

PLANNING & DEVELOPMENT COMMITTEE
Tuesday, July 21, 2020

6:00 pm

Council Board Room
One Batavia City Centre, Batavia NY

AGENDA

- I. Roll Call
- II. Call to Order
- III. Approval of Minutes – 6/16/20
- IV. Proposals

Address: *45-47 Ellicott St.*
Applicant: V.J. Gautieri Constructors Inc. (owner)

Proposal 1: Special Use Permit to create a “Restricted Residential Use” on the second floor of this commercial building located within the Central Commercial District

Actions:

1. Review application
2. Public hearing and discussion
3. SEQR
4. Action by the board

Address: *424 East Main St.*
Applicant: John Bennett (GCASA)

Proposal 2: Site Plan Review of a two story, 8,788 sq.’, 20 bed detoxification facility that will be added to the existing Atwater Residence located on this treatment campus

Actions:

1. Review application
2. Public hearing and discussion
3. SEQR
4. Action by the board

Regarding: *Public Garage (automotive repair shop)*

Proposal 3: City Council has been petitioned to amend the current zoning ordinance to allow the principal use of “Public Garage” for the storage, hiring, selling, greasing, washing, servicing, or repair of motor vehicles, operated for gain in the I-1 Industrial Use District

- Actions:
1. Review petition
 2. Discussion and recommendation to City Council

V. Setting of Next Meeting: August 18, 2020

VI. Adjournment



GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID C-10-BAT-7-20
Review Date 7/9/2020

Municipality BATAVIA, C.
Board Name CITY PLANNING AND DEVELOPMENT COMM.
Applicant's Name Victor Gautieri
Referral Type Special Use Permit
Variance(s) _____
Description: Special Use Permit, Site Plan and Downtown Design Review for exterior alterations and to create 10 dwelling units on the second floor of an existing commercial building.
Location 45 Ellicott St. (NYS Rt. 63), Batavia
Zoning District Central Commercial (C-3) District

PLANNING BOARD DECISION

APPROVAL

EXPLANATION:

The proposed building alterations are a positive step for the development of Downtown Batavia and should pose no negative county-wide or inter-community impact. It is recommended that future development of the additional ground floor commercial space address access and activation of the south elevation towards Ellicott St. It is further recommended that the applicant submit the attached application for 9-1-1 Address Verification to the Genesee County Sheriff's Office to ensure that addresses are assigned that meet Enhanced 9-1-1 standards.

Director

July 9, 2020

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.



GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID C-11-BAT-7-20
Review Date 7/9/2020

Municipality BATAVIA, C.
 Board Name CITY PLANNING AND DEVELOPMENT COMM.
 Applicant's Name John Bennett (GCASA)
 Referral Type Site Plan Review
 Variance(s) _____
 Description: Site Plan Review to construct a two-story 8,788 sq. ft. 20 -bed detoxification center addition to an existing facility.

Location 424 E. Main St. (NYS Rts. 5 & 33), Batavia
 Zoning District Limited Commercial (C-1) District

PLANNING BOARD DECISION

APPROVAL

EXPLANATION:

The proposed addition should pose no significant county-wide or inter-community impact.

Director

July 9, 2020

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.

A - PAINTED
CMU-1

B - PAINTED
CMU-2



A2.1 | North Elevation
3/32"=1'-0"

C - PAINTED
EIFS

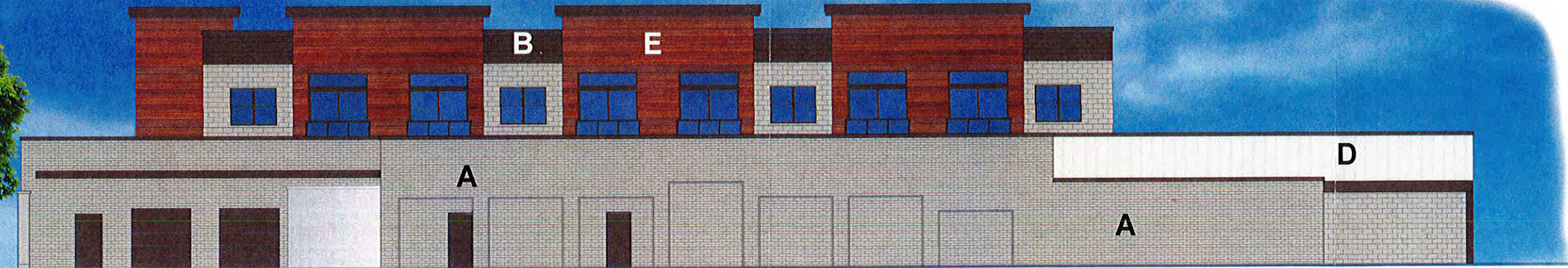
D - PAINTED
METAL
SIDING



A2.2 | South Elevation
3/32"=1'-0"

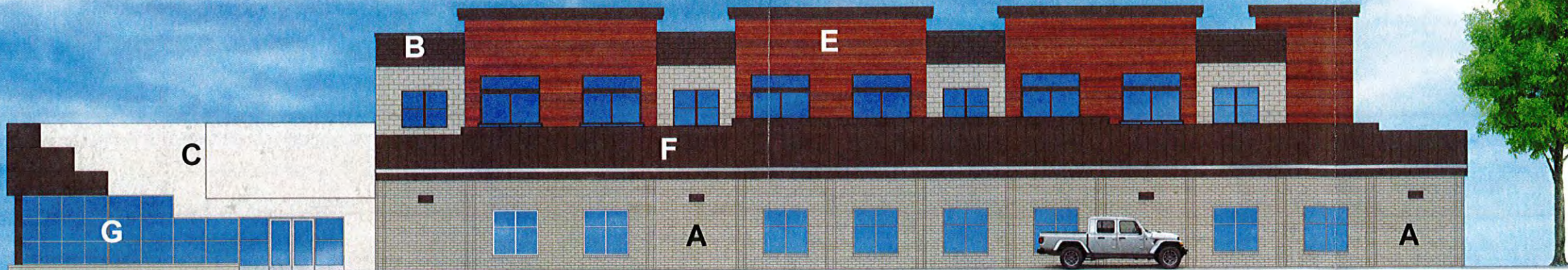
E - WOOD
RAINSCREEN SIDING

F - METAL
SIDING

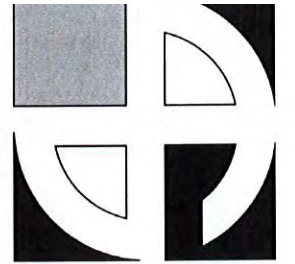


A2.3 | East Elevation
3/32"=1'-0"

G - ALUMINUM
STOREFRONT
CLEAR FINISH



A2.4 | West Elevation
3/32"=1'-0"



DEAN
ARCHITECTS

www.deanarchitects.com



3284 WALDEN AVENUE
DEPEW, NEW YORK 14043
PHONE: (716) 651-0381
FAX: (716) 651-0382

17-437

Proposed Mixed Use Build-Out:

Ellicott Place

45-47 Ellicott Street
Batavia, NY 14020

No.	Description	Date	By

DATE:
6-12-2020
DRAWN BY:
D. Wzientek
CHECKED BY:
M. Dean
SCALE:
3/32"= 1'-0"

Elevations

A2



Ellicott Place

Multi-Tenant & Apartments

45-47 Ellicott Street

Batavia NY 14020



D·E·A·N ARCHITECTS



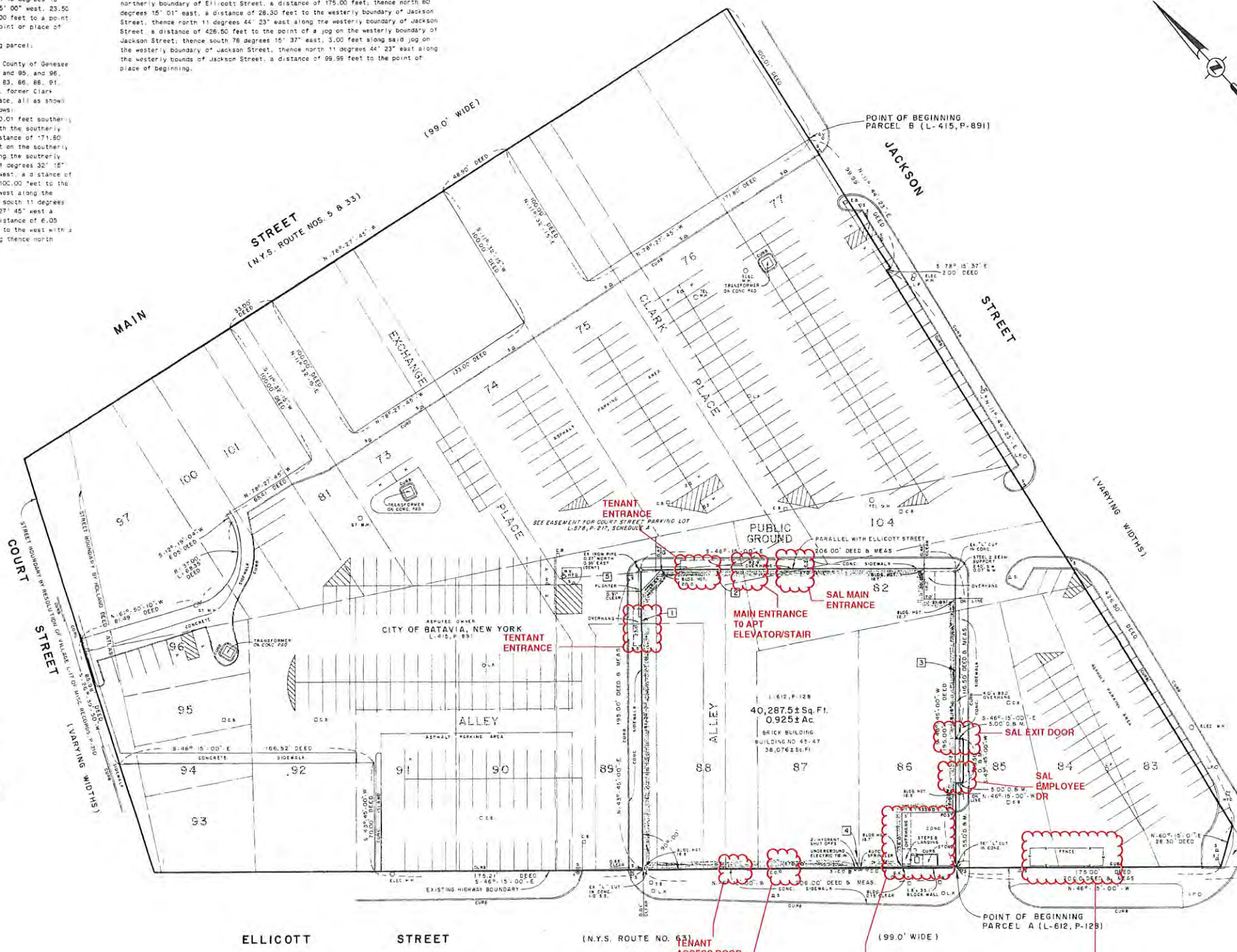
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www.deanarchitects.com

PARCEL A (L-612, P-128)
 ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Batavia, County of Genesee State of New York, being part of former Village Lots Nos. 88, 89, 87, 82, 86, 89 and 104, and part of Clark Place, according to the Holland Deed Atlas, page 17, bounded and described as follows:
 COMMENCING at the intersection of the northerly street boundary of Elliott Street, Elliott Street being 99 feet wide; and westerly boundary of Jackson Street, Jackson Street being 66 feet wide at this point; thence running north 46 degrees 15' 00" west along the said northerly boundary of Elliott Street, a distance of 200.00 feet to the point of place of beginning; running thence north 46 degrees 15' 00" west continuing along the said northerly boundary of Elliott Street, a distance of 206.00 feet to a point; thence running north 43 degrees 45' 00" east at right angles to Elliott Street, a distance of 195.00 feet to a point; thence running south 46 degrees 15' 00" east parallel to Elliott Street, a distance of 206.00 feet to a point; thence running south 43 degrees 45' 00" west at right angles to Elliott Street, a distance of 116.50 feet to a point; running thence south 45 degrees 15' 00" east, 5.00 feet to a point; running thence south 43 degrees 45' 00" west, 23.50 feet to a point; running thence north 46 degrees 15' 00" west, 5.00 feet to a point; running thence south 43 degrees 45' 00" west, 55.00 feet to the point of place of beginning.
 TOGETHER with an easement, together with others over the following parcels:

