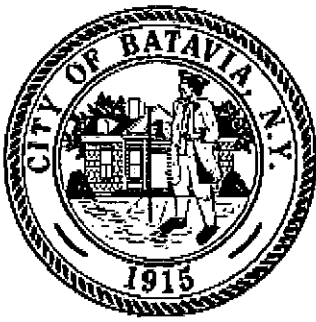
S 54°12'41" W  
8.13' MEAS.

SUMMIT STREET (66.0' WIDE)

ASSUMED STREET  
LINE PER DEED

CITY OF BATAVIA  
L.822 D.1





*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 6/27/19

Re: **113-119 Main St.**  
Tax Parcel No. 84.049-1-26

Zoning Use District: C-3

The applicant, Joe Condidorio (contractor) has requested an amendment to a previously issued building permit to allow for exterior alterations of the front (north) elevation of the commercial building located within the Business Improvement District.

**Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (10).**

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of right of way of a state road or highway.

**City Planning and Development Committee-** Pursuant to section 190-14 D. (2) (a) of the zoning ordinance, the Planning and Development Committee shall, prior to permit issuance, review all building permit applications involving exterior changes to buildings located within the BID.

**SEND OR DELIVER TO:**

GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) 815-7901



**DEPARTMENT USE ONLY:**  
GCDP Referral # \_\_\_\_\_

**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) Planning and Development Committee  
Address One Batavia City Centre  
City, State, Zip Batavia, NY 14020  
Phone (585) 345 - 6327 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name Joe Condidorio (contractor)  
Address 1504 Scottsville Rd.  
City, State, Zip Rochester, NY 14623  
Phone (585) 328 - 7100 Ext. \_\_\_\_\_ Email \_\_\_\_\_

MUNICIPALITY:  City  Town  Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Area Variance      | <input type="checkbox"/> Zoning Map Change                                | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance       | <input type="checkbox"/> Zoning Text Amendments                           | <input type="checkbox"/> Preliminary          |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update                        | <input type="checkbox"/> Final                |
| <input type="checkbox"/> Site Plan Review   | <input checked="" type="checkbox"/> Other: <u>Exter. permit BID revie</u> |   |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

A. Full Address 113-119 Main St.  
B. Nearest intersecting road Center St.  
C. Tax Map Parcel Number 84.049-1-26  
D. Total area of the property \_\_\_\_\_ Area of property to be disturbed \_\_\_\_\_  
E. Present zoning district(s) C-3 (BID)

**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
\_\_\_\_\_

C. Please describe the nature of this request Approval to perform exterior changes to a commercial building located within the Business Improvement District.

**6. ENCLOSURES –** Please enclose copy(s) of all appropriate items in regard to this referral

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments    | <input type="checkbox"/> New or updated comprehensive plan     |
| <input type="checkbox"/> Site plan                    | <input type="checkbox"/> Location map or tax maps      | <input checked="" type="checkbox"/> Photos                     |
| <input type="checkbox"/> Subdivision plot plans       | <input checked="" type="checkbox"/> Elevation drawings | <input checked="" type="checkbox"/> Other: <u>Cover letter</u> |
| <input type="checkbox"/> SEQR forms                   | <input type="checkbox"/> Agricultural data statement   |  |

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. \_\_\_\_\_  
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com





# City of Batavia

One Batavia City Centre  
Batavia, NY 14020

Date: 5/14/2019

Expiration Date: 5/14/2020

Permit No. B19-000108

Applicant Tompkins Insurance Agencies Address 90 Main St, 'Batavia, '14020

Permit for Interior Alterations 0 Story 0 Number of Dwelling Units 0

At (Location) 113-119 Main Zoning District C-3 Central Commercial

Parcel ID: 84.049-1-26 Lot Size: \_\_\_\_\_ Flood Zone: C

Building is to be \_\_\_\_\_ Ft. wide by \_\_\_\_\_ Ft. long by \_\_\_\_\_ Ft. in height and shall conform in construction to type Commercial - Alteration

Use Group \_\_\_\_\_ Basement Walls or Foundation \_\_\_\_\_

### Description of Work

Interior build out per plans submitted and approved.

Area or Volume \_\_\_\_\_ Estimated Cost \$95,000.00 Permit Fee \$320.00

Owner Tompkins Insurance Agencies Contractor Whitney East Inc

Address 90 Main St ', 'Batavia, NY 14020

Issuing Officer Ronald G. Pamer

Minimum of three called inspections required for all construction work:  
1. Foundations or Footings  
2. Prior to covering structural members (ready for lath or finish covering)  
3. Final inspection before occupancy

Approved plans must be retained on job until Final inspection is made. Where a Certificate of Occupancy is required such building shall not be occupied until Final Inspection has been made.

Where applicable separate permits are required for Electrical, Plumbing and Mechanical installations

**PAID**  
**JUN 13 2019**  
CITY OF BATAVIA  
CLERK-TREASURER

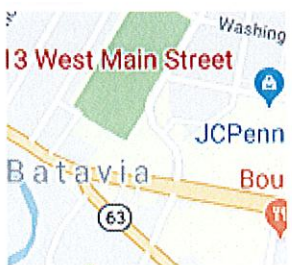
Google Maps Batavia, New York



Image capture: Jul 2018 © 2019 Google

Google

Street View - Jul 2018







PROPOSED PLAN - MASSING PERSPECTIVE RENDERED

SCALE:



**FACADE & ENTRANCE DESIGN OPTIONS**  
TOMPKINS INSURANCE AGENCIES  
113 MAIN STREET  
BATAVIA, NY 14020

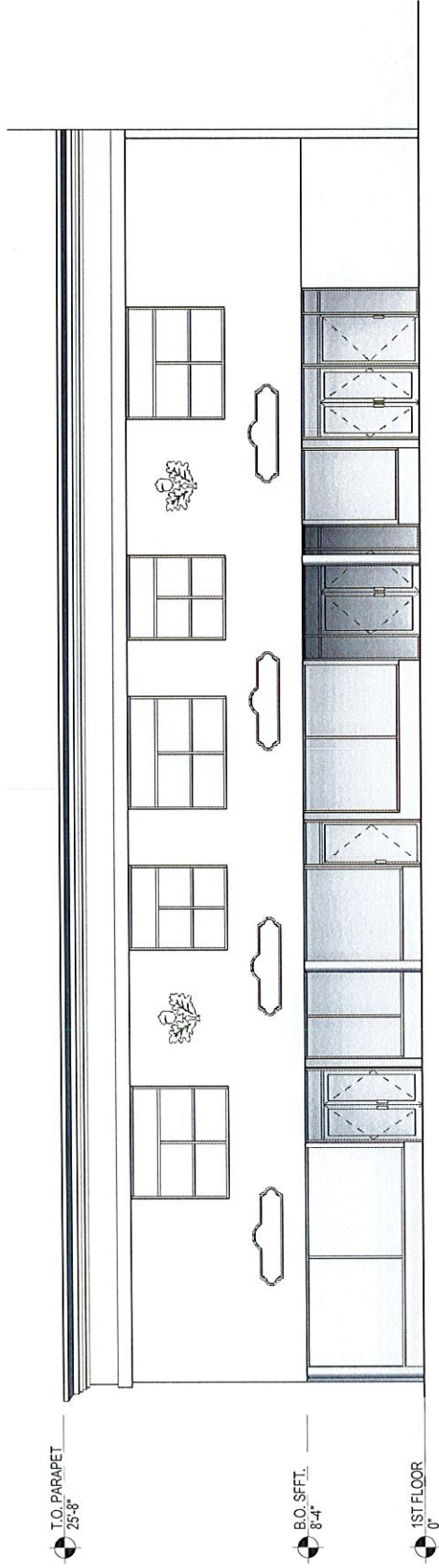


PLOT DATE  
6/7/2019 2:32:21 PM

SCHEIDAIA.COM

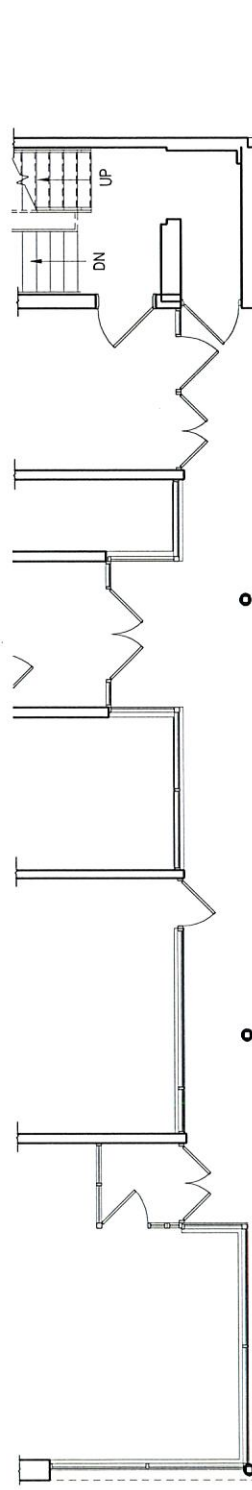
©  
SCALE  
DATE





EXISTING CONDITIONS ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING CONDITIONS PLAN

SCALE: 1/8" = 1'-0"