PARCEL B
 ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Batavia, County of Genesee State of New York, being former Village Lots Nos. 84, 85, 90, and 99, and parts of former Village Lots Nos. 73, 74, 75, 76, 77, 81, 82, 83, 86, 88, 91, 92, 94, 97, 100, 101, and 104, and parts of former Exchange Place, former Clark Place, and the former public ground, the southern end of Clark Place, all as shown in the Holland Deed Atlas, page 17, bounded and described as follows:
 COMMENCING on the westerly bounds of Jackson Street at a point 100.01 feet southerly from the intersection of the westerly bounds of Jackson Street with the southerly bounds of Main Street; thence north 78 degrees 27' 45" west, a distance of 171.80 feet; thence north 11 degrees 32' 15" east, 100.00 feet to a point on the southerly boundary of Main Street; thence north 76 degrees 27' 45" west along the southerly boundary of Main Street, a distance of 48.96 feet; thence south 11 degrees 32' 15" west, a distance of 100.00 feet; thence north 76 degrees 27' 45" west, a distance of 133.00 feet; thence north 11 degrees 32' 15" east, a distance of 100.00 feet to the southerly bounds of Main Street; thence north 76 degrees 27' 45" west along the southerly bounds of Main Street, a distance of 33.00 feet; thence south 11 degrees 32' 15" west, a distance of 100.00 feet; thence north 78 degrees 27' 45" west a distance of 85.41 feet; thence south 12 degrees 19' 04" west, a distance of 6.00 feet to a point; running thence southerly and westerly, on a curve to the west with a radius of 37.00 feet and arc distance of 48.35 to a point, running thence north

81 degrees 50' 10" west, a distance of 81.48 feet to the easterly street boundary of Court Street; thence south 25 degrees 39' 50" west along the easterly boundary of Court Street, a distance of 85.98 feet; thence south 46 degrees 15' 00" east, a distance of 166.50 feet; thence south 43 degrees 45' 00" west, a distance of 70.00 feet to a point on the northerly boundary of Elliott Street; thence south 46 degrees 15' 00" east along the said northerly boundary of Elliott Street, a distance of 175.21 feet; thence north 43 degrees 45' 00" east, a distance of 195.00 feet; thence south 46 degrees 15' 00" east, a distance of 206.00 feet; thence south 43 degrees 45' 00" west, a distance of 195.00 feet to a point on the northerly boundary of Elliott Street; thence south 46 degrees 15' 00" east along the northerly boundary of Elliott Street, a distance of 175.00 feet; thence north 60 degrees 15' 01" east, a distance of 28.30 feet to the westerly boundary of Jackson Street; thence north 11 degrees 44' 23" east along the westerly boundary of Jackson Street, a distance of 428.60 feet to the point of a jog on the westerly boundary of Jackson Street; thence south 76 degrees 15' 37" east, 3.00 feet along said jog on the westerly boundary of Jackson Street; thence north 11 degrees 44' 23" east along the westerly bounds of Jackson Street, a distance of 99.99 feet to the point of place of beginning.



- STATEMENT OF ENCROACHMENTS**
- 1 THE OVERHANG LOCATED ON THE NORTHWEST BUILDING WALL ENCLOSED ABOUT 6' 0" AT THE NORTHWEST CORNER AND ABOUT 4' 0" AT THE NORTHWEST CORNER.
 - 2 THE OVERHANG LOCATED ON THE NORTH-EAST BUILDING WALL ENCLOSED FOR ABOUT 5' 8" FOR ITS ENTIRE LENGTH OF 82' 0".
 - 3 THE OVERHANG LOCATED ON THE SOUTHWEST BUILDING WALL ENCLOSED 6' 0" FOR ITS ENTIRE LENGTH OF 85' 0".
 - 4 THERE ARE VARIOUS UTILITY FEATURES (AUTO SPRINKLER, HYDRANT, SHUT OFFS & ELECTRIC TIE IN) LOCATED ALONG THE SOUTHWEST BUILDING WALL.
 - 5 THE PLANTER AT MOST NORTHERLY BUILDING CORNER ENCLOSED ABOUT 1' 0" AT ITS SOUTHWEST CORNER AND ABOUT 6" AT ITS SOUTHEAST CORNER.

TO: JPMORGAN CHASE BANK, AS TRUSTEE FOR THE REGISTERED CERTIFICATEHOLDERS OF PRINCIPAL SECURITIES SECURED FINANCING CORPORATION COMMERCIAL MORTGAGE PASS THROUGH CERTIFICATES, SERIES 1999-A, CENTRALINE SERVICES INC. AND FLOOR TITLE INSURANCE COMPANY
 THIS IS TO CERTIFY THAT IN MY PROFESSIONAL OPINION THIS MAP OF PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS AS JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NEPS IN 2002, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(a), 7(b)(1)(i), 7(b), 8, 9, 10, 11(a), 13, 14, 16, 17 AND 18 OF TABLE A, THEREOF. JURISDICTION TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NEPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSTOOD FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION A SURVEYOR REGISTERED IN THE STATE OF NEW YORK, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.
 JOHN E. MCINTOSH, III
 DATE: JUNE 23, 2007
 LICENSE NO. 49928

NOTES CORRESPONDING TO SCHEDULE B
 (C) TERMS, COVENANTS, CONDITIONS, RESTRICTIONS, STIPULATIONS AND AGREEMENTS IN L-463, P-177

- LEGEND**
- LIGHT POLE
 - WATER VALVE
 - HYDRANT
 - CATCH BASIN
 - SIGN
 - ELECTRIC BOX
 - CLEAFOOT
 - ELECTRIC MANHOLE
 - STOP MANHOLE
 - TELEPHONE MANHOLE
 - FENCE
 - HANDICAPPED PARKING SPACE
 - TRAFFIC BOX
 - CONCRETE
 - MEAS. MEASURED
 - BLDG. HGT. BUILDING HEIGHT

- NOTES**
- 1) ALL UTILITY INFORMATION SHOWN IS FROM ABOVE OR AT GROUND. VISIBLE INDICATIONS OF FACILITIES. NO INVESTIGATION OR EXCAVATION OF UNDERGROUND UTILITIES WAS CONDUCTED.
 - 2) PREMISES IS ZONED C-3, CENTRAL COMMERCIAL ZONING DISTRICT.
 - 3) SETBACK REQUIREMENTS: 20' FRONT, 5' SIDE, 5' REAR. YARD, 0' FEET. HEIGHT - 45' FOOT MAXIMUM. STEEPLES & TOWERS - 80' FOOT MAX. ZONING INFORMATION PROVIDED BY CITY OF BATAVIA ENGINEERING DEPARTMENT (360)345-5300.
 - 4) SCHEDULE OF PARKING: 311 - STANDARD PARKING SPACES; 324 - TOTAL. PER CITY OF BATAVIA ENGINEERING DEPARTMENT. NO SPECIFIC PARKING REQUIREMENTS ARE REQUIRED PER SECTION 30.85 OF THE ZONING ORDINANCE.
 - 5) REFERENCE MAP: CITY OF BATAVIA TAX MAP PARCEL NO. 84 11-3-7.
 - 6) BEARINGS SHOWN ARE REFERENCED TO EXISTING DEED(S) OF RECORD (L-612, P-128).
 - 7) SEE EASEMENT IN DEED TO STANLEY R. GUMBERG L-403, P-117. NO SPECIFIC LOCATION DESCRIBED.
 - 8) BEARING SHOWN ARE REFERENCED TO EXISTING DEED(S) OF RECORD (L-612, P-128).
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 - 115) BEARING SHOWN ARE REFERENCED TO EXISTING DEED(S) OF RECORD (L-612, P-128).
 - 116) BEARING SHOWN ARE REFERENCED TO EXISTING DEED(S) OF RECORD (L-612, P-128).
 - 117) BEARING SHOWN ARE REFERENCED TO EXISTING DEED(S) OF RECORD (L-612, P-128).
 - 118) BEARING SHOWN ARE REFERENCED TO EXISTING DEED(S) OF RECORD (L-612, P-128).
 - 119) BEARING SHOWN ARE REFERENCED TO EXISTING DEED(S) OF RECORD (L-612, P-128).
 - 120) BEARING SHOWN ARE REFERENCED TO EXISTING DEED(S) OF RECORD (L-612, P-128).



45-47 ELLICOTT STREET
 ALTA/ACSM LAND TITLE SURVEY
 MCINTOSH & MCINTOSH, P.C.
 CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS
 LOCKPORT, NEW YORK BUFFALO, NEW YORK
 PHONE (716) 434-9138 PHONE (716) 885-8342

REVISION	DATE	DESCRIPTION
1	JUNE 23, 2007	AS SHOWN

SURVEY OF PART OF VILLAGE LOTS-82,85,86,87,88,89,104 & PART OF CLARK PLACE
 LOCATION CITY OF BATAVIA, GENESEE COUNTY, NEW YORK
 REFERENCE MAP: HOLLAND DEED ATLAS, PAGE 17
 JOB NO. B-3044-A | SCALE: 1" = 30' | DATE: APRIL 16, 1998

CODE DATA

I. GENERAL SITE AND PROJECT INFORMATION

- A. This is an renovation to an existing building with an Group B (Business) classification
- B. The existing building is non-sprinklered
- C. Provisions have been made so that all exits discharge to grade or at access to grade.
- D. These construction documents indicate for accessibility to be maintained from the public way into, and throughout building

II. GOVERNING CODES

BUILDING: 2015 International Building Code
MECHANICAL: 2015 International Mechanical Code
ELECTRICAL: 2015 International Electrical Code
PLUMBING: 2015 International Plumbing Code
FIRE PROTECTION: most current NFPA 13
LIFE SAFETY: most current NFPA Life Safety Code
ACCESSIBILITY: Chapter 11 of NYS, Americans with Disabilities Act and Associated Guidelines (ADAAG), ANSI A117.1-2009

III. USE AND OCCUPANCY CLASSIFICATION

- A. Tab. 508.4- No separation is required between the applicable uses of Group B (Business)

- B. Sec. 304 & 311- This project is classified as Business Use Group B Classification

IV. TYPE OF CONSTRUCTION

	Business Area (B) Type IIB Construction		Residential (R-2) Type IIB Construction	
	Allowable	Actual	Allowable	Actual
Height	85'-0"	19'-8" ±	60'-0"	34'-6" ±
Stories	4	1	4	1
Area	92,000	19,378	16,000	12,378

V. INTERIOR FINISHES

- A. Tab. 803.5- Interior wall and ceiling finishes for Occupancy Group B, non-sprinklered are Class A for exit enclosures and exit passageways, Class B for exit access corridors and other exitways, and Class C for rooms and enclosed spaces.

VI. MEANS OF EGRESS

- A. Values are from plan layout contained in these construction documents.

TOTAL SQUARE FOOTAGE

Business	Residential
19,378 S.F.	12,378 S.F.

- B. Occupancy calculation values are from Tab. 1004.1.2 and plan layout contained in these construction documents.

TOTAL OCCUPANT LOAD:

Business	Residential	Total Occupant Load
19,378 S.F./100 Gross=194	12,378 S.F./200 Gross=62	71 Persons

- C. Egress width calculation values are from Sec. 1005.3.2 and calculations above.

Total occupant load of 194 multiplied by 0.20 per occupant equals 38.8' of exit width required.
 144" of exit width have been provided.

VII. DOOR REQUIREMENTS

- A. Sec. 1010.1.3- Opening force for interior side swinging doors without closers shall not exceed a 5 lb. force. For other doors the latch shall release when subjected to a 15 lb. force. The door shall be set in motion when subjected to a 30 lb. force and shall swing to a full open position when subjected to a 15 lb. force. All forces shall be applied to latch side.

- B. Sec. 1010.1.9- Egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort. Per 1010.1.9.3.2 the main exterior door or doors in Group B occupancy may be equipped with a key operated locking device from the egress side if the device is readily distinguishable as locked and there is a sign stating "This door to remain unlocked when building is occupied".

VIII. EXIT QUANTITIES AND LOCATIONS

- A. Values are from Tab. 1006.3.1 and actual plan layout contained in these construction documents.

Minimum of 2 exits required for 1-500 occupants.

- B. Sec. 1016.2- Egress from a room or space shall not pass through adjoining or intervening rooms or areas, except where such adjoining rooms or areas are accessory to the area served, are not a high-hazard occupancy, and provide a discernible path of egress travel to an exit.

- C. Tab. 1016.2- Maximum exit access travel distance, measured along the exit path, shall not exceed 200 feet for non-sprinklered buildings of occupancy Groups B.

IX. EXIT ACCESS COMPONENTS

- A. Sec. 1018- Minimum clear aisle widths for public areas in Groups B occupancies shall be determined by Sec. 1005.1, but shall not be less than 36 inches. Per Sec 1005.1 the minimum width shall be calculated at 0.3" per occupant for stairs and 0.2" per occupant for other egress components in areas without sprinkler systems

X. ACCESSIBILITY

- A. Sec. 1109.2- Toilet rooms are required to be accessible.

- B. Sec. 1109.3- Mop and service sinks are not required to be accessible.