PLOT DATE  
6/27/2019 2:33:07 PM

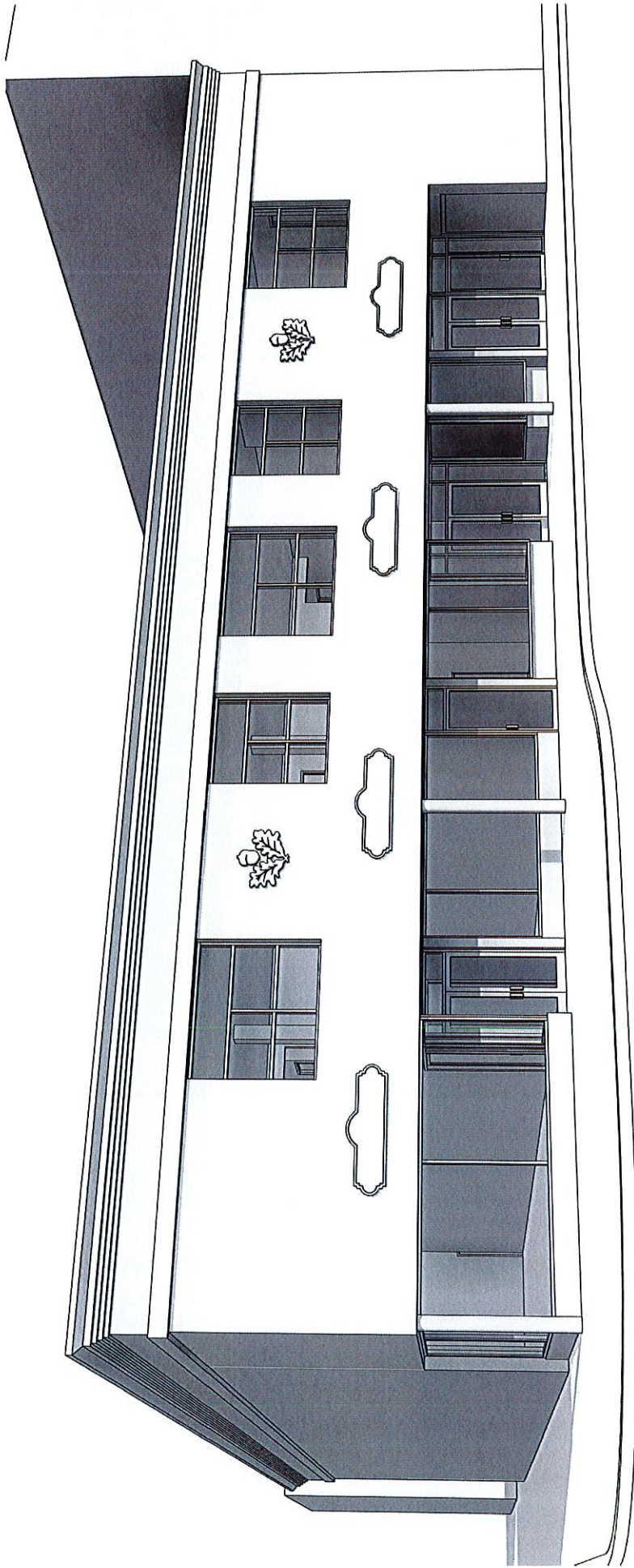
**TOMPKINS**  
Insurance Agencies

**FACADE & ENTRANCE DESIGN OPTIONS**  
TOMPKINS INSURANCE AGENCIES  
113 MAIN STREET  
BATAVIA, NY 14020

**SCHIED**  
ARCHITECTURAL

SCHIEDAIA.COM

©  
ARCHITECTS



EXISTING CONDITIONS PERSPECTIVE

SCALE: NTS

PLOT DATE  
6/27/2019 2:38 PM

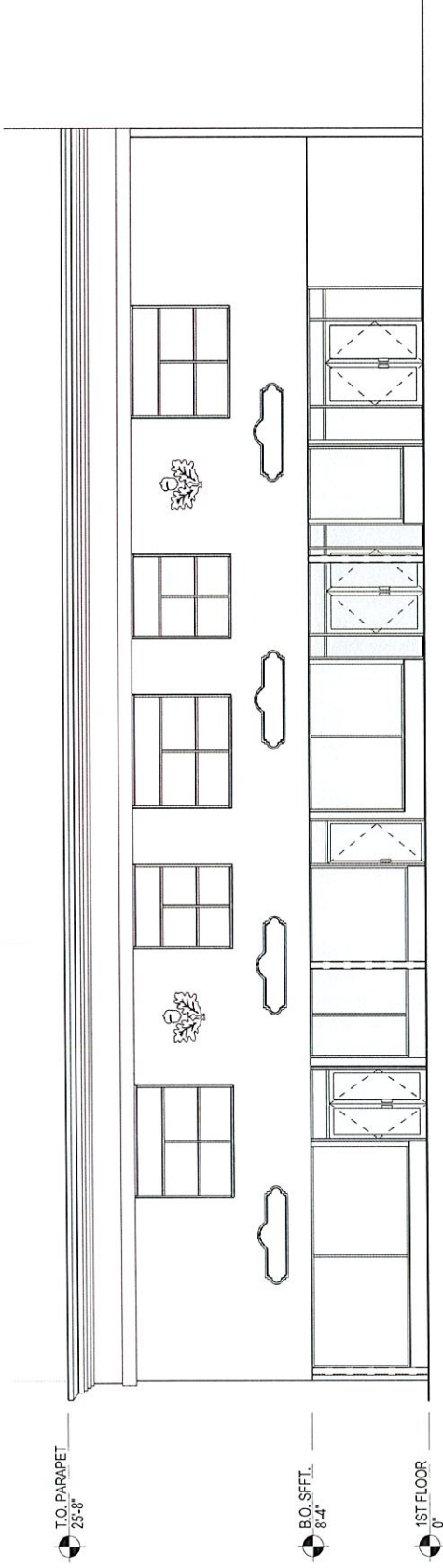
**TOMPKINS**  
Insurance Agencies

**FACADE & ENTRANCE DESIGN OPTIONS**  
TOMPKINS INSURANCE AGENCIES  
113 MAIN STREET  
BATAVIA, NY 14020

**SCHEID**  
ARCHITECTURAL

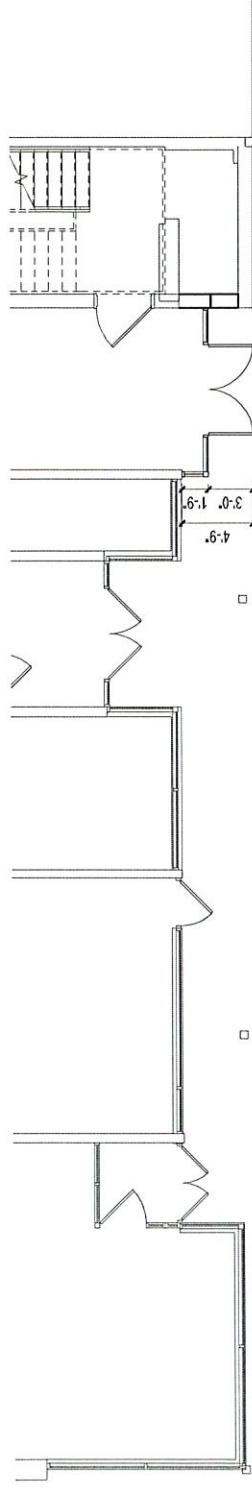
SCHEIDAIA.COM

©  
www.scheid.com



PROPOSED ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED PLAN

SCALE: 1/8" = 1'-0"

PLOT DATE  
02/20/19 2:33:10 PM

**TOMPKINS**  
Insurance Agencies

**FACADE & ENTRANCE DESIGN OPTIONS**  
TOMPKINS INSURANCE AGENCIES  
113 MAIN STREET  
BATAVIA, NY 14020

**SCHIED**  
ARCHITECTURAL

SCHIEDAIA.COM

©  
2019





PROPOSED PLAN - MASSING PERSPECTIVE

SCALE:



**FACADE & ENTRANCE DESIGN OPTIONS**  
TOMPKINS INSURANCE AGENCIES  
113 MAIN STREET  
BATAVIA, NY 14020



PLOT DATE  
6/27/2019 2:31 PM

DATE: 4-12-2019

APPLICANT NAME & PHONE: Whitney East Inc 585-328-7100

**Project Location and Information** 113-119

Permit #: B19-108 Fee: \$ 320.00

Address of Project: 113 Main Street Batavia NY 14020

Owner & Address: Tompkins Insurance 90 Main Street Batavia NY 14020

Phone: 345-6560

**Project Type/Describe Work**

Estimated cost of work: 95,500

Start date: May 1, 2019

Describe project: Renovate the west end of the building

**Contractor Information** – Insurance certificates (liability & workers comp) required to be on file

**GENERAL**

Name/Address: Whitney East Inc. 1504 Scottsville Rd Rochester NY 14623

Phone: 585-328-7100

**PLUMBING** (City of Batavia Licensed Plumber Required)

Name/Address: Genesee plumbing

Phone: 585-343-3805

**HEATING**

Name/Address: Arctic Refrigeration Inc

Phone: 585-343-2678

**ELECTRICAL** (Third Party Electrical Inspection Required)

Name/Address: Beardsley Electric

Phone: 585-493-5709

**FOR OFFICE USE ONLY**

Zoning District: C-3 Flood Zone: no Corner Lot: Yes Historic District/Landmark: NO

Zoning Review: N/A Variance Required: N/A Site Plan Review: N/A Other: NONE

National Grid Sign Off (Pools): NA Lot Size: 89.58 X 124

Existing Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_

Proposed Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_

**REQUIRED INSPECTIONS**

Contact the Bureau of Inspection at (585) 345-6345 twenty-four (24) hours in advance to schedule all inspections.

IT IS THE RESPONSIBILITY OF THE OWNER AND/OR AGENT TO CONTACT THIS OFFICE & BE PRESENT FOR ALL INSPECTIONS

- Site
- Water Service
- Sewer Service
- Footing before Placing Concrete
- Smoke & Carbon Monoxide Detectors
- Foundation before backfill
- Framing before enclosing (After mechanical inspection)
- Electrical before enclosing (Third Party Electrical Inspection Agency)
- Plumbing before enclosing (City of Batavia Licensed Plumber Required)
- Insulation before enclosing
- Ice/Water Shield
- Final Completion

In consideration of the granting of the permit hereby petitioned for, the undersigned hereby agrees to: 1) comply with the terms thereof, the laws of the State of New York, the Ordinance of the City of Batavia, and the Regulations of the various departments of the County of Genesee and the State of New York; 2) preserve the established building line; 3) request all the necessary inspections and authorize and provide the means of entry to the premises and building to the Bureau of Inspection, and 4) will not use or permit to be used the structure or structures covered by the permit until sanitary facilities are completely furnished and either a Certificate of Occupancy or Certificate of Completion is issued. The undersigned hereby certifies that all of the information in this petition is correct and true.

Joseph J Condidorio

4-12-2019

Applicant Signature

Date

**Roofing Disclaimer** - Per the Residential & Building Code of New York State

**R907.3 Recovering versus Replacement**

New roof coverings shall not be installed without first removing existing roof coverings where any of the following conditions occur:

1. Where the existing roof or roof coverings is water-soaked or has deteriorated to the point that the existing roof or roof covering is not adequate as a base for additional roofing.
2. Where the existing roof covering is wood shake, slate, clay, cement or asbestos-cement tile.
3. Where the existing roof has two or more applications of any type of roof covering.

Exceptions:

1. Complete and separate roofing systems, such as standing-seam metal roof systems, that are designed to transmit the roof loads directly to the building's structural system and that do not rely on existing roofs and roof coverings for support shall not require the removal of existing roof coverings.
2. Metal panel, metal shingle, and concrete and clay tile roof coverings shall be permitted to be installed over existing wood shake roofs when applied in accordance with Section R907.4.

I, \_\_\_\_\_ owner and/or agency of the property located at \_\_\_\_\_ for Building Permit No. \_\_\_\_\_ have reviewed and understand the requirements of Section 907.3 Recovering versus Replacement.

Applicant Signature

Date

**Fence Disclaimer**

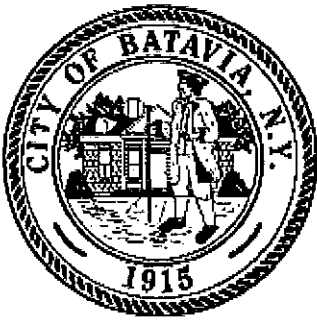
I understand Section 190-33.B Fences, Walls and Hedges of the City of Batavia Zoning Ordinance regulated the installation of fences as follows:

"Fences, hedges and walls in Residential Districts shall not exceed three (3) feet above ground level when located within fifteen (15) feet of the property line abutting any street and shall not exceed six (6) feet above ground level when located elsewhere on the property. However, there shall be no height limit for hedges in rear yards within residential zones. In commercial and Industrial Districts, fences, hedges, and walls shall not exceed eight (8) feet in height unless permitted by a special use permit from the Planning & Development Committee. A fence designed to be structurally supported by posts, cross members or rails on one (1) side only shall be erected with the posts, cross members or rails on the fence owner's side, and the finished side of the fence shall face adjacent properties."

I, \_\_\_\_\_ owner and/or agent of the property located at \_\_\_\_\_ for Permit No. \_\_\_\_\_ understand that this permit is issued based on information supplied by owner/agent and that the City of Batavia accepts no responsibility for inaccurate documentation or information supplied to secure the permit.

Applicant Signature

Date



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 6/27/18

Re: 376 Bank St.  
Tax Parcel No. 71.020-1-60.1

Zoning Use District: R-1A

The applicant, Colin Dailey (owner), has filed a minor subdivision application to subdivide this existing residential use parcel into two separate parcels.

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the boundary of the city.

**City Planning and Development Committee-** Pursuant to section 162-2 of the zoning ordinance, the Planning and Development Committee is authorized to approve plats.

BMC 162-40 B If the pre-application sketch is approved the PDC Chairman will sign and date the reproducible sketch.

The PDC will be the lead agency to conduct SEQR.