- C. Sec. 1109.5.1- 2 drinking fountains shall be provided, one shall comply with requirements for people who use a wheelchair & one shall comply with requirements for standing patrons. Per Exception, a single drinking fountain that complies with the requirements for people who use a wheelchair and standing patrons may be substituted for 2 separate drinking fountains

XI. MINIMUM PLUMBING FACILITIES

- A. Sec. 2902.2- Separate toilet facilities shall be provided for each sex. Exception 2 provides that separate toilet facilities shall not be required where the total occupant load including employees and customers is 15 or less.

	Plumbing Fixture Requirements Business (B)		
	Occ. Load	Required	Provided
Water Closet	194	1/25 For 1st 50 = 2 1/50 For Remainder = 3	5
Lavatories	194	1/40 For 1st 80 = 2 1/80 For Remainder = 2	4
Drinking Fountain	194	1 Per 100 = 2	2
Service Sink	194	1	1

	Plumbing Fixture Requirements Residential (R)		
	Occ. Load	Required	Provided
Water Closet	62	1 Per Dwelling=10	20
Lavatories	62	1 Per Dwelling=10	30

PROJECT TEAM

OWNER:
 V.J. Gaudier Constructors, Inc.
 45 Liberty Street
 Batavia, NY 14020

ARCHITECT:
 Dean Architects
 3284 Walden Ave.
 Depew, NY 14043
 Contact: Mark Dean
 P: (716) 651-0381
 F: (716) 651-0382
 markd@deanarchitects.com

AUTHORITIES HAVING JURISDICTION

BUILDING DEPARTMENT:
 Batavia Building Department
 3633 West Main Road
 Batavia, NY 14020
 P: (585) 343-1729

FLAME SPREAD RATINGS

Gypsum Board
 USG 5/8" Type 'X' Gyp. Board w/ 3 3/4" x 20 ga. Metal Studs; ASTM E-119 Or UL 263 Under The Mil-Burton Act. It Has A Flame Spread Rating of 15, Fuel Contribution of 0, & Smoke Density of 0.
 Contact: Steve Munoz, U.S. Gypsum Association (415)792-4400

Paint Finish
 On wall & Other Surfaces: Benjamin Moore Paint. ASTM E 84 Under The Mil-Burton Act. It Has A Flame Spread Rating of 15, Fuel Contribution of 15, & Smoke Density of 0.
 Contact: Gus Mesba (800)642-5678 Ext. 2221 or Call (925) 640-6101

Plastic Laminate
 See Vendors Below; ASTM E-84 w/ A Flame Spread Rating Of 100 & Smoke Rating of 35.
 Contact: Steve Tyack, Wilson Art (916)837-3831/Shirley Dehart, Navimar (800) 254-0778
 Liesl Heil, Formica (415)956-7742

Medium Density Fiberboard
 Medite Corporation; Formaldehyde-Free Wood Based Panel Product (Shelving). Conforms To ASTM D 2037-87-25 When Tested In Accordance With UL Test 723 Or ASTM E-84
 Contact: Medite Corporation (541) 773-2522

Melamine
 On Cashwrap Surfaces, Test Conducted In Accordance w/ UL962. It Has A Flame Spread Rating Of 75 & Smoke Developed Index of 55
 Contact: Mark Rexroat (mark.rexroat@IDLXLOUISVILLE.com)

Stainless Steel
 Stainless Steel Wainscot Provided Should Be Fabricated From Fire Rated Materials Tested In Accordance w/ ASTM-E-84-01 (Can/ULC s102.2 For The Following Class 1 Characteristics: Flame Spread Of 25 Or Less & Smoke Developed Of 450 or Less

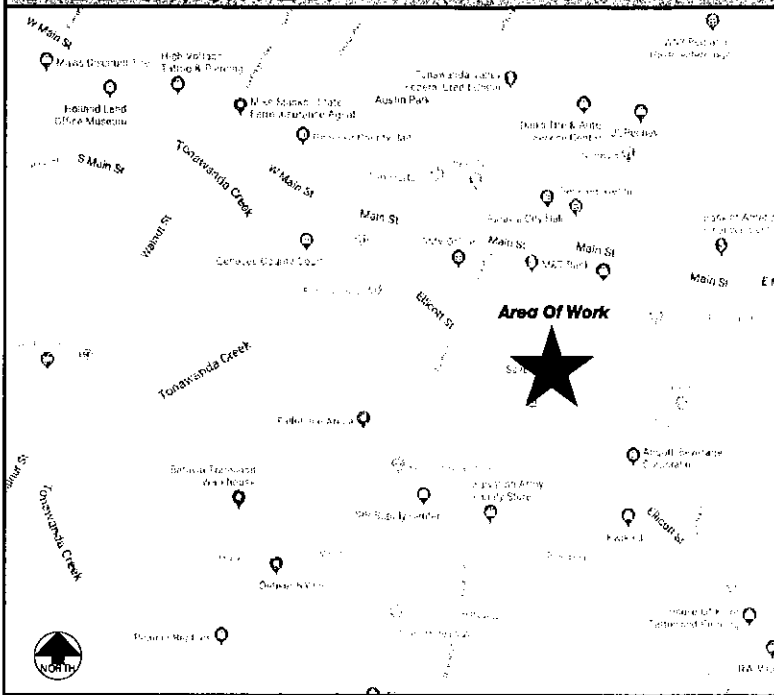
GENERAL NOTES

1. Do Not Scale Drawings.
2. The Contractor Shall Verify All Dimensions, Grades, Boundries, And Construction And Immediately Report Any Discrepancies To Construction Manager Before Proceeding With The Work.
3. All Work Shall Conform To The Requirements Of All Local, State And Federal Codes. Local, State And Federal Codes Are To Be Taken Precedence Over The Drawings And Specifications. If Discrepancy Is Noted Inform Construction Manager Immediately And Before Proceeding With The Work.
4. All Dimensions, Notes, Finishes And Fixtures Shown On Typical Floor Plans, Sections Or Details Shall Apply To All Similar, Symmetrical Or Opposite Hand Plans, Sections Or Details.
5. All Dimensions Are To Face Stud Or Actual Face Of Masonry Unless Otherwise Noted.
6. All Wood Blocking And Plywood Sheathing To Be Fire Retardant (FRT) In Accordance With Latest AWPA Standards For Plywood And Lumber.
7. The Contractor Shall Follow All Safety Regulations As Recommended By OSHA.
8. The Contractor Shall Confine Operations At The Site To Areas Indicated On The Drawings And Shall Not Encumber The Site With Material And Equipment.
9. Guarantee Material, Equipment And Labor For A Period Of One Year After Owner Acceptance Of Work.
10. Failure To Show Or Mention Minor Details Shall Not Be Warrent For Omission Of Necessary Apputenances For The Normal, Usual And Proper Completion Of The Work.
11. All New Wall And Floor Finishes Shall Be Of Class 'A' Or 'B' And Class '1' Or Class '2' Ratings Respectively, And Shall Be Installed Per The Manufacturers Instructions.

COVID-19 COMPLIANCE

The Contractor Shall Conform To All Local, State, And Federal Requirements and Guidelines Regarding COVID-19

SITE LOCATION PLAN



DESIGN LOADS

Assumed Soil Bearing Capacity	1500 PSF
Roof Live Load	20 PSF
Ground Snow Load	55 PSF
Wind Load	115 MPH
1st Floor Live Load	100 PSF
2nd Floor Live Load (Private Rooms)	40 PSF
2nd Floor Live Load (Corridors)	100 PSF

DRAWING LIST

G0	Cover Page	FP1	1st Floor Sprinkler Plan
G1	Project Information	FP1.1	2nd Floor Sprinkler Plan
G1.1	1st Floor Key Plan	M1	1st Floor HVAC Plan
G1.2	2nd Floor Key Plan	M1.1	2nd Floor HVAC Plan
G1.3	1st Floor Life Safety Plan	M1.2	Furnace Details
G1.4	2nd Floor Life Safety Plan	M1.3	Roof Top Unit Details
G2	Accessibility Plans	P1	1st Floor Supply Plumbing
G2.1	Accessibility Details	P1.1	2nd Floor Supply Plumbing
G2.2	Accessibility Details	P2	1st Floor DWV Plumbing
G2.3	Firestopping Details	P2.1	2nd Floor DWV Plumbing
G3.1	Firestopping Details	P3	Plumbing Schedule & Details
A1	1st Floor Plan	P4	1st Floor Gas Piping
A1.1	2nd Floor Plan	P4.1	2nd Floor Gas Piping
A1.2	Enlarged 2nd Floor Plan	E1	1st Floor Power Plan
A1.3	Enlarged 2nd Floor Plan	E1.1	2nd Floor Power Plan
A1.4	Enlarged Toilet Rooms	E2	1st Floor Lighting Plan
A1.5	Enlarged Tenant Storage Rm	E2.1	2nd Floor Lighting Plan
A1.6	Storage Unit Details	E3	Electrical Details
A2	Elevations	E4	First Floor Fire Alarm Plan
A2.1	Rainscreen Details	E4.1	Second Floor Fire Alarm Plan
A3	Building Sections		
A4	Wall Sections		
A5	1st Floor RCP		
A5.1	2nd Floor RCP		
A6	1st Floor Room Finish Plan		
A6.1	2nd Floor Room Finish Plan		
A7	Stair Details		
A7.1	Stair Details		
A7.2	Stair Details		
A7.3	Elevator Details		
A8	Door Details		
A8.1	Window Details		
A9	Millwork Details		
A9.1	Millwork Details		



3284 WALDEN AVENUE
 DEPEW, NEW YORK 14043
 PHONE: (716) 651-0381
 FAX: (716) 651-0382

17-437

Proposed Mixed Use Build-Out:
Ellicott Place
 45-47 Ellicott Street
 Batavia, NY 14020

No.	Description	Date	By

DATE:
 6-12-2020

DRAWN BY:
 D. Wzientek

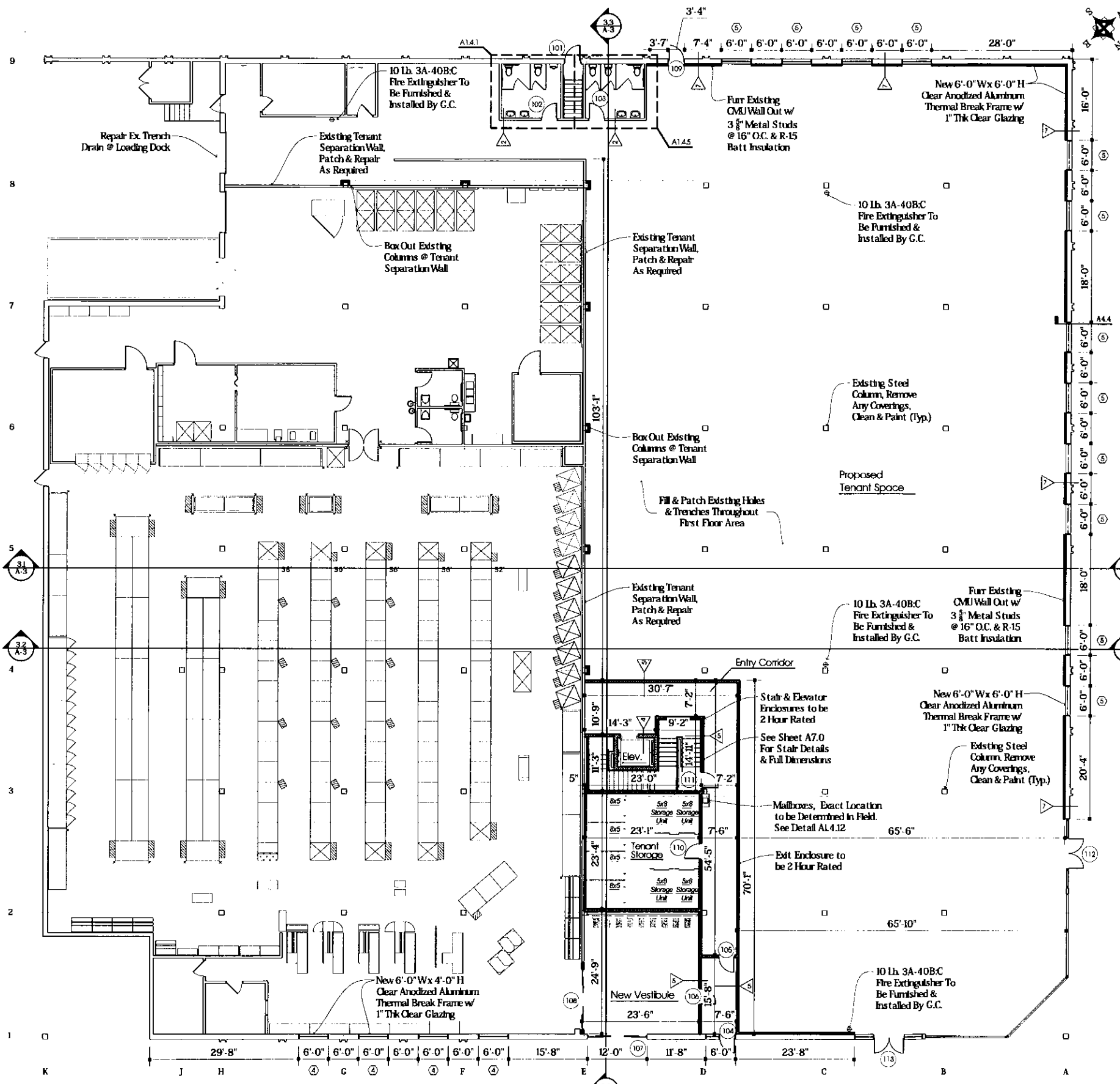
CHECKED BY:
 M. Dean

SCALE:
 -

Project Information

G1





A1.1 | 1st Floor Plan
3/32" = 1'-0"