**SEND OR DELIVER TO:**

GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) 815-7901

**DEPARTMENT USE ONLY:**  
GCDP Referral # \_\_\_\_\_



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) Planning and Development Committee  
Address One Batavia City Centre  
City, State, Zip Batavia, NY 14020  
Phone (585) 345 - 6327 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name Colin Dailey  
Address 6 Orchard Dr.  
City, State, Zip LeRoy, NY 14482  
Phone (585) 469 - 4562 Ext. \_\_\_\_\_ Email colin-dailey@yahoo.com

MUNICIPALITY:  City  Town  Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Area Variance      | <input type="checkbox"/> Zoning Map Change                          | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance       | <input type="checkbox"/> Zoning Text Amendments                     | <input type="checkbox"/> Preliminary          |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update                  | <input checked="" type="checkbox"/> Final     |
| <input type="checkbox"/> Site Plan Review   | <input checked="" type="checkbox"/> Other: <u>Minor subdivision</u> |   |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

A. Full Address 376 Bank Street  
B. Nearest intersecting road Northern Blvd  
C. Tax Map Parcel Number 71.020-1-60.1  
D. Total area of the property 1.215 acres Area of property to be disturbed 0  
E. Present zoning district(s) R-1A

**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_  
B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
None  
C. Please describe the nature of this request Approval to subdivide one existing parcel into two separate parcels

**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> Local application      | <input type="checkbox"/> Zoning text/map amendments          | <input type="checkbox"/> New or updated comprehensive plan     |
| <input type="checkbox"/> Site plan                         | <input checked="" type="checkbox"/> Location map or tax maps | <input checked="" type="checkbox"/> Photos                     |
| <input checked="" type="checkbox"/> Subdivision plot plans | <input type="checkbox"/> Elevation drawings                  | <input checked="" type="checkbox"/> Other: <u>Cover letter</u> |
| <input checked="" type="checkbox"/> SEQR forms             | <input type="checkbox"/> Agricultural data statement         |  |

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. \_\_\_\_\_  
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com



Application No.: 19-04  
Date: 7/1/19



## MINOR SUBDIVISION APPLICATION

### CITY OF BATAVIA

10 West Main Street, Batavia, NY 14020  
Phone: (716) 343-8180 • Fax (716) 343-9221

ADDRESS OF SUBDIVISION 376 Bank St Batavia, NY, 14020  
71.020-1-60.1

OWNER:

Colin Dailey Dailey-Colin@yahoo.com  
Name E-mail Address  
6 Orchard Ave Dr (585)-469-4562  
Street Address Phone Fax  
Leroy, NY, 14482  
City, State, Zip Code

SIGNATURE

FEES:  \$50 Residential Subdivision  \$100 Non-Residential Subdivision

## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

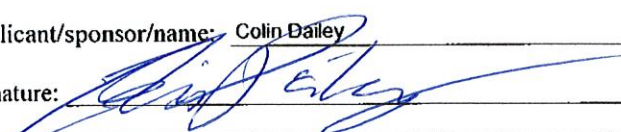
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

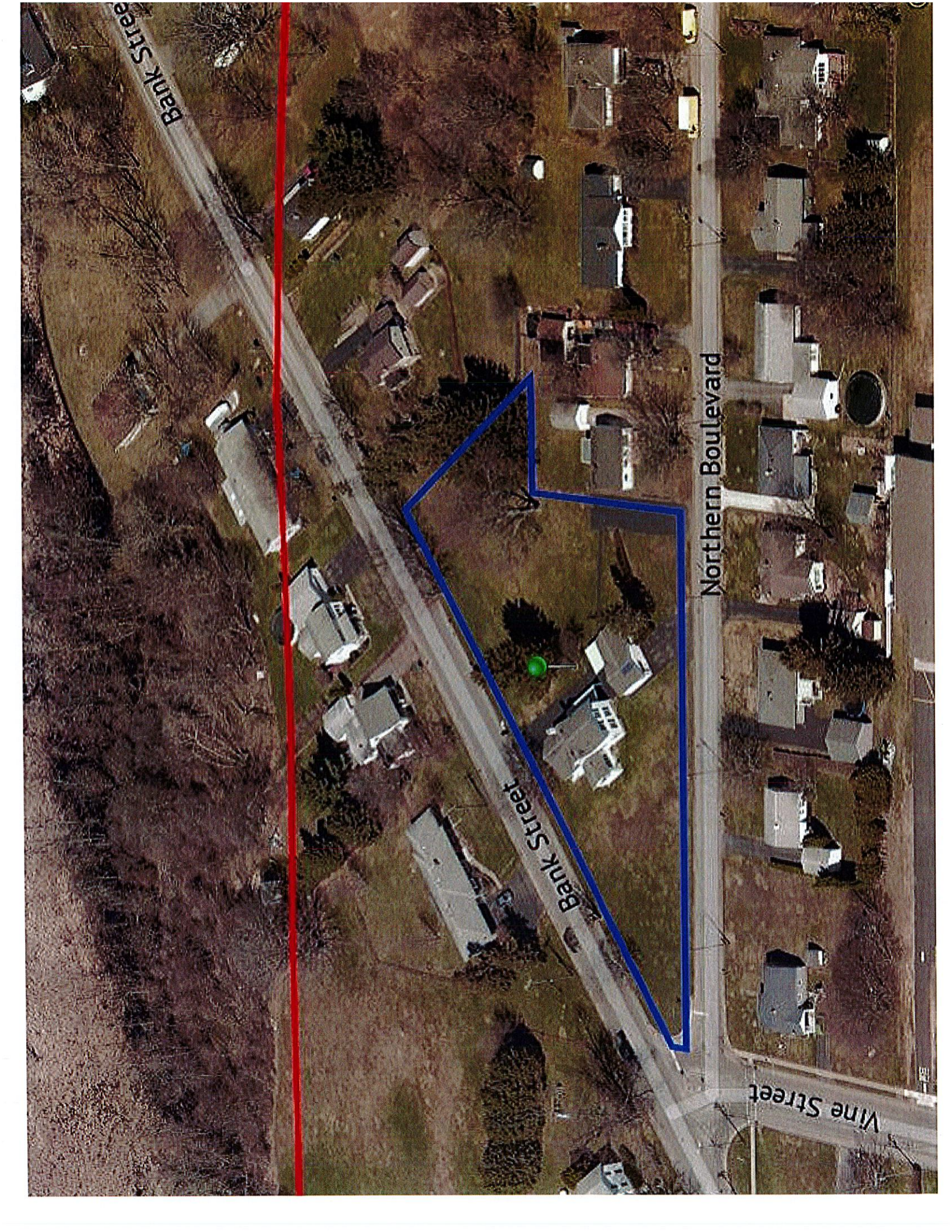
<b>Part 1 – Project and Sponsor Information</b>			
Colin Dailey			
Name of Action or Project: Minor subdivision of 376 Bank St.			
Project Location (describe, and attach a location map): 376 Bank St., Batavia, NY 14020			
Brief Description of Proposed Action: Minor subdivision of one existing residential parcel into two separate parcels.			
Name of Applicant or Sponsor: Colin Dailey		Telephone: 585-469-4562	
		E-Mail: Dailey_Colin@yahoo.com	
Address: 6 Orchard Dr.			
City/PO: LeRoy,		State: NY	Zip Code: 14482
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.215 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.215 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			



5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	YES <input type="checkbox"/>  <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	YES <input type="checkbox"/>  <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe:		
_____		
_____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Colin Dailey</u>	Date: <u>6-30-19</u>	
Signature: 	Title: _____	





Bank Street

Northern Boulevard

Bank Street

Vine Street



"UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."

"ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES."

"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATION SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS/HER BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

This particular referenced action is not subject to Genesee County Health Department review under New York State Public Health Law Article 11 Title II

Signature \_\_\_\_\_

Date \_\_\_\_\_

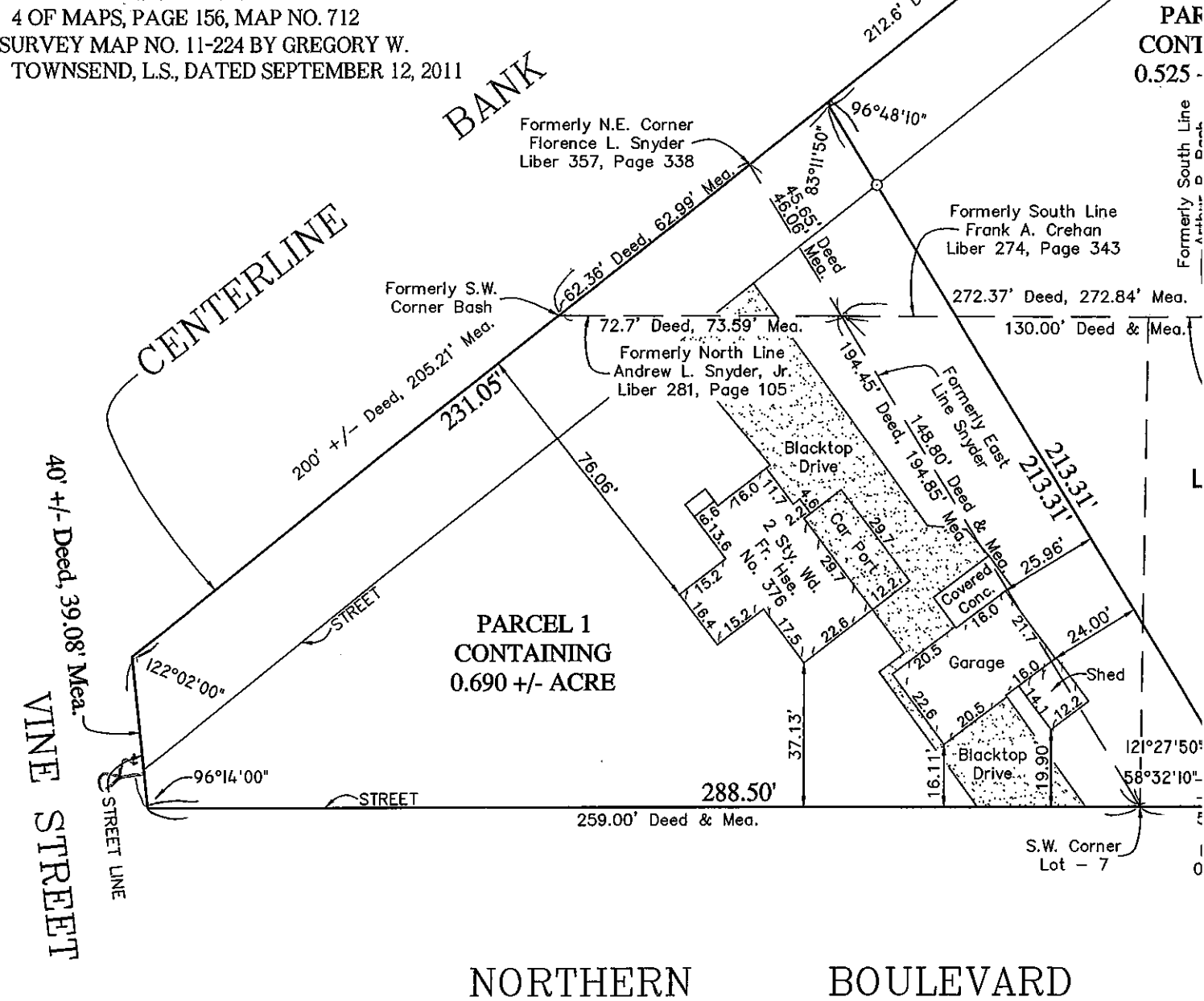
(49.5' R.O.W.)

LEGEND

- EXISTING IRON STAKE
- SET IRON PIN

REFERENCES

NORTH ACRES SUBDIVISION FILED AT BOOK 4 OF MAPS, PAGE 156, MAP NO. 712  
 SURVEY MAP NO. 11-224 BY GREGORY W. TOWNSEND, L.S., DATED SEPTEMBER 12, 2011



PARCEL 1  
 CONTAINING  
 0.690 +/- ACRE

PAF  
 CONTI  
 0.525

NORTHERN BOULEVARD



**GREGORY W. TOWNSEND**  
 Licensed Land Surveyors  
 115 Washington Avenue  
 Batavia, New York 14020  
 Phone (585) 344-1331  
 gwtownsendsurvey@gmail.com

"UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."

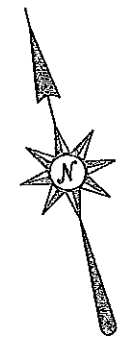
"ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES."