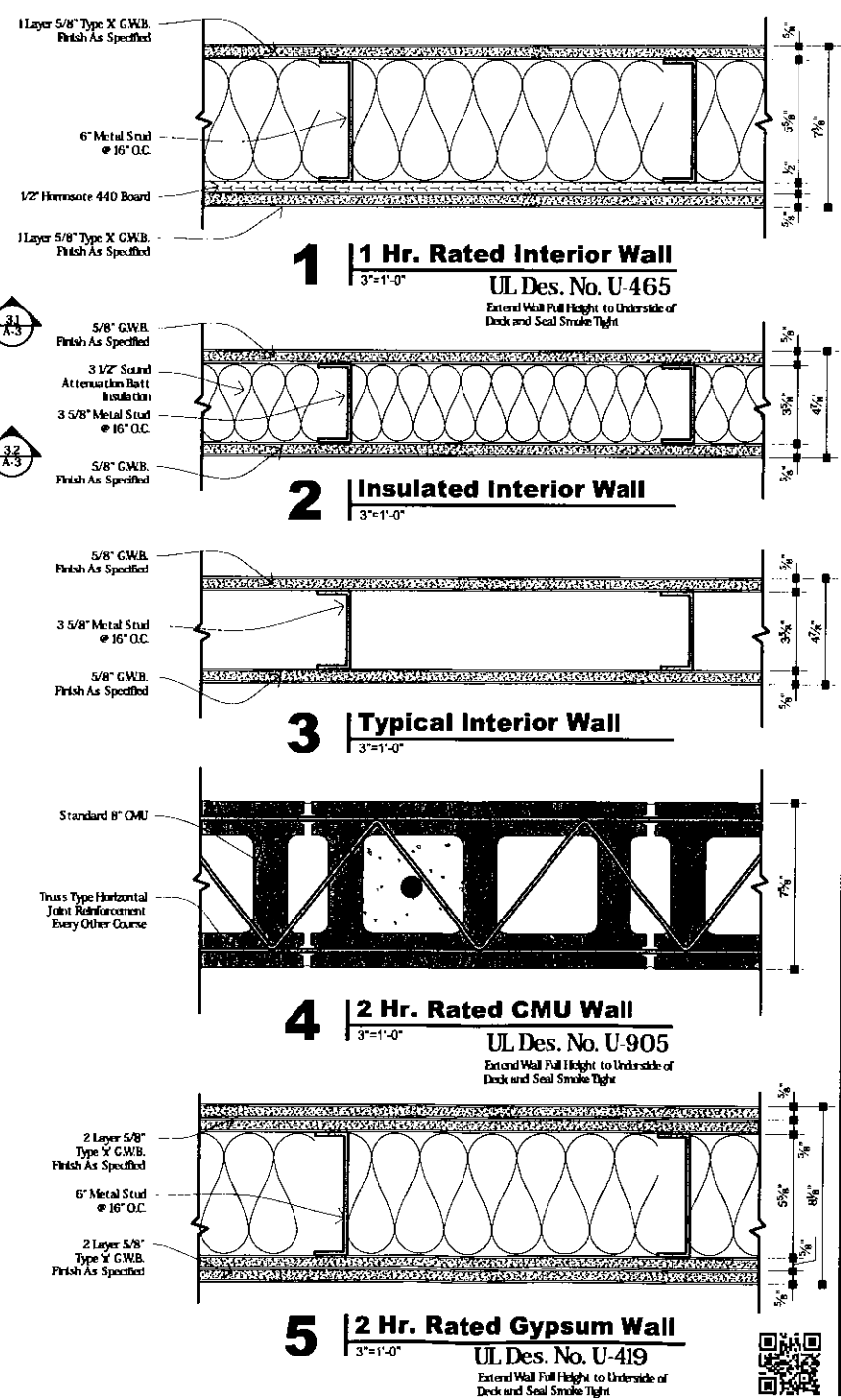
General Notes

1. Do Not Scale Drawings.
2. The Contractor Shall Verify All Dimensions, Grades, Boundaries, And Construction And Immediately Report Any Discrepancies To Owner Before Proceeding With The Work.
3. All Work Shall Conform To The Requirements Of All Local State And Federal Codes. Local, State And Federal Codes Are To Be Taken Precedence Over The Drawings And Specifications. If Discrepancy Is Noted Inform Owner Immediately And Before Proceeding With The Work.
4. All Dimensions, Notes, Finishes And Fixtures Shown On Typical Floor Plans, Sections Or Details Shall Apply To All Similar, Symmetrical Or Opposite Hand Plans, Sections Or Details.
5. All Dimensions Are To Face Stud Or Actual Face Of Masonry Unless Otherwise Noted.
6. All Wood Blocking And Plywood Sheathing To Be Fire Retardant (FRT) In Accordance With Latest AWPFA Standards For Plywood And Lumber.
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8. The Contractor Shall Confine Operations At The Site To Areas Indicated On The Drawings And Shall Not Encumber The Site With Material And Equipment.
9. Guarantee Material, Equipment And Labor For A Period Of One Year After Owner Acceptance Of Work.
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11. All New Wall And Floor Finishes Shall Be Of Class 'A' Or 'B' And Class '1' Or Class '2' Ratings Respectively, And Shall Be Installed Per The Manufacturers Instructions.

Legend

- 2 Hour Rated Fire Wall
- Typ. Interior Wall
- New Door
- Existing Wall To Remain
- New Door Number
- Room Number

Interior Wall Types



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www.deanarchitects.com

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PHONE: (716) 651-0381
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17-437

Proposed Mixed Use Build-Out:

Ellicott Place

45-47 Ellicott Street
Batavia, NY 14020

No.	Description	Date	By

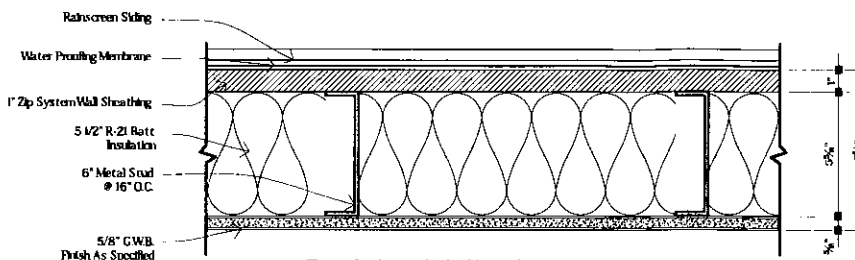
DATE: 6-12-2020
DRAWN BY: D. Wzientek
CHECKED BY: M. Dean
SCALE: 3/32" = 1'-0"

1st Floor Plan

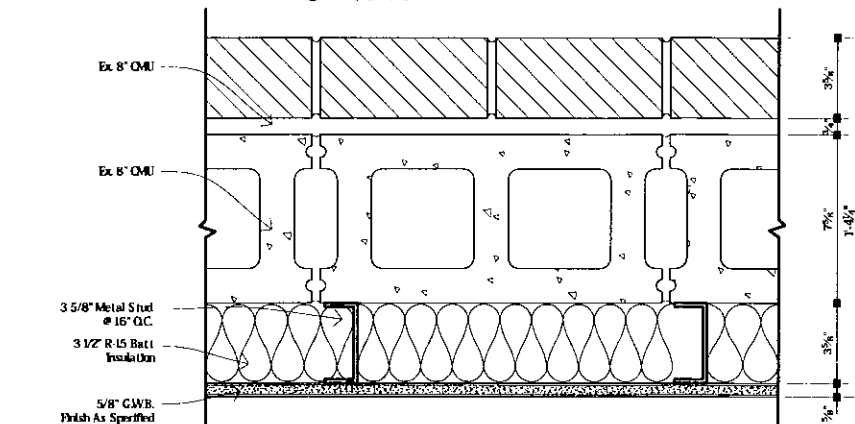
A1

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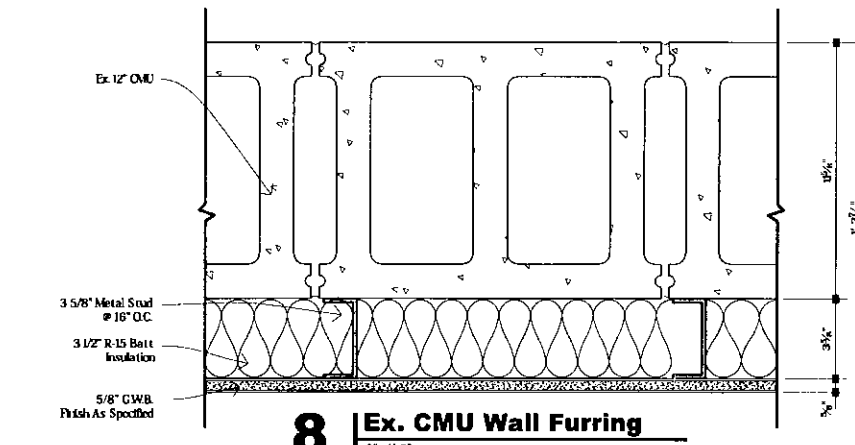
Exterior Wall Types