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This particular referenced action is not subject to Genesee County Health Department review under New York State Public Health Law Article 11 Title II

Signature \_\_\_\_\_

Date \_\_\_\_\_



APPROVED BY CITY OF BATAVIA PLANNING BOARD

CHAIRMAN \_\_\_\_\_

DATE \_\_\_\_\_

APPROVED BY CITY OF BATAVIA ENGINEERS

ENGINEER \_\_\_\_\_

DATE \_\_\_\_\_

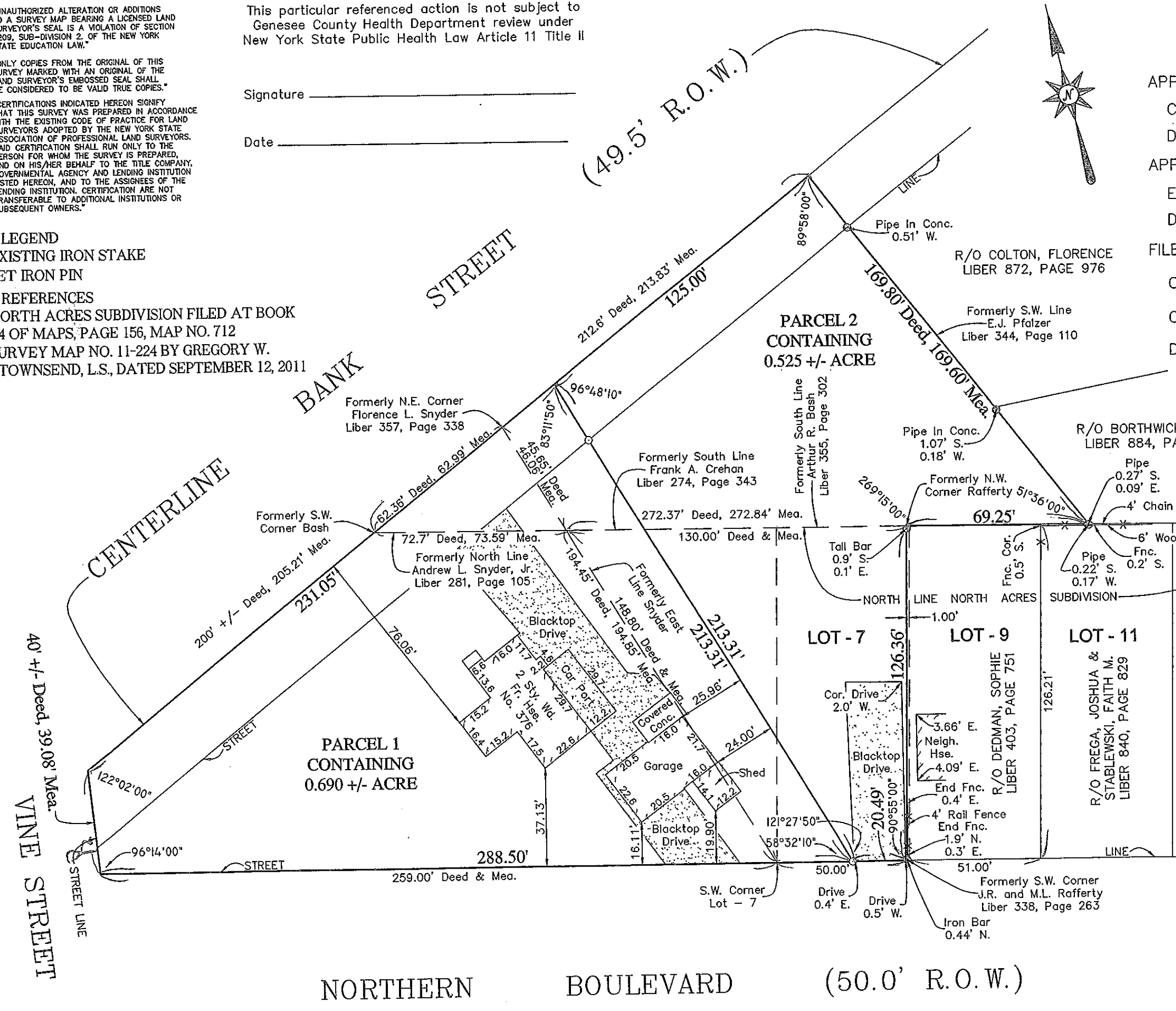
FILED IN GENESEE COUNTY CLERK'S OFFICE AS:

CABINET No. \_\_\_\_\_, SLIDE No. \_\_\_\_\_, MAP No. \_\_\_\_\_

COUNTY CLERK \_\_\_\_\_

DATE \_\_\_\_\_

**LEGEND**  
 ○ EXISTING IRON STAKE  
 ● SET IRON PIN  
**REFERENCES**  
 NORTH ACRES SUBDIVISION FILED AT BOOK 4 OF MAPS, PAGE 156, MAP NO. 712  
 SURVEY MAP NO. 11-224 BY GREGORY W. TOWNSEND, L.S., DATED SEPTEMBER 12, 2011



**REAL PROPERTY TAX SERVICES**

DATE \_\_\_\_\_

APPROVED BY \_\_\_\_\_

I HEREBY CERTIFY THAT THIS LAND SEPARATION WAS PREPARED BY ME, AND WAS MADE FROM AN ACTUAL SURVEY COMPLETED BY ME ON SEPTEMBER 12, 2011 AND JUNE 15, 2019 AND REFERENCES LISTED HEREON

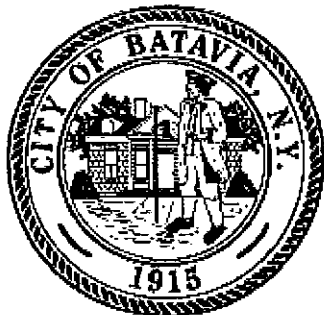
**BOUNDARY SURVEY SHOWING THE SEPARATION OF LANDS OF COLIN D. DAILEY, BEING PART OF ORIGINAL VILLAGE LOT NO. 38. SITUATE IN THE CITY OF BATAVIA, COUNTY OF GENESEE AND STATE OF NEW YORK**

JUNE 15, 2019

SCALE 1" = 40'

JOB NO. 19-205

06/17/19 *Gregory W. Townsend*  
 DATE \_\_\_\_\_ N.Y.S.R.L.S. No. 50249



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 7/2/19

Re: **20 Florence Ave. (Graham Mfg.)**  
Tax Parcel No. 84.016-1-15.1

Zoning Use District: I-1

The applicant, Jake Maurer of Thompson Builds Inc. (contractor for owner), has filed a permit application to construct an 8,875 sq. ' pre-engineered metal building addition to an existing storage building. The addition will be used as storage space for bare metal products used in manufacturing processes.

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

**City Planning and Development Committee-** Pursuant to section 190-44 B. (1) of the zoning ordinance, the Planning and Development Committee is authorized to conduct site plan reviews.

**190-44 C. (1)(a) Site plan review shall be performed for expansions of existing buildings that increase the coverage area of the lot by more than 1,300 sq. '.**

The Planning and Development Committee will be the lead agency to conduct SEQR.



**SEND OR DELIVER TO:**

GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) 815-7901



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

**DEPARTMENT USE ONLY:**  
GCDP Referral # \_\_\_\_\_

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) Planning and Development Committee  
Address One Batavia City Centre  
City, State, Zip Batavia, NY 14020  
Phone (585) 345 - 6327 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name Jake Maurer (Thompson Builds)  
Address 410 Sanford Rd. South  
City, State, Zip Churchville, NY 14428  
Phone (585) 208 - 7616 Ext. \_\_\_\_\_ Email jake@thompsonbuilds.com

MUNICIPALITY:  City  Town  Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |  |  |                                      |
|--|--|--------------------------------------|
| <input type="checkbox"/> Area Variance               | <input type="checkbox"/> Zoning Map Change         | Subdivision Proposal                 |
| <input type="checkbox"/> Use Variance                | <input type="checkbox"/> Zoning Text Amendments    | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Special Use Permit          | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final       |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Other: _____              |                                      |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

- A. Full Address 20 Florence
- B. Nearest intersecting road Harvester
- C. Tax Map Parcel Number 84.016-1-15.1
- D. Total area of the property \_\_\_\_\_ Area of property to be disturbed \_\_\_\_\_
- E. Present zoning district(s) I-1

**5. REFERRAL CASE INFORMATION:**

- A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_
- B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
\_\_\_\_\_
- C. Please describe the nature of this request Approval to construct an 8,875 sq.' pre-engineered metal building addition on an existing one story storage building.

**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments    | <input type="checkbox"/> New or updated comprehensive plan     |
| <input checked="" type="checkbox"/> Site plan         | <input type="checkbox"/> Location map or tax maps      | <input checked="" type="checkbox"/> Photos                     |
| <input type="checkbox"/> Subdivision plot plans       | <input checked="" type="checkbox"/> Elevation drawings | <input checked="" type="checkbox"/> Other: <u>Cover letter</u> |
| <input checked="" type="checkbox"/> SEQR forms        | <input type="checkbox"/> Agricultural data statement   |  |

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. \_\_\_\_\_  
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com

CITY OF BATAVIA

BUILDING PERMIT APPLICATION

DATE: 7/2/2019

APPLICANT NAME & PHONE: Thompson Builds 585-293-7300

**Project Location and Information**

Permit #: \_\_\_\_\_ Fee: \_\_\_\_\_

Address of Project: 20 Florence Avenue Batavia, NY 14020

Owner & Address: Christopher Howell

Phone: 585-815-4833

**Project Type/Describe Work**

Estimated cost of work: \$ 477,200

Start date: 8/1/19

Describe project: Pre-engineered Metal Storage building Connecting to existing building.

**Contractor Information – Insurance certificates (liability & workers comp) required to be on file**

**GENERAL**

Name/Address: Thompson Builds 410 Sanford Rd. South Churchville, NY 14428

Phone: 585-293-7300

**PLUMBING (City of Batavia Licensed Plumber Required)**

Name/Address: \_\_\_\_\_

Phone: \_\_\_\_\_

**HEATING**

Name/Address: \_\_\_\_\_

Phone: \_\_\_\_\_

**ELECTRICAL (Third Party Electrical Inspection Required)**

Name/Address: Churchville Electric 960 Kendall Rd. Churchville, NY 14428

Phone: 585-293-3097

**FOR OFFICE USE ONLY**

Zoning District: \_\_\_\_\_ Flood Zone: \_\_\_\_\_ Corner Lot: \_\_\_\_\_ Historic District/Landmark: \_\_\_\_\_

Zoning Review: \_\_\_\_\_ Variance Required: \_\_\_\_\_ Site Plan Review: \_\_\_\_\_ Other: \_\_\_\_\_

National Grid Sign Off (Pools): \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_

Proposed Use: \_\_\_\_\_ NYS Building Code Occupancy Class: \_\_\_\_\_



**REQUIRED INSPECTIONS**

Contact the Bureau of Inspection at (585) 345-6345 twenty-four (24) hours in advance to schedule all inspections.

IT IS THE RESPONSIBILITY OF THE OWNER AND/OR AGENT TO CONTACT THIS OFFICE & BE PRESENT FOR ALL INSPECTIONS

- Site
- Footing before Placing Concrete
- Foundation before backfill
- Framing before enclosing (After mechanical inspection)
- Electrical before enclosing (Third Party Electrical Inspection Agency)
- Plumbing before enclosing (City of Batavia Licensed Plumber Required)
- Insulation before enclosing
- Water Service
- Ica/Water Shield
- Sewer Service
- Final Completion

In consideration of the granting of the permit hereby petitioned for, the undersigned hereby agrees to: 1) comply with the terms thereof, the laws of the State of New York, the Ordinance of the City of Batavia, and the Regulations of the various departments of the County of Genesee and the State of New York; 2) preserve the established building line; 3) request all the necessary inspections and authorize and provide the means of entry to the premises and building to the Bureau of Inspection, and 4) will not use or permit to be used the structure or structures covered by the permit until sanitary facilities are completely furnished and either a Certificate of Occupancy or Certificate of Completion is issued. The undersigned hereby certifies that all of the information in this petition is correct and true.

*[Signature]*  
Applicant Signature

7/2/2019  
Date

**Roofing Disclaimer - Per the Residential & Building Code of New York State**

**R907.3 Recovering versus Replacement**

New roof coverings shall not be installed without first removing existing roof coverings where any of the following conditions occur:

1. Where the existing roof or roof coverings is water-soaked or has deteriorated to the point that the existing roof or roof covering is not adequate as a base for additional roofing.
2. Where the existing roof covering is wood shake, slate, clay, cement or asbestos-cement tile.
3. Where the existing roof has two or more applications of any type of roof covering.

**Exceptions:**

1. Complete and separate roofing systems, such as standing-seam metal roof systems, that are designed to transmit the roof loads directly to the building's structural system and that do not rely on existing roofs and roof coverings for support shall not require the removal of existing roof coverings.
2. Metal panel, metal shingle, and concrete and clay tile roof coverings shall be permitted to be installed over existing wood shake roofs when applied in accordance with Section R907.4.

I, Jake Maurer <sup>Contractor</sup> ~~owner and/or agent~~ of the property located at 20 Florence Avenue for Building Permit No. \_\_\_\_\_ have reviewed and understand the requirements of Section 907.3 Recovering versus Replacement.

*[Signature]*  
Applicant Signature

7/2/2019  
Date

**Fence Disclaimer**

I understand Section 190-33.B Fences, Walls and Hedges of the City of Batavia Zoning Ordinance regulated the installation of fences as follows:

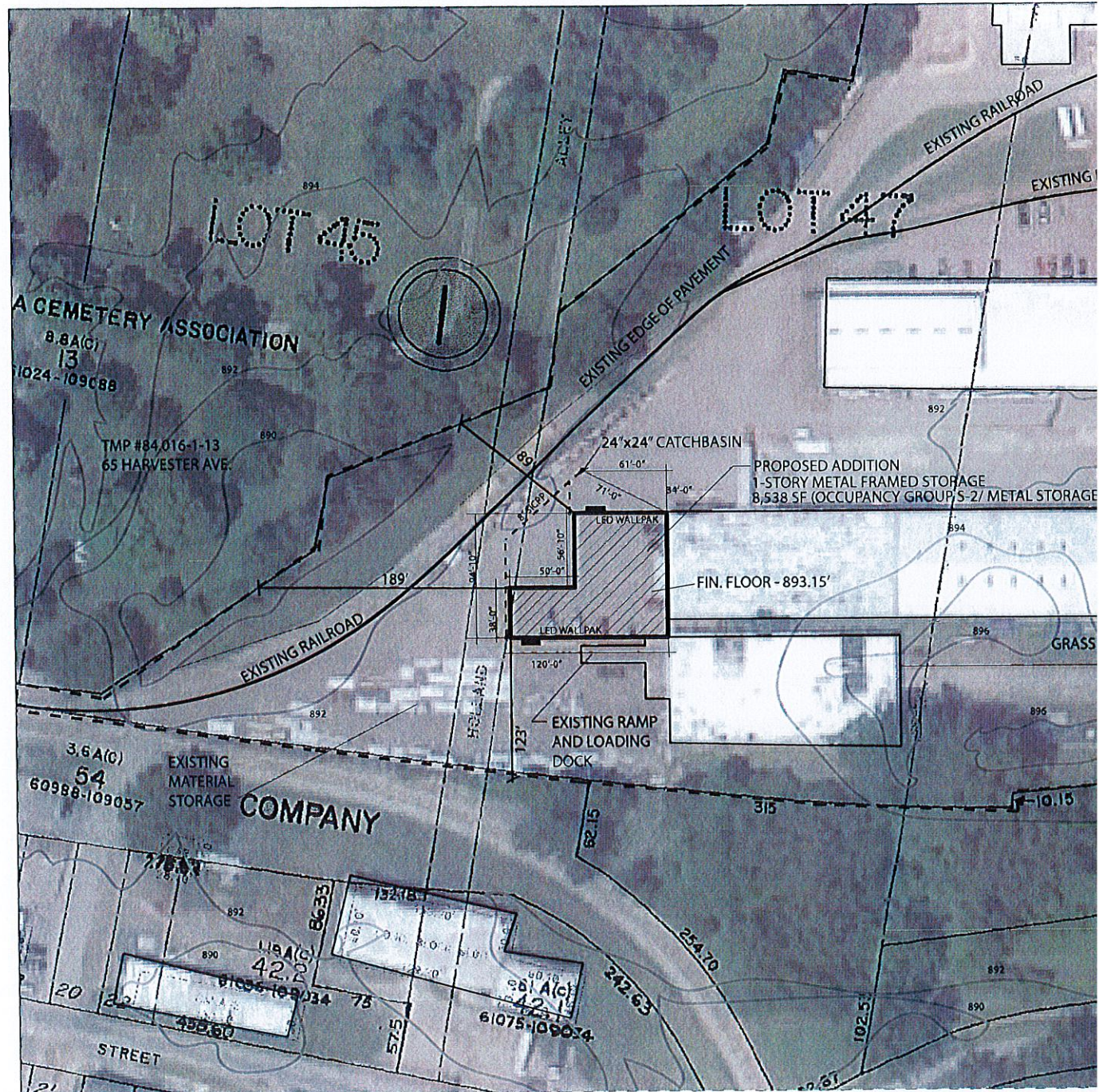
"Fences, hedges and walls in Residential Districts shall not exceed three (3) feet above ground level when located within fifteen (15) feet of the property line abutting any street and shall not exceed six (6) feet above ground level when located elsewhere on the property. However, there shall be no height limit for hedges in rear yards within residential zones. In commercial and Industrial Districts, fences, hedges, and walls shall not exceed eight (8) feet in height unless permitted by a special use permit from the Planning & Development Committee. A fence designed to be structurally supported by posts, cross members or rails on one (1) side only shall be erected with the posts, cross members or rails on the fence owner's side, and the finished side of the fence shall face adjacent properties."

I, \_\_\_\_\_ owner and/or agent of the property located at \_\_\_\_\_ for Permit No. \_\_\_\_\_ understand that this permit is issued based on information supplied by owner/agent and that the City of Batavia accepts no responsibility for inaccurate documentation or information supplied to secure the permit.

\_\_\_\_\_  
Applicant Signature

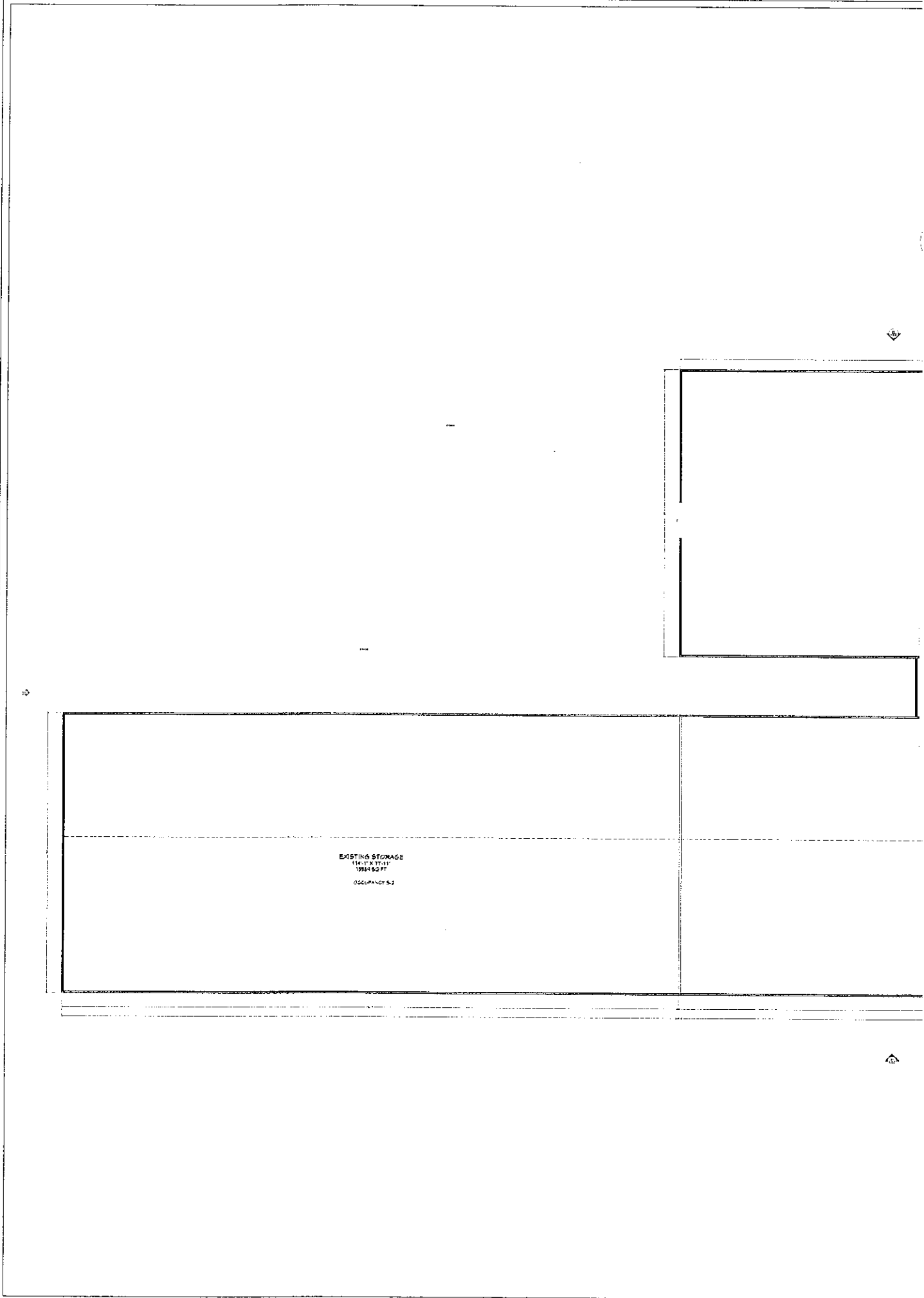
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Date





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EXISTING OFFICES & STORAGE  
174'-0" X 80'-0"  
13920 SQ FT