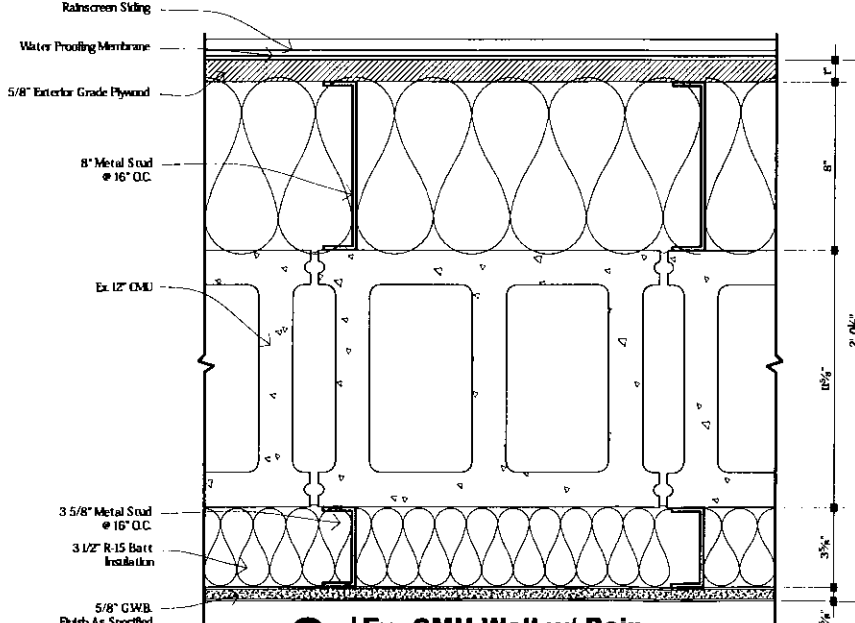
6 | Ext. Wall w/ Rainscreen
3\"/>



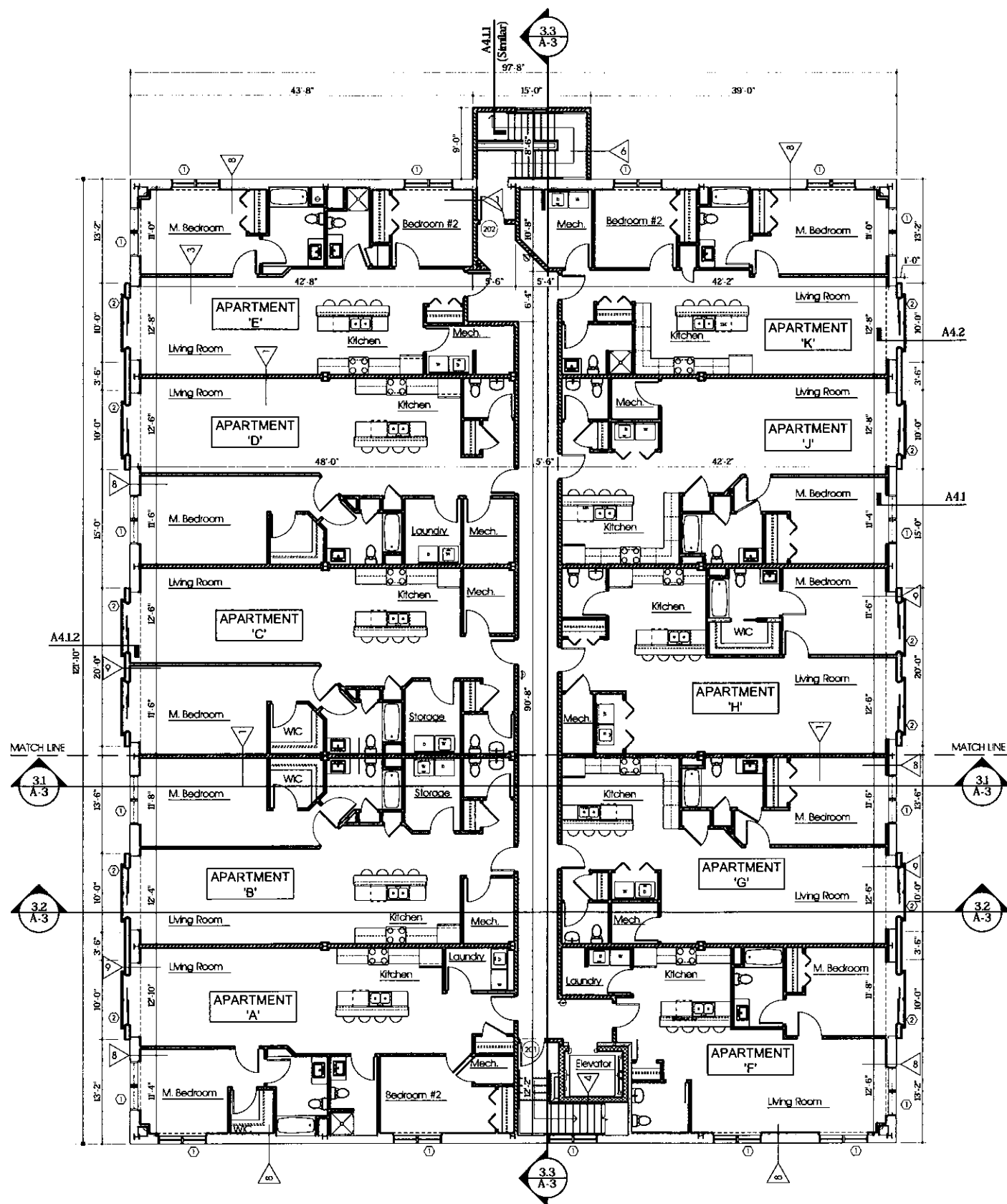
7 | Ex. CMU Wall w/ Furring
3\"/>



8 | Ex. CMU Wall Furring
3\"/>



9 | Ex. CMU Wall w/ Rainscreen
3\"/>



A1.1.1 | 2nd Floor Plan
1/8\"/>



BBB ACCREDITED
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DEPEW, NEW YORK 14043
PHONE: (716) 651-0381
FAX: (716) 651-0382

17-437

Proposed Mixed Use Build-Out:
Ellicott Place
45-47 Ellicott Street
Batavia, NY 14020

No.	Description	Date	By

DATE: 6-12-2020
DRAWN BY: A. Brose
CHECKED BY: M. Dean
SCALE: 3/32\"/>

2nd Floor Plan

A1.1



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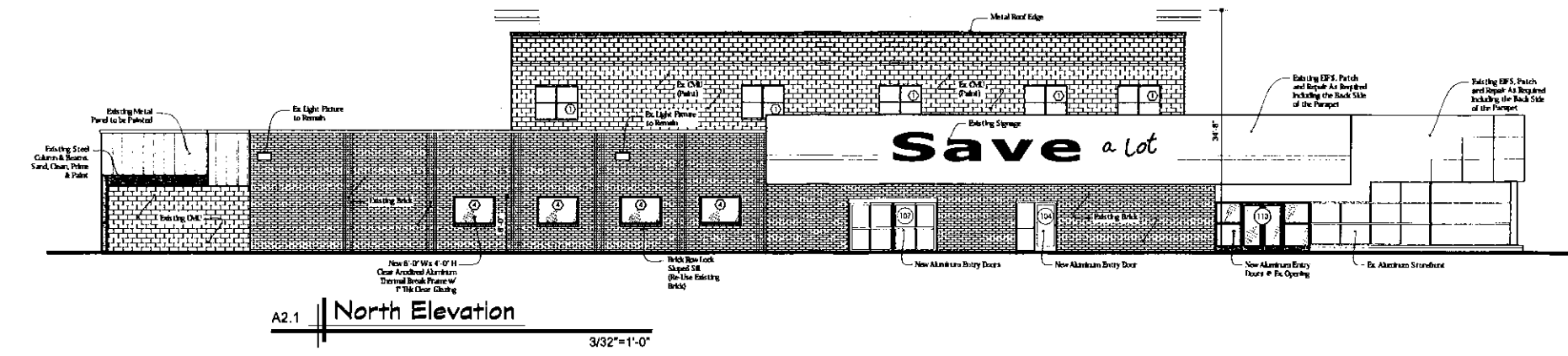
17-437

Proposed Mixed Use Build-Out:

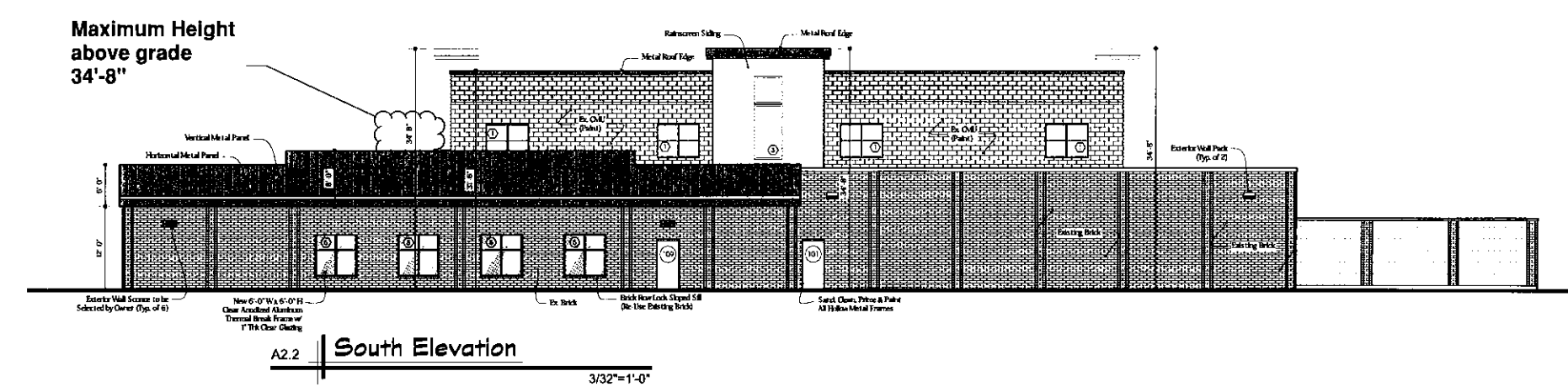
Ellicott Place

45-47 Ellicott Street
Baravia, NY 14020

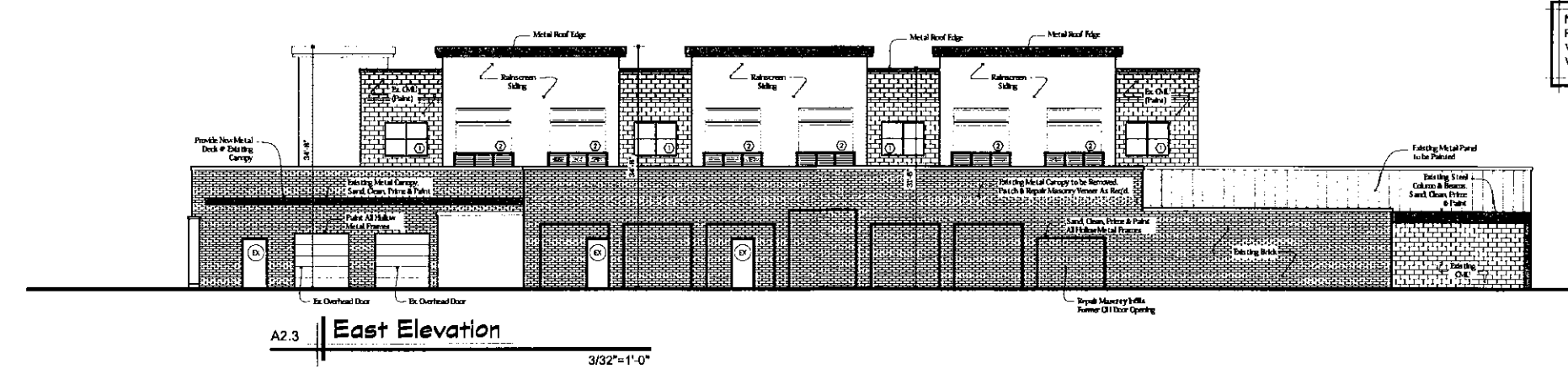
Note:
Repair All Damaged or Missing
Vertical Projections @ Masonry
Veneer



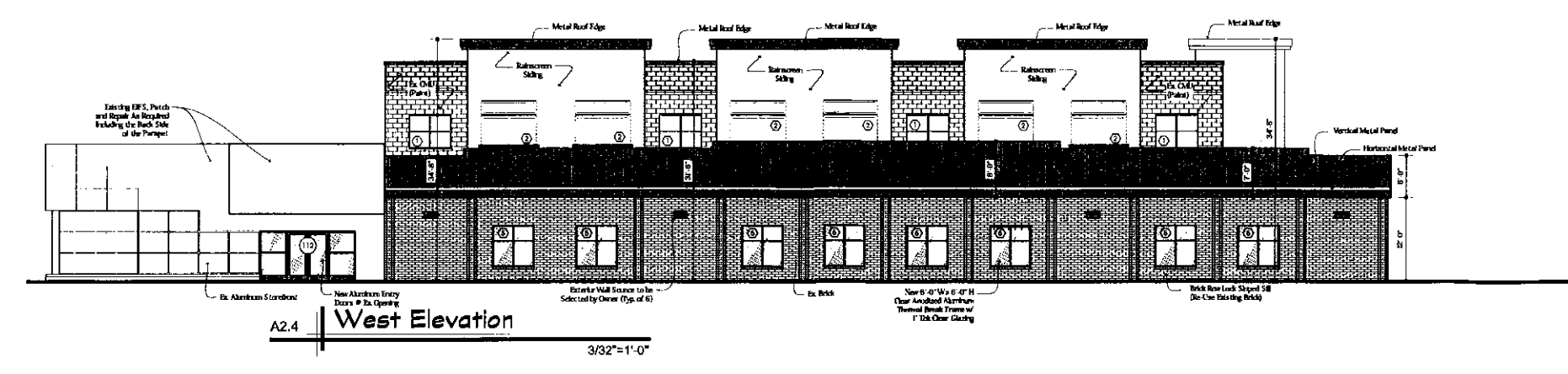
A2.1 | North Elevation
3/32" = 1'-0"



A2.2 | South Elevation
3/32" = 1'-0"



A2.3 | East Elevation
3/32" = 1'-0"



A2.4 | West Elevation
3/32" = 1'-0"

No.	Description	Date	By

DATE:
6-12-2020
DRAWN BY:
D. Wzientek
CHECKED BY:
M. Dean
SCALE:
3/32" = 1'-0"

Elevations

A2





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Proposed Mixed Use Build-Out:
Ellicott Place
45-47 Ellicott Street
Batavia, NY 14020

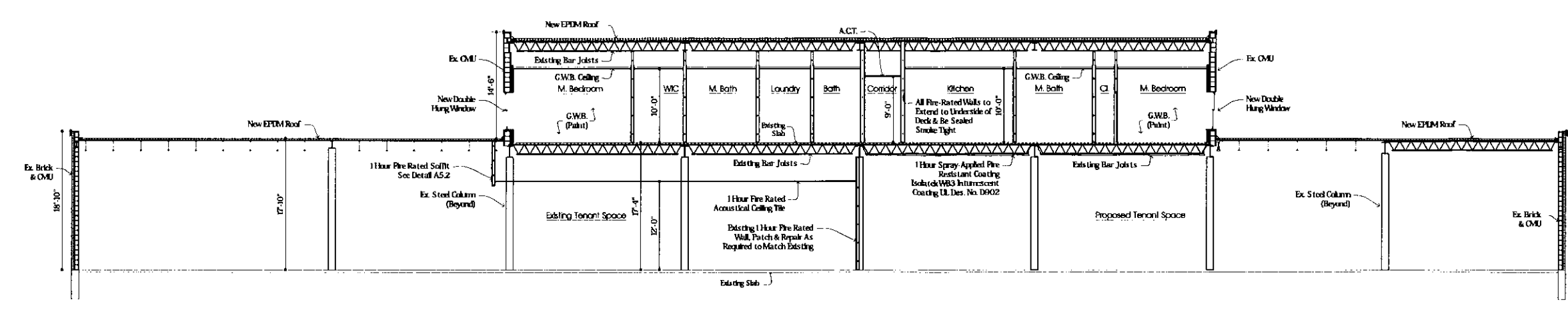
No.	Description	Date	By

DATE: 6-12-2020
DRAWN BY: A. Brose
CHECKED BY: M. Dean
SCALE: 3/32" = 1'-0"

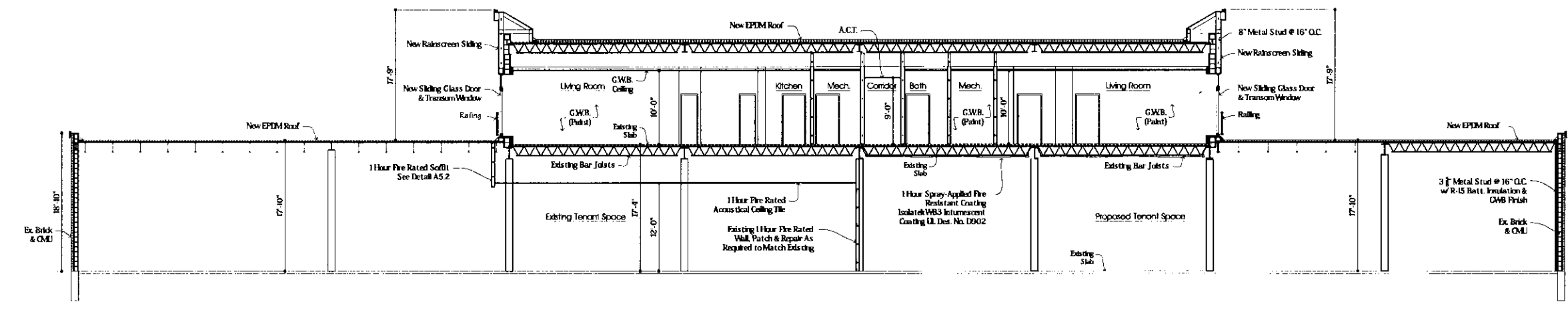
Building Sections

A3

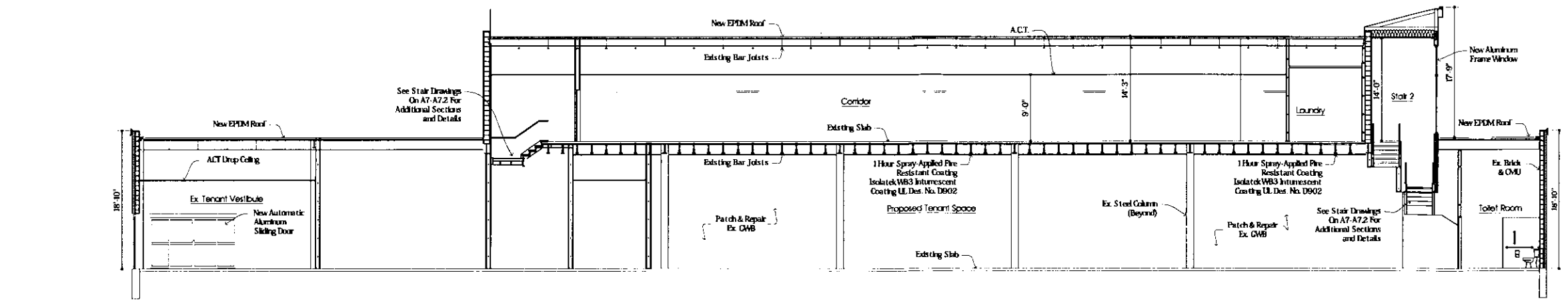
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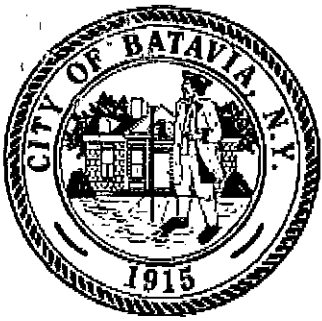
A3.1 Building Section
1/8" = 1'-0"



A3.2 Building Section
1/8" = 1'-0"



A3.3 Building Section
1/8" = 1'-0"



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 6/29/20

Re: 45-47 Ellicott St.
Tax Parcel No. 84.011-3-7

Zoning Use District: C-3

The applicant, V.J. Gautieri Constructors Inc. (owner), has submitted an application for a Special Use Permit to create a "Restricted Residential Use" on the second floor of this commercial building located within the Central Commercial District.

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

City Planning and Development Committee- Pursuant to section 190-14 D (2)(a) of the zoning ordinance, the Planning and Development Committee shall review permit applications involving exterior changes that require a building permit on properties located within the Central Commercial District. The standards to guide the committee are found in BMC 190-14 D(2)(d) [1-7].

Per BMC 190-37, special use permits may be authorized by the PDC for a particular use provided the applicant demonstrates compliance with the standards of BMC 190-37 I (1-9) and 190-37 K (1-14).

BMC 190-14 C (2) Restricted Residential Uses are permitted in the Central Business district (C-3) with issuance of a special use permit.

Per BMC 190-44 C (c), Site plan review- Any application for a special use permit is to be reviewed for site plan compliance with BMC 190-44.

The PDC will be the lead agency to conduct SEQR.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 815-7901

DEPARTMENT USE ONLY:
GCDP Referral # _____



*** GENESEE COUNTY *
PLANNING BOARD REFERRAL**

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) Planning and Development Committee
Address One Batavia City Centre
City, State, Zip Batavia, NY 14020
Phone (585) 345 - 6345 Ext. _____

2. APPLICANT INFORMATION

Name Victor Gautieri
Address 45 Liberty St., Suite 1
City, State, Zip Batavia, NY 14020
Phone (585) 343 - 0852 Ext. _____ Email vgautieri.com

MUNICIPALITY: City Town Village of Batavia

3. TYPE OF REFERRAL: (Check all applicable items)

- | | | |
|--|---|---|
| <input type="checkbox"/> Area Variance | <input type="checkbox"/> Zoning Map Change | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance | <input type="checkbox"/> Zoning Text Amendments | <input type="checkbox"/> Preliminary |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final |
| <input checked="" type="checkbox"/> Site Plan Review | <input checked="" type="checkbox"/> Other: <u>B.I.D. review</u> | |

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

- A. Full Address 45-47 Ellicott St.
- B. Nearest intersecting road Jackson St.
- C. Tax Map Parcel Number 84.011-3-7
- D. Total area of the property _____ Area of property to be disturbed _____
- E. Present zoning district(s) _____

5. REFERRAL CASE INFORMATION:

- A. Has this referral been previously reviewed by the Genesee County Planning Board?
 NO YES If yes, give date and action taken _____
- B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law
BMC 190-37 Special Use Permit
- C. Please describe the nature of this request Approval of a special use permit to create 10 dwelling units on the second floor of this commercial building located within the Downtown Business Improvement District.

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

- | | | |
|---|--|---|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments | <input type="checkbox"/> New or updated comprehensive plan |
| <input checked="" type="checkbox"/> Site plan | <input checked="" type="checkbox"/> Location map or tax maps | <input checked="" type="checkbox"/> Photos |
| <input type="checkbox"/> Subdivision plot plans | <input checked="" type="checkbox"/> Elevation drawings | <input checked="" type="checkbox"/> Other: <u>cover letters</u> |
| <input checked="" type="checkbox"/> SEQR forms | <input type="checkbox"/> Agricultural data statement | |

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com



PERMIT NO. 20-02

PAID

JUN 30 2020

CITY OF BATAVIA
CLERK-TREASURER

SPECIAL USE PERMIT

CITY OF BATAVIA, NEW YORK

LOCATION: 45-47 Ellicott Street
OWNER: V.J. Gautieri Constructors, Inc.
Address: 45 Liberty Street, Batavia, NY 14020

Application Date: June 25, 2020
Tax Parcel No.: 180200 84.011-3-7./A (1st flr)
180200 84.011-3-7./B (2nd flr)
Phone No. 585-343-0852

Yes COUNTY PLANNING REVIEW

No ZONING VARIANCE REQUIRED

C-3 ZONING DISTRICT

No HISTORIC DISTRICT

C FLOOD ZONE

No HISTORIC LANDMARK

No CORNER LOT

No CITY ENGINEER REVIEW

Yes SITE PLAN REVIEW

No CITY COUNCIL REVIEW

Yes BID

- OTHER

PROJECT DESCRIPTION:

Futher develop property at 45-47 Ellicott St to be known as Ellicott Place; construct ten (10) market rate apartments on the vacant 2nd floor (6 ea. 1-bedrm, 4 ea. 2-bedrm) and further develop approx. 18,000+ sf of 1st floor commercial /retail space. Save A Lot grocery occupies the balance of the 1st flr space. Construct 2 stop interior elevator, 2 - stairwells; new exterior windows, doors, veneers, and new roof membrane

EXISTING USE: 1st Floor: Grocery Store/Vacant
2nd Floor: Vacant Storage

PROPOSED USE: 1st Flr: Grocery, Retail, Commercial
2nd Flr: Residential

N.Y.S. BLDG. CODE OCC. CLASS: _____

N.Y.S. BLDG. CODE OCC. CLASS: _____


LOT SIZE: .925 A

LOT AREA: 40,287.5 SF

CITY PLANNING & DEVELOPMENT REVIEW:

 APPROVAL AS PRESENTED DISAPPROVAL APPROVAL WITH CONDITIONS

CHAIRMAN SIGNATURE: _____ DATE: _____

	<u>6/25/20</u>	_____
Applicant Signature	Date	Issuing Officer
Permit Fee: _____		Issue Date: _____

CITY OF BATAVIA
PLANNING AND
DEVELOPMENT
COMMITTEE
SUBMISSION

ELLICOTT PLACE

45-47 ELLICOTT STREET BATAVIA, NY 14020

V.J. GAUTIERI
CONSTRUCTORS, INC.
45 Liberty Street
Batavia, NY 14020

June 25, 2020

INTRODUCTION

The building located at 45-47 Ellicott Street, Batavia, NY was originally constructed in 1968 as a Montgomery Ward Store by V.J. Gautieri Constructors for developer Stanley R. Gumburg from Pittsburg, PA.

Notably, the buildings inset second floor was built as a result of unknown artesian subsurface water conditions that were discovered by V.J. Gautieri during the excavation phase of construction. The building was originally designed with a basement for product storage and with the presence of uncontrollable water, could not be constructed as planned. The elevator services second floor was the only option for storage as the building footprint could not be enlarged.

As many Batavians remember, the Montgomery Ward store was a notable landmark within the City until it's unfortunate closing. After closing, the building sat idle for many years until Vito Gautieri brokered a deal with Gumburg in the late 1980's to purchase the building. The buildings purchase was tied into a lease with the Scrivner Company, parent of the Super Duper supermarket chain.

Within a short period of time after Gautieri's purchase, the building was sold to a partnership in Buffalo. The building housed a number of failed supermarkets over the years and eventually the owners let the property slip into receivership with the mortgage lender.

Vito Gautieri again saw an opportunity and purchased the property from the lender while negotiating a lease with Save-A-Lot Foods. Save-A-Lot's store is considerably smaller than the prior failed stores and occupies approximately 50% of the ground floor. This reduced store size contributes greatly to their continued success.

V.J. Gautieri has a long history with the property and building and desires to transform the sound, well-built structure into a new City of Batavia landmark to help fill the need for residential housing as well as the need for quality commercial and retail establishments.

We respectfully present the requested details of our proposed development, **Ellicott Place**, for your thoughtful consideration.



VIEW OF 45-47 ELLICOTT ST. FROM CITY PARKING LOT (COURT ST. SIDE)



VIEW OF 45-47 ELLICOTT ST. FROM ELLICOTT ST.



VIEW OF 45-57 ELLICOTT ST. FROM JACKSON ST.