OCCUPANCY S-2

LOADING  
15'-9" X 4  
629 SQ

BRUIS

EXISTING STORAGE  
173'-9" X 77'-11"  
13539 SQ FT

OCCUPANCY S-2

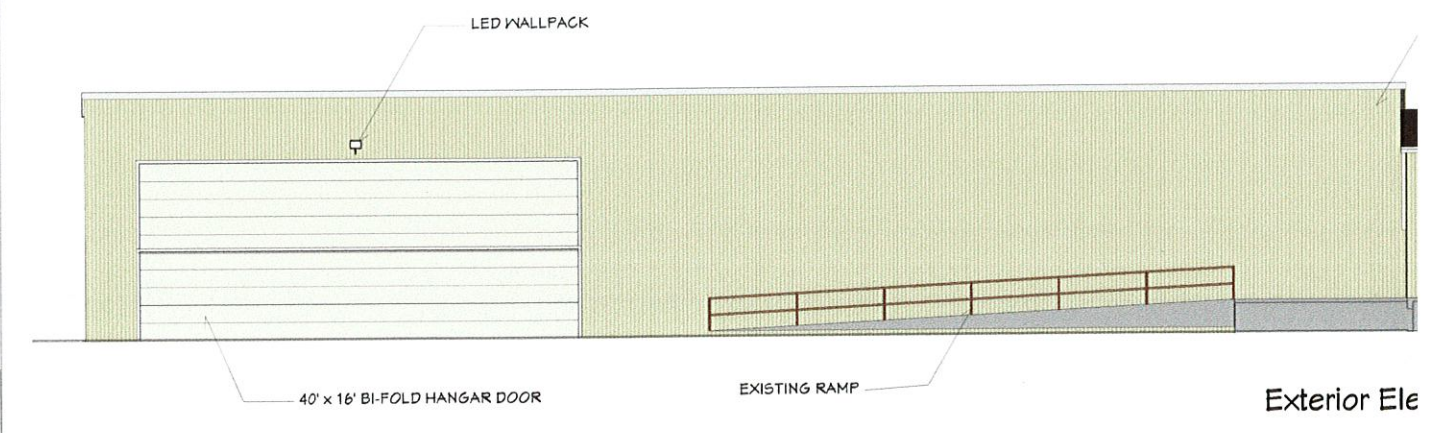
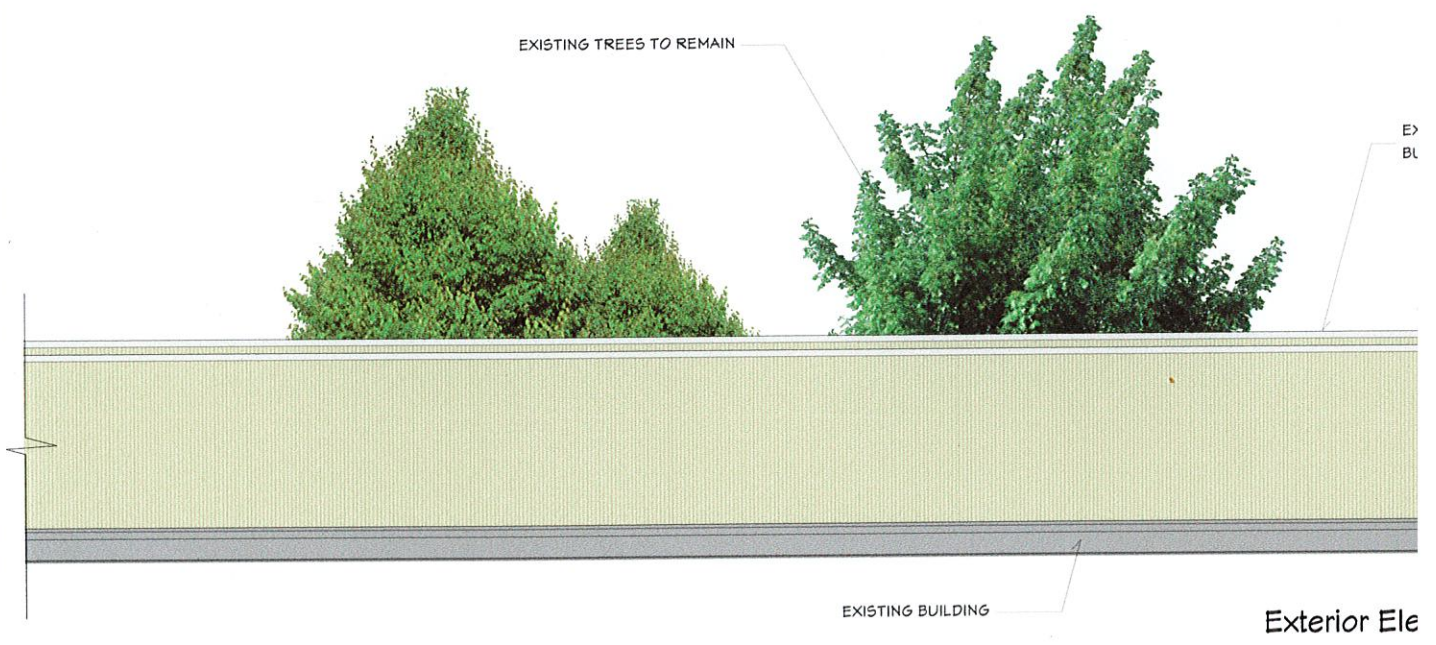
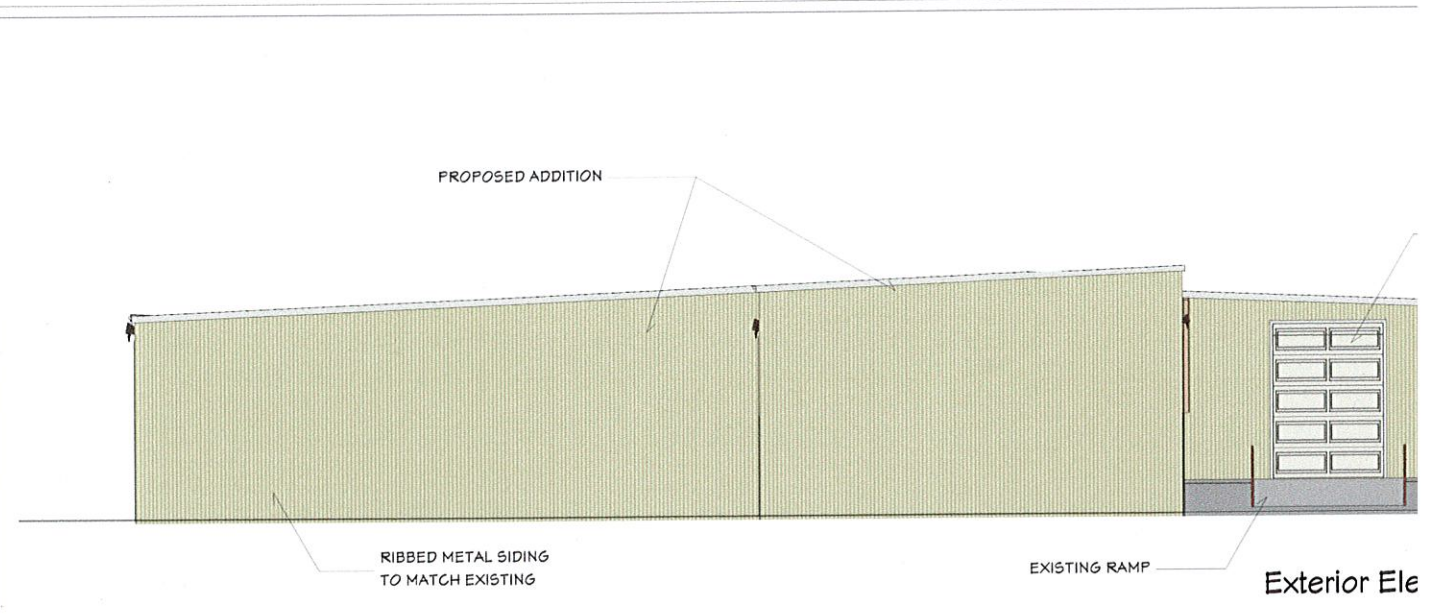
BEING EXISTING  
LOADING DOOR ENCLOSED  
DOOR TO REMAIN