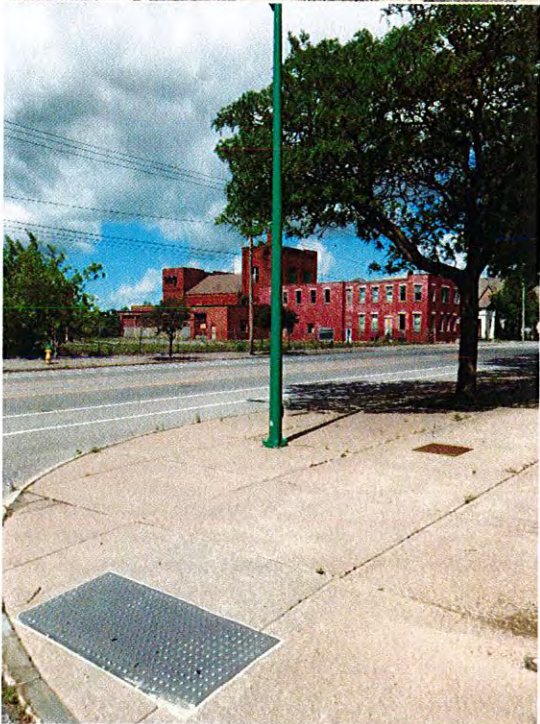


VIEW OF 45-47 ELLICOTT ST. FROM CITY PARKING LOT (M&T BANK)

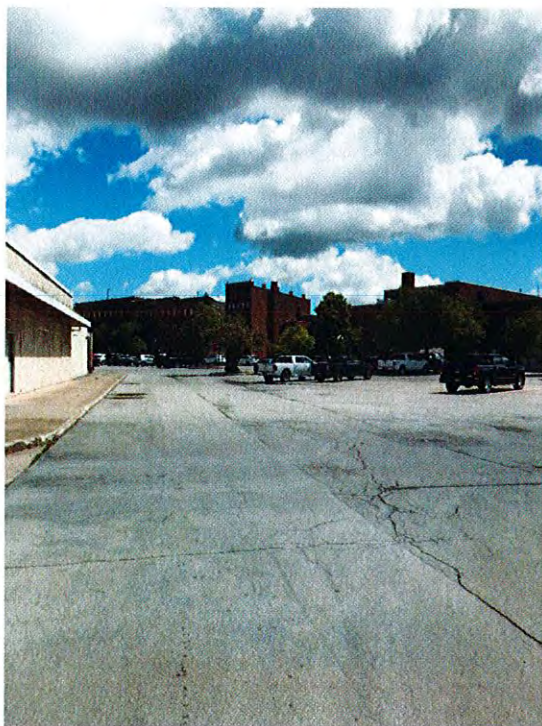
45-47 Ellicott St – Surrounding Property Photographs



45-47 Ellicott St – Surrounding Property Photographs



45-47 Ellicott St – Surrounding Property Photographs



ELLCOTT PLACE

45-47 Ellicott St. Batavia, NY

DESCRIPTION OF EXTERIOR ELEMENTS (REFER TO ELEVATIONS FOR LOCATIONS/EXTENTS):

- A: Painted CMU-1: Existing 1st floor 4" rock faced masonry units will be painted color SW 6073 Perfect Geige
Existing 2nd floor stacked bond masonry units will be painted color SW 6073
- B: Painted CMU-2: Existing 2nd floor stacked bond masonry units will be painted color SW 6076 Turkish Coffee
- C: Painted EIFS: Existing EIFS will be repaired and painted color SW 6070 Heron Plume
- D: Painted Metal Siding: Existing Metal siding will be repaired and painted color SW 6070 Heron Plume
- E: Wood Rainscreen Siding: New 1x6 heat treated, white ash cladding as manufactured by Thermory, Inc.; texture: smooth faced; T&G – no groove; to receive oil stain to achieve color as shown on elevations.
- F: Metal Siding: New vertical metal siding fascia as manufactured by MCBI; panel type PBU; color Signature 200 Koko Brown
- G: Aluminum Storefront: Existing Aluminum storefront to remain; finish Clear Anodized Aluminum with 1" insulated glazing

Exterior Windows – 1st Floor: Windows to be thermally broken, 4-1/2" deep, fixed frames; Clear Anodized Aluminum with 1" insulated clear glazing

Exterior Doors – 1st Floor: New main entry doors to the apartments and commercial/retail spaces will be clear anodized aluminum entrances, medium stile type with insulated glazing; existing hollow metal doors/overhead doors to be painted SW 6076 Turkish Coffee . The existing exterior sliding doors servicing Save A Lot will be relocated and are automatic type as manufactured by Besam; clear anodized aluminum.

Exterior Windows & Doors – 2nd Floor: Anderson 100 Series, Fibrex composite material; color Cocoa Bean

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Ellicott Place		
Project Location (describe, and attach a general location map): 45-47 Ellicott Street, Batavia, NY 14020		
Brief Description of Proposed Action (include purpose or need): First Floor - interior renovations to approximately 18,000 s.f. of vacant commercial space to create an appealing "vanilla box" for attraction of new tenant(s). Second Floor - interior renovations to approximately 11,600 s.f. of vacant space to create 10 residential apartment units. Exterior - installation of new windows, entry doors, architectural features, roofing replacement, painting and general repairs Purpose - to create a mixed use commercial property Need - various studies commissioned by the City of Batavia have identified the need for additional housing stock within the downtown area. The re-purposing of the property will address this need.		
Name of Applicant/Sponsor: V.J. Gautieri Constructors, Inc.	Telephone: 585-343-0852	E-Mail: vgautieri@gautieri.com
Address: 45 Liberty Street, STE 1		
City/PO: Batavia	State: New York	Zip Code: 14020
Project Contact (if not same as sponsor; give name and title/role): Victor Gautieri	Telephone: 585-343-0852	E-Mail: vgautieri@gautieri.com
Address: 45 Liberty Street, STE 1		
City/PO: Batavia	State: New York	Zip Code: 14020
Property Owner (if not same as sponsor):	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	City of Batavia Planning and Development Committee	6/25/2020
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	City of Batavia Bureau of Inspection Batavia Development Corp. (DRI Grant awarded)	6/15/2020 12/18/2017
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Genesee County Planning	6/25/2020
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part I 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, identify the plan(s): <u>Business Improvement District, Batavia Opportunity Area</u>	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
C-3

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Batavia City Schools

b. What police or other public protection forces serve the project site?
City of Batavia Police, Genesee County Sheriff

c. Which fire protection and emergency medical services serve the project site?
City of Batavia Fire Department

d. What parks serve the project site?
No parks are in the immediate vicinity

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Mixed Use - residential and commercial

b. a. Total acreage of the site of the proposed action? 0.925 acres
 b. Total acreage to be physically disturbed? 0 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.925 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____
 iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: 12 months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	10			
At completion of all phases	10			

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
If Yes,

- i. Total number of structures _____
- ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
- iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No

- If Yes,
- i. Purpose of the impoundment: _____
 - ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 - iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 - iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 - v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 - vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No

- If Yes:
- i. What is the purpose of the excavation or dredging? _____
 - ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 - Volume (specify tons or cubic yards): _____
 - Over what duration of time? _____
 - iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____
 - iv. Will there be onsite dewatering or processing of excavated materials? Yes No
If yes, describe. _____
 - v. What is the total area to be dredged or excavated? _____ acres
 - vi. What is the maximum area to be worked at any one time? _____ acres
 - vii. What would be the maximum depth of excavation or dredging? _____ feet
 - viii. Will the excavation require blasting? Yes No
 - ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No

- If Yes:
- i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 3,000 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: City of Batavia Water
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 2,900 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each):
sanitary wastewater generated by 10 apartments

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: City of Batavia
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

• If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
 none
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
 residential furnaces
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)
 none

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7:00 am - 4:00 pm • Saturday: _____ not anticipated • Sunday: _____ not anticipated • Holidays: _____ not anticipated 	<p>ii. During Operations: * see below</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
--	--

* Residential tenants will have 24 hour a day, 7 day a week access. Operational times for the vacant first floor space will be dependent upon the nature of tenant's business. Contemplated tenants would be retail, restaurant, or other commercial businesses.

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No

Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
commercial 150w equivalent wall packs located at approx. 12 ft. above grade. Nearest occupied structure is commercial, approx. 150' away

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No

Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s): _____

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: 30 tons per construction duration (unit of time)
- Operation : 20 tons per year (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: applicable metals will be sent to a scrap processor
- Operation: recyclables items generated by commercial and residential tenants will be recycled accordingly

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: construction debris dumpsters will be utilized
- Operation: commercial and residential tenants will utilize dumpsters located in City of Batavia designated area adjacent to building

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.925	0.925	0
• Forested	0	0	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: _____
 iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures: _____

 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): C819021 / C819023
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
 unknown

- v. Is the project site subject to an institutional control limiting property uses? Yes No
- If yes, DEC site ID number: _____
 - Describe the type of institutional control (e.g., deed restriction or easement): _____
 - Describe any use limitations: _____
 - Describe any engineering controls: _____
 - Will the project affect the institutional or engineering controls in place? Yes No
 - Explain: _____

E.2. Natural Resources On or Near Project Site *Not applicable - project is a renovation of existing building*

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No

If Yes:

i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
 none _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____
 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
 If Yes:
 i. Species and listing (endangered or threatened): _____

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 If Yes:
 i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: Austin Park, Kibbie Park, _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

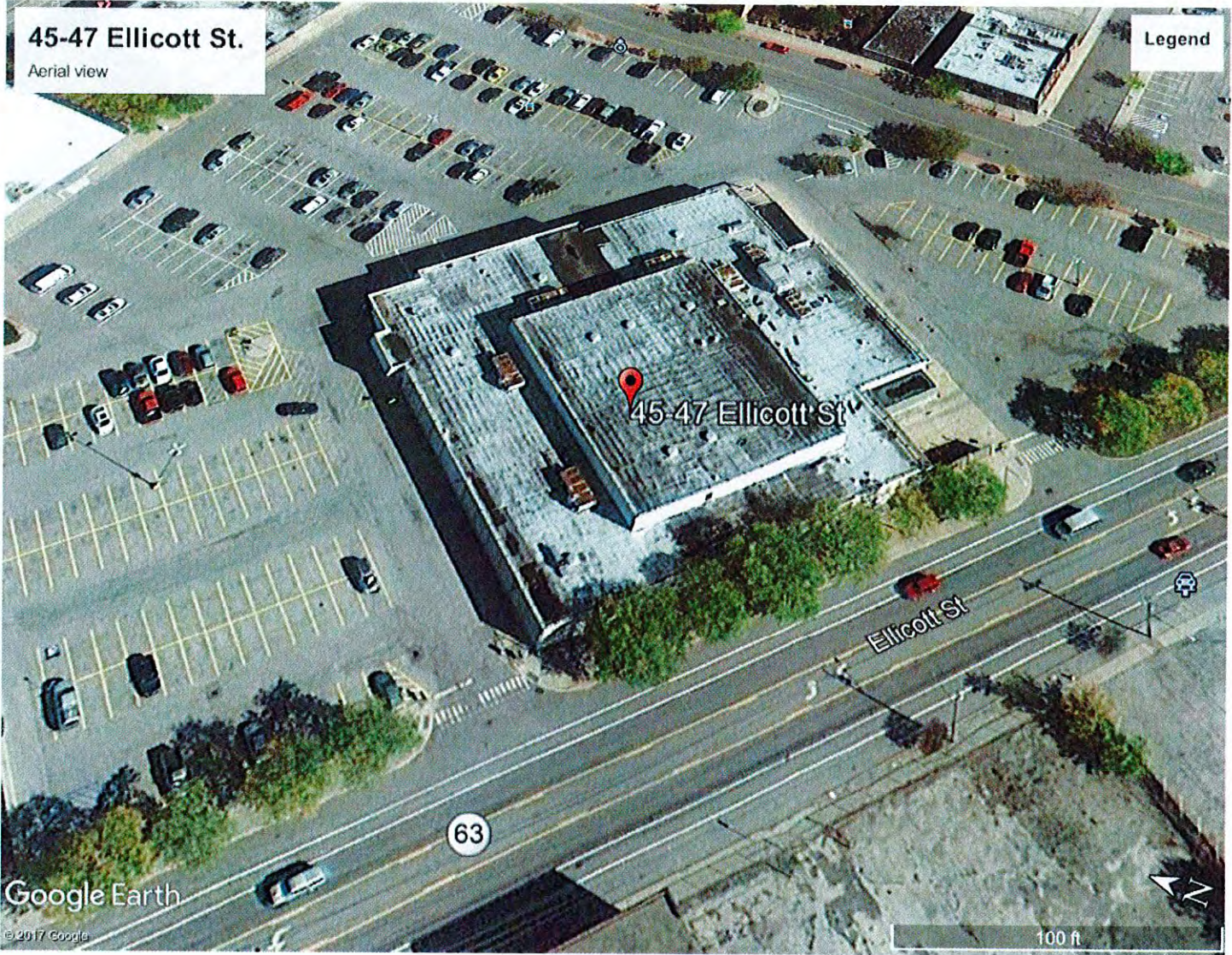
G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name V.J. Gautieri Constructors, Inc. Date 6/25/2020

Signature  Title President

PRINT FORM



45-47 Ellicott St.