INSTALL EXISTING WINDOW

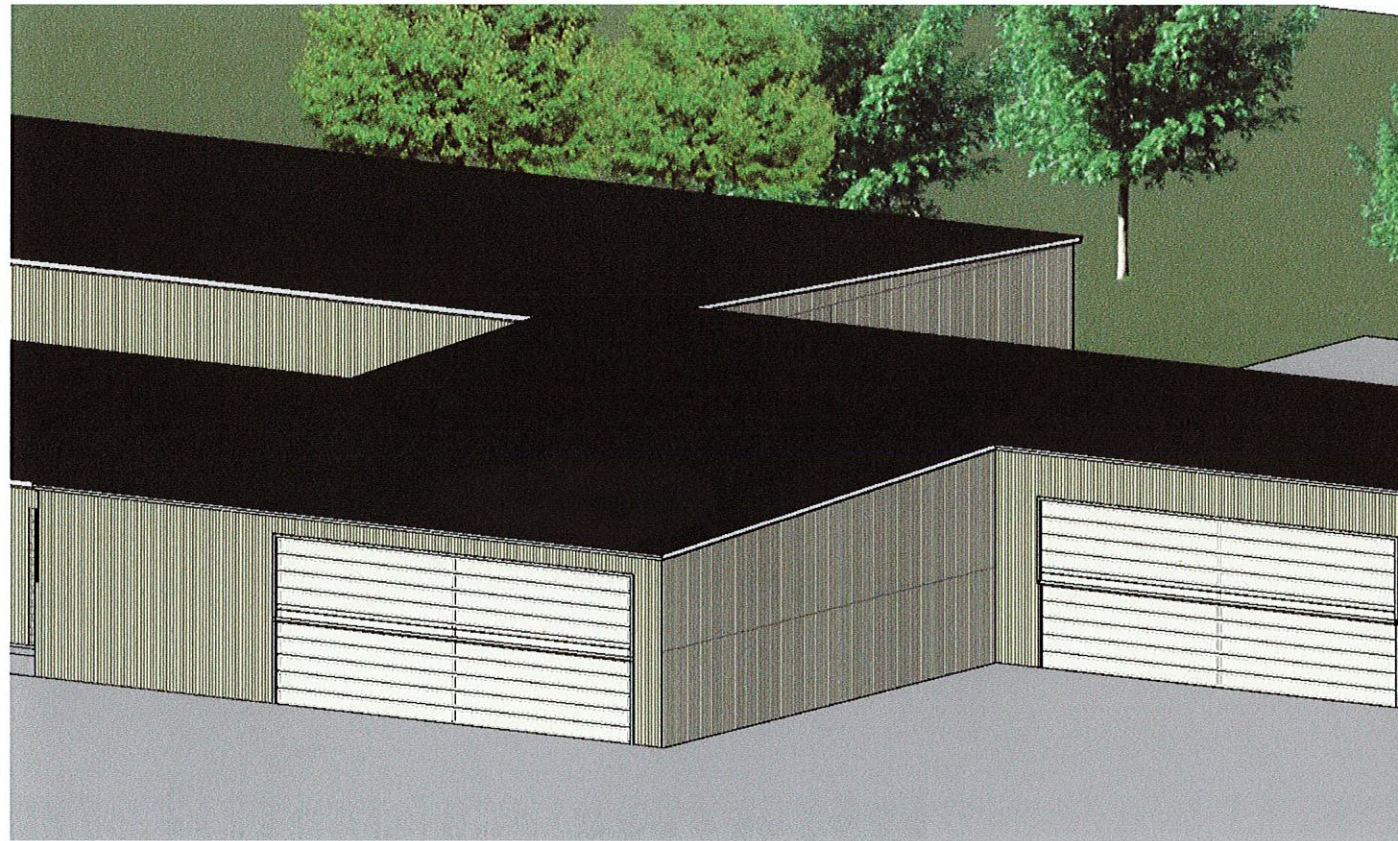
FUTURE RAMP



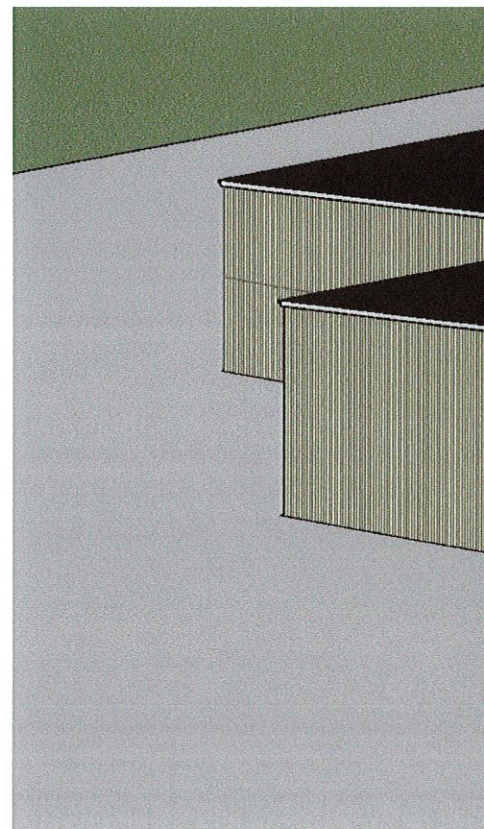






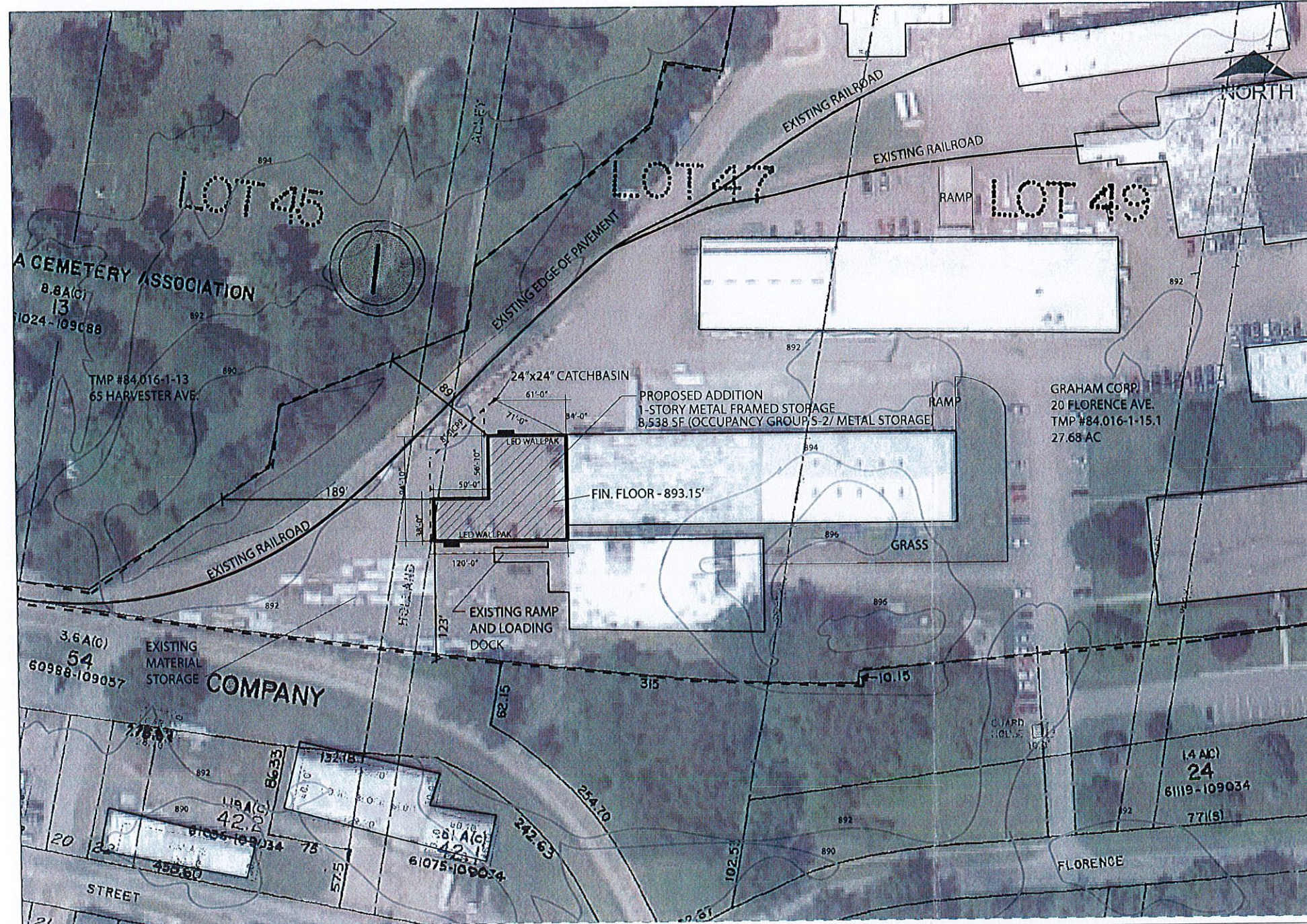


ORTHOGRAPHIC VIEW - NORTHWEST



ORTHOGRAPHIC VIEW - SOUTH





**STORAGE BUILDING  
FOR GRAHAM  
MANUFACTURING**

20 FLORENCE AVE  
BATAVIA, NY 14020

REVISIONS

1	
2	
3	
4	
5	
6	

TIMOTHY J. HENS, P.E.  
7319 QUINLAN RD  
LEROY, NY 14482  
(585) 297-4954  
THENS730@GMAIL.COM

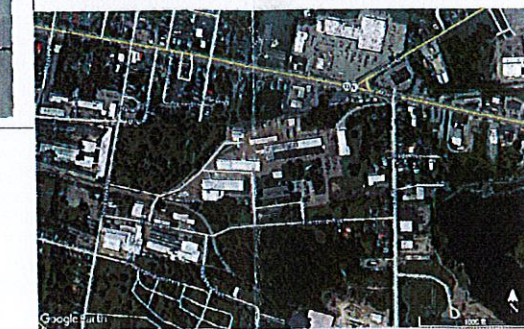
MAY 18TH, 2019

DESIGN BY: TJH  
DRAWN BY: TJH

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT, TO ALTER OR MODIFY THESE PLANS OR THEIR ASSOCIATED SET OF SPECIFICATIONS IN ANY WAY.

**GENERAL NOTES:**

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF BATAVIA DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS FOR LAND DEVELOPMENT.
2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS TO LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
3. ALL FLOORS SHALL BE CONSTRUCTED ABOVE GROUNDWATER.
4. SANITARY EFFLUENT SHALL NOT INFILTRATE OR BE DISCHARGED TO A HIGHWAY DRAINAGE DITCH OR STORM DRAIN.
5. NO LOT DRAINAGE SHALL BE DIRECTED TO A HIGHWAY DITCH.
6. DRIVEWAYS ARE TO BE PAVED WITHIN THE STREET RIGHT-OF-WAY AND A CULVERT PIPE OF A SIZE AND TYPE APPROVED BY THE HIGHWAY SUPERINTENDENT IS TO BE PLACED IF REQUIRED.
7. EROSION BARRIERS SHALL BE ERRECTED DURING CONSTRUCTION AND REMOVAL OF THE SAME UPON REVEGETATION OF THE DISTURBED AREAS.
8. THE CONTRACTOR SHALL BE REQUIRED TO CLEAN MUD AND DEBRIS FROM PUBLIC ROADS, SHOULDERS AND DRAINAGE DITCHES SERVICING THE CONSTRUCTION SITE DURING AND AFTER THE COMPLETION OF THE PROJECT. THE REQUIREMENT SHALL BE ENFORCED BY THE BUILDING INSPECTOR OR DPW SUPERINTENDENT.
9. THE CONTRACTOR SHALL TAKE APPROPRIATE PRECAUTIONS TO PROTECT PROPERTY MARKERS AND ALL SURVEY STAKES.
10. SANITARY SEWER FACILITIES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE VILLAGE OF ALEXANDER, DEPT OF ENVIRONMENTAL CONSERVATION AND NEW YORK STATE STANDARDS.
11. WELL AND WATER SERVICES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE GENESSEE COUNTY HEALTH DEPARTMENT AND NEW YORK STATE STANDARDS.
12. DRAINS SHALL DISCHARGE TO STORM DRAINAGE SYSTEMS. WHERE A STORM DRAINAGE SYSTEM IS NOT PRESENT THIS DRAINAGE SHALL BE CONVEYED BY GRAVITY AND DISCHARGED TO SPLASH BLOCKS. DOWNSPOUTS SHALL DISCHARGE TO SPLASH BLOCKS OR BE CONNECTED TO STORM SEWERS.
13. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.



LOCATION MAP

OVERALL SITE PLAN

**CITY OF BATAVIA**

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

CEO/ZEO \_\_\_\_\_ DATE \_\_\_\_\_

CHAIR, PLANNING, AND DEVELOPMENT COMMITTEE DATE \_\_\_\_\_

SHEET:

**C-100**







REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

GRAHAM MANUFACTURING  
STORAGE ADDITION  
20 FLORENCE AVE  
BATAVIA, NY 14020

GRAHAM MANUFACTURING  
STORAGE ADDITION  
20 FLORENCE AVE  
BATAVIA, NY 14020

DRAWINGS PROVIDED BY:  
TIMOTHY J. HENS, P.E.  
7319 QUINLAN RD  
LE ROY, NY 14482  
(585) 297-4954  
thens730@gmail.com

DATE:

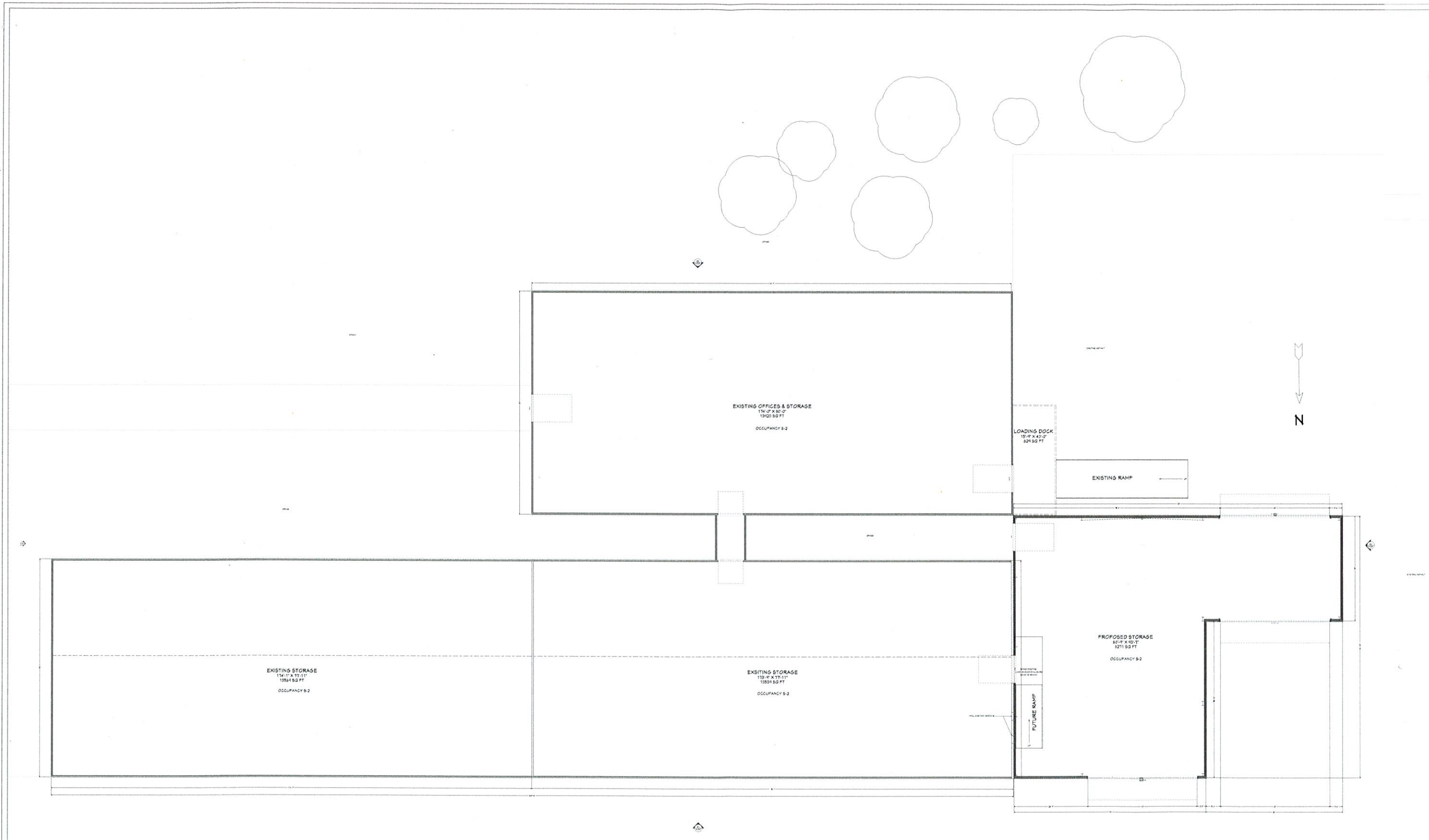
6/26/2019

SCALE:

1/16" = 1'-0"

SHEET:

A-100



1st Floor



REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	REVISION

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DATE:

6/26/2019

SCALE:

1/8" = 1'-0"

SHEET:

A-101

EXISTING OFFICES & STORAGE  
174'-0" X 80'-0"  
13920 SQ FT

OCCUPANCY S-2

LOADING DOCK  
15'-9" X 40'-0"  
629 SQ FT

EXISTING RAMP

PROPOSED STORAGE  
68'-9" X 93'-7"  
8271 SQ FT

OCCUPANCY S-2

EXISTING STORAGE  
173'-9" X 77'-11"  
13599 SQ FT

OCCUPANCY S-2

FUTURE RAMP



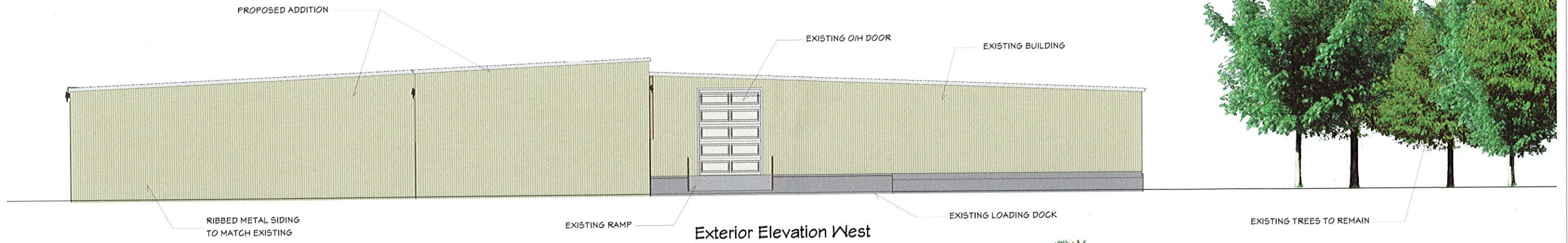
1st Floor



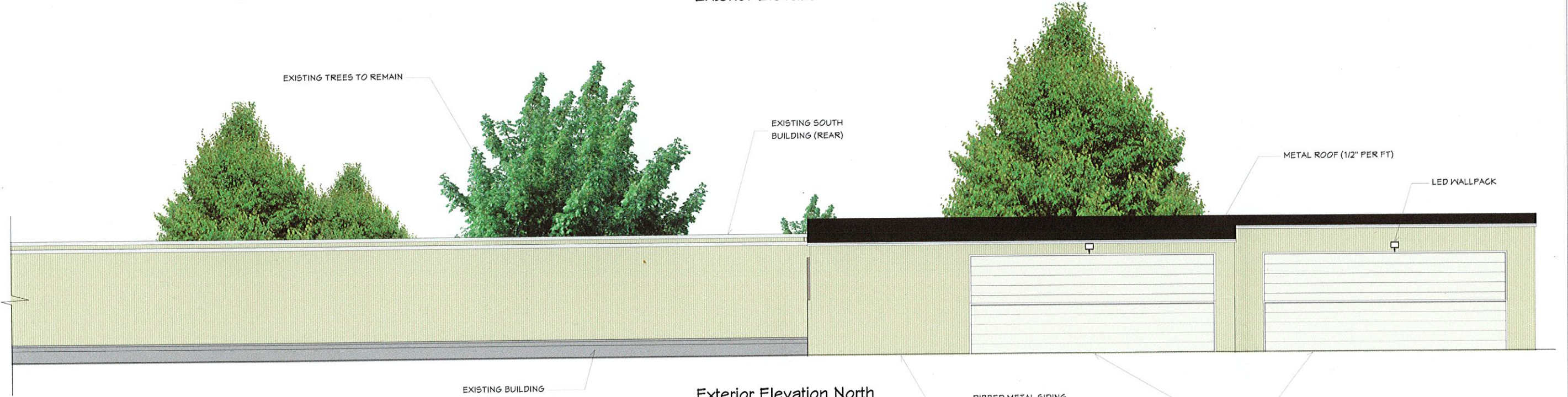




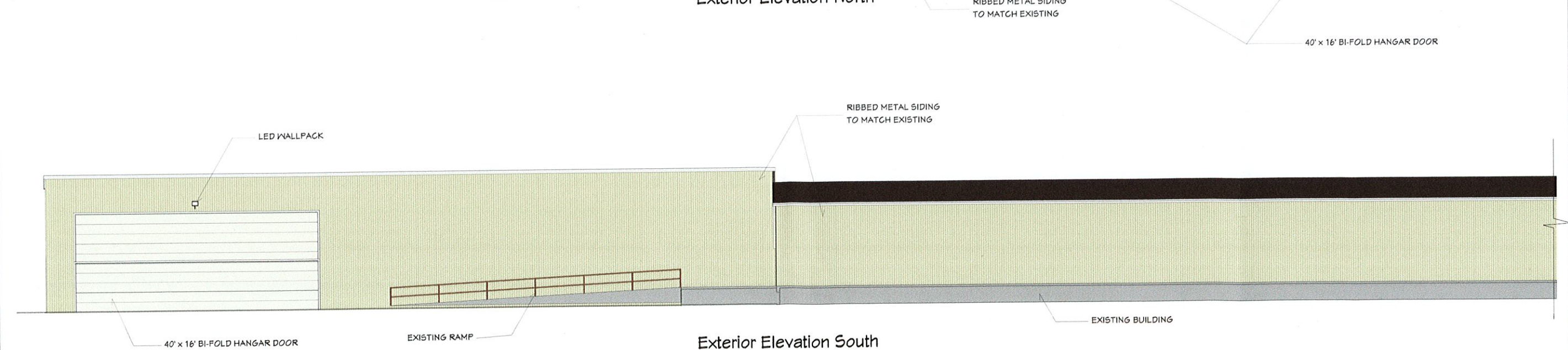
REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION



Exterior Elevation West



Exterior Elevation North



Exterior Elevation South

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BATAVIA, NY 14020

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DATE:

6/26/2019

SCALE:

1/8" = 1'-0"

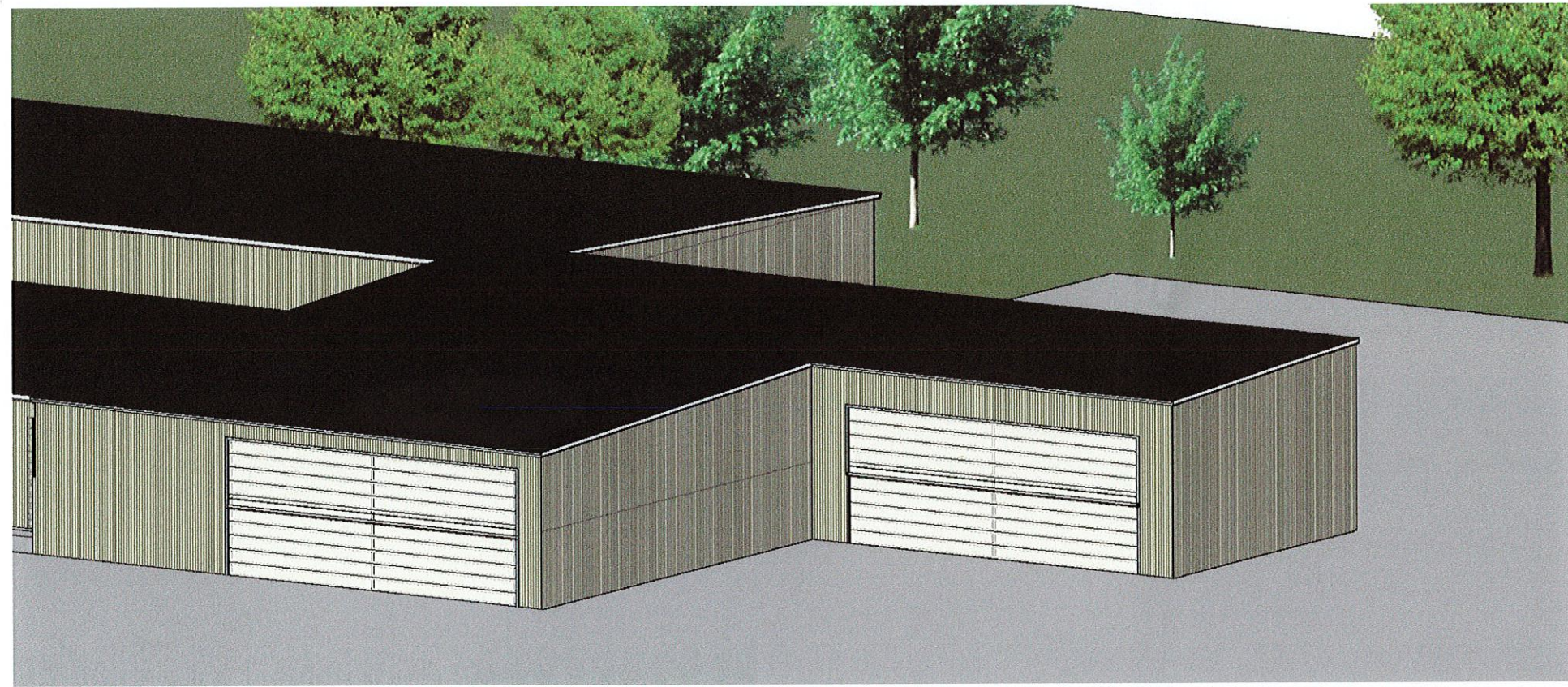
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A-200

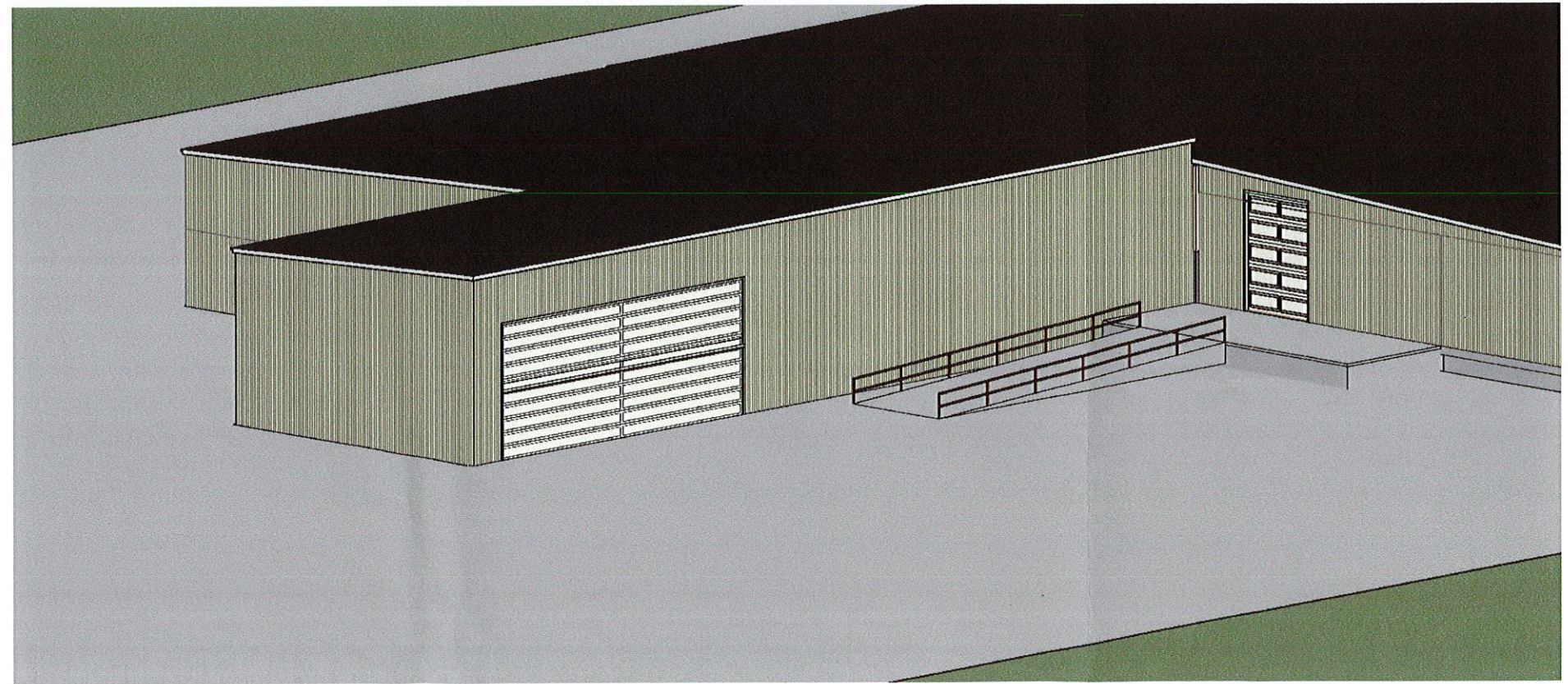




REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION



ORTHOGRAPHIC VIEW - NORTHWEST



ORTHOGRAPHIC VIEW - SOUTHWEST

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BATAVIA, NY 14020

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DATE:

6/26/2019

SCALE:

NTS

SHEET:

A-202