Aerial view

Legend

45-47 Ellicott St

Ellicott St

63

Google Earth

© 2017 Google

100 ft

AERIAL LOOKING FROM SOUTH-WEST

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency and the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
		□ NO	□ YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	□	□
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	□	□
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	□	□
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	□	□
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	□	□
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	□	□
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	□	□
h. Other impacts: _____ _____		□	□

2. Impact on Geological Features

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)

NO

YES

If "Yes", answer questions a - c. If "No", move on to Section 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

NO

YES

If "Yes", answer questions a - l. If "No", move on to Section 4.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding The proposed action may result in development on lands subject to flooding. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, <u>is</u> the dam [has failed to meet one or more safety criteria on its most recent inspection] <u>in need of repair or</u>	E1e	<input type="checkbox"/>	<input type="checkbox"/>

upgrade?			
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

6. Impacts on Air The proposed action may include a state regulated air emission source. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO ₂) ii. More than 3.5 tons/year of nitrous oxide (N ₂ O) <u>Q</u> iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF ₆) v. More than 1000 tons/year of carbon dioxide equivalent of [hydrochlorofluorocarbons (HCFCs)] <u>hydrochlorofluorocarbons (HFCs)</u> emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	[D2f,] D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any [two or more] of the thresholds in "a" through "c", above.	[D1g, D2k] D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <input type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or	E2p	<input type="checkbox"/>	<input type="checkbox"/>

the Federal government.			
e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>			
		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

10. Impact on Historic and Archeological Resources The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>			
		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Yes", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation			
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If "Yes", answer questions a - e. If "No", go to Section 12.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

12. Impact on Critical Environmental Areas			
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If "Yes", answer questions a - c. If "No", go to Section 13.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

13. Impact on Transportation
 The proposed action may result in a change to existing transportation systems. NO YES
 (See Part 1. D.2.j)
If "Yes", answer questions a - g. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
[f] e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
[g] f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy
 The proposed action may cause an increase in the use of any form of energy. NO YES
 (See Part 1. D.2.k)
If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____			

15. Impact on Noise, Odor, and Light
 The proposed action may result in an increase in noise, odors, or outdoor lighting. NO YES
 (See Part 1. D.2.m., n., and o.)
If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health			
The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - m. If "No", go to Section 17.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement[,] or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

17. Consistency with Community Plans The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>			
		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

18. Consistency with Community Character The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>			
		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

Full Environmental Assessment Form
Part 3 - Evaluation of the Magnitude and Importance of Project Impacts
and
Determination of Significance

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

Reasons Supporting This Determination:

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

Determination of Significance - Type 1 and Unlisted Actions

SEQR Status: Type 1 Unlisted

Identify portions of EAF completed for this Project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the _____ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action:

Name of Lead Agency:

Name of Responsible Officer in Lead Agency:

Title of Responsible Officer:

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer)

Date:

For Further Information:

Contact Person:

Address:

Telephone Number:

E-mail:

For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

CITY OF BATAVIA
C-3 DISTRICT
SPECIAL USE
PERMIT
SUBMISSION

ELLICOTT PLACE

45-47 ELLICOTT STREET BATAVIA, NY 14020

V.J. GAUTIERI
CONSTRUCTORS, INC.
45 Liberty Street
Batavia, NY 14020

June 25, 2020

INTRODUCTION

The building located at 45-47 Ellicott Street, Batavia, NY was originally constructed in 1968 as a Montgomery Ward Store by V.J. Gautieri Constructors for developer Stanley R. Gumburg from Pittsburg, PA.

Notably, the buildings inset second floor was built as a result of unknown artesian subsurface water conditions that were discovered by V.J. Gautieri during the excavation phase of construction. The building was originally designed with a basement for product storage and with the presence of uncontrollable water, could not be constructed as planned. The elevator services second floor was the only option for storage as the building footprint could not be enlarged.

As many Batavians remember, the Montgomery Ward store was a notable landmark within the City until it's unfortunate closing. After closing, the building sat idle for many years until Vito Gautieri brokered a deal with Gumburg in the late 1980's to purchase the building. The buildings purchase was tied into a lease with the Scrivner Company, parent of the Super Duper supermarket chain.

Within a short period of time after Gautieri's purchase, the building was sold to a partnership in Buffalo. The building housed a number of failed supermarkets over the years and eventually the owners let the property slip into receivership with the mortgage lender.

Vito Gautieri again saw an opportunity and purchased the property from the lender while negotiating a lease with Save-A-Lot Foods. Save-A-Lot's store is considerably smaller than the prior failed stores and occupies approximately 50% of the ground floor. This reduced store size contributes greatly to their continued success.

V.J. Gautieri has a long history with the property and building and desires to transform the sound, well-built structure into a new City of Batavia landmark to help fill the need for residential housing as well as the need for quality commercial and retail establishments.

We respectfully present the requested details of our proposed development, **Ellicott Place**, for your thoughtful consideration.



SPECIAL USE PERMIT

CITY OF BATAVIA, NEW YORK

LOCATION: 45-47 Ellicott Street
OWNER: V.J. Gautieri Constructors, Inc.
Address: 45 Liberty Street, Batavia, NY 14020

Application Date: June 25, 2020
Tax Parcel No.: 180200 84.011-3-7./A (1st flr)
180200 84.011-3-7./B (2nd flr)
Phone No. 585-343-0852

- COUNTY PLANNING REVIEW
- ZONING DISTRICT
- FLOOD ZONE
- CORNER LOT
- SITE PLAN REVIEW
- BID

- ZONING VARIANCE REQUIRED
- HISTORIC DISTRICT
- HISTORIC LANDMARK
- CITY ENGINEER REVIEW
- CITY COUNCIL REVIEW
- OTHER

PROJECT DESCRIPTION:

Futher develop property at 45-47 Ellicott St to be known as Ellicott Place; construct ten (10) market rate apartments on the vacant 2nd floor (6 ea. 1-bedrm, 4 ea. 2-bedrm) and further develop approx. 18,000+ sf of 1st floor commercial /retail space. Save A Lot grocery occupies the balance of the 1st flr space. Construct 2 stop interior elevator, 2 - stairwells; new exterior windows, doors, veneers, and new roof membrane

EXISTING USE: 1st Floor: Grocery Store/Vacant
2nd Floor: Vacant Storage

PROPOSED USE: 1st Flr: Grocery, Retail, Commercial
2nd Flr: Residential

N.Y.S. BLDG. CODE OCC. CLASS: _____

N.Y.S. BLDG. CODE OCC. CLASS: _____


LOT SIZE: .925 A

LOT AREA: 40,287.5 SF

CITY PLANNING & DEVELOPMENT REVIEW:

APPROVAL AS PRESENTED DISAPPROVAL APPROVAL WITH CONDITIONS

CHAIRMAN SIGNATURE: _____ DATE: _____

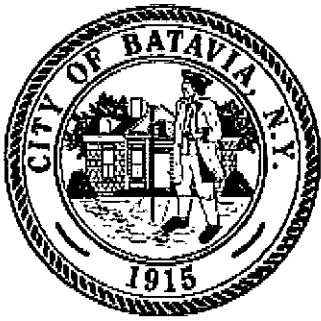
	6/25/20	
Applicant Signature	Date	Issuing Officer
Permit Fee: _____		Issue Date: _____

ELLCOTT PLACE

45-47 Ellicott St. Batavia, NY

Special Use Permit Submission

- A: Site Plan:** See attached drawings; there are no physical site improvements scheduled except for the newly designated entryways to the building as shown. The parking will be as allowed in the Court St. lot (see below item F). The current fenced dumpster enclosure on Ellicott St will be utilized for additional dumpsters as required for the 2nd floor residences and future 1st floor commercial tenants.
- B: Detailed Floor Plan:** See attached drawings
- C: Maximum Building Height:** 34'-8" (see attached drawings)
- D: No Residential Use planned on 1st floor;** current grocery store and future commercial/retail tenants anticipated
- E:** There will be no more than 2 bedrooms per unit in the newly constructed 2nd floor apartments. Current design calls for 6 ea. 1- bedroom units and 4 ea. 2-bedroom units.
- F. Parking Plan:** The residential occupants will be required to obtain parking permits from the City of Batavia for the Court St lot. We anticipate working with the City of Batavia to help designate appropriately placed spots for these tenants.



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee

From: Doug Randall, Code Enforcement Officer

Date: 6/30/20

Re: 424 East Main St. (GCASA)
Tax Parcel No. 84.016-1-4.1

Zoning Use District: C-1

The applicant, John Bennett (GCASA), has submitted a site plan for approval of a two story, 8,788 sq.', 20 bed detoxification facility that will be added to the existing Atwater Residence located on this treatment campus.

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road.

City Planning and Development Committee- Pursuant to section 190-44 B(1) of the zoning ordinance, the Planning and Development Committee is authorized to conduct site plan reviews.

- 1) BMC 190-44 (1) (a) The PDC shall review applications for the expansion of existing nonresidential buildings that increases the demand for parking or lot coverage by more than 1,300 sq.'

The PDC will be the lead agency to conduct an uncoordinated review of SEQR.

SEND OR DELIVER TO:
GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 815-7901

DEPARTMENT USE ONLY:
GCDP Referral # _____



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) Planning and Development Committee
Address One Batavia City Centre
City, State, Zip Batavia, NY 14020
Phone (585) 345 - 6345 Ext. _____

2. APPLICANT INFORMATION

Name John Bennett (GCASA)
Address 430 East Main St.
City, State, Zip Batavia, NY 14020
Phone (585) 815 - 1800 Ext. _____ Email jbennett@gcasa.org

MUNICIPALITY: City Town Village of Batavia

3. TYPE OF REFERRAL: (Check all applicable items)

- | | | |
|--|--|---|
| <input type="checkbox"/> Area Variance | <input type="checkbox"/> Zoning Map Change | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance | <input type="checkbox"/> Zoning Text Amendments | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Other: _____ | |

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

- A. Full Address 424 East Main St.
- B. Nearest intersecting road Masse Pl.
- C. Tax Map Parcel Number 84.016-1-4.1
- D. Total area of the property 3.05 acres Area of property to be disturbed .53 acres
- E. Present zoning district(s) C-1

5. REFERRAL CASE INFORMATION:

- A. Has this referral been previously reviewed by the Genesee County Planning Board?
 NO YES If yes, give date and action taken _____
- B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

- C. Please describe the nature of this request Site plan approval to construct a two story 8,788 sq.', 20 bed detoxification center addition to an existing facility.

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

- | | | |
|---|--|---|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments | <input type="checkbox"/> New or updated comprehensive plan |
| <input checked="" type="checkbox"/> Site plan | <input type="checkbox"/> Location map or tax maps | <input checked="" type="checkbox"/> Photos |
| <input type="checkbox"/> Subdivision plot plans | <input checked="" type="checkbox"/> Elevation drawings | <input checked="" type="checkbox"/> Other: <u>Cover letters</u> |
| <input checked="" type="checkbox"/> SEQR forms | <input type="checkbox"/> Agricultural data statement | |

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com



84.051-1-38

84.012-1-27

84.012-1-25

84.012-1-23

84.012-1-18

84.012-1-19

84.051-2-59

84.012-1-20

84.051-2-57.1

84.059-1-3.1

84.059-1-4.1

84.059-1-6

84.059-1-7

84.059-1-8

84.059-1-9

84.016-1-3

84.016-1-4.1

84.016-1-6

84.016-1-9

84.059-2-55

84.059-2-54.1

84.016-1-10

84.016-1-11

84.016-1-12

84.059-2-51

84.059-2-50

84.059-2-48.1

84.059-2-47

84.059-2-46

84.016-1-2

84.016-1-55.1

84.059-2-44

84.059

84.059

Masse Place

Vine Street

Elm Street

Pruhe Street

McKimley Avenue



June 25, 2020

Mr. Douglas Randall
City of Batavia
One Batavia City Centre
Batavia, NY 14020

Re: GCASA Detoxification Center Site Plan Review
424 East Main Street, City of Batavia, New York

Dear Douglas,

On behalf of GCASA, Genesee Council on Alcoholism and Substance Abuse, we are pleased to submit the concept drawings for an addition to the existing Atwater Residence for your consideration. This addition would be for the purpose of a medically supervised detoxification center. We request that this project be placed on the agenda for the Planning and Development Committee (PDC) meeting on July 21st for Site Plan Review.

With the understanding that the building site location requires Genesee County Planning Board review, we have interest in presenting the attachments for County review on Thursday, July 9th, contingent on your referral.

This new 20 bed facility looks to enhance the GCASA campus for the treatment of people afflicted with substance dependency who are seeking support and recovery.

The following information is a brief summary of the project and intended use. Hard copies of the attached documents may be provided on request.

We look forward to presenting this project to the Planning and Development Committee. In the meantime, please do not hesitate to reach out to our office if you have any questions or require additional information.

Respectfully submitted,

FONTANESE FOLTS AUBRECHT ERNST, ARCHITECTS, P.C.

Raymond A. Murphy, R.A.

Eleanor L. Asquith, R.A.

Cc: John Bennett, GCASA
Eleanor Asquith, FFAE

Narrative

Located on the existing Genesee/Orleans Council on Alcohol and Substance Abuse (GCASA) campus at 424 East Main Street in Batavia, NY, this new facility looks to enhance the campus for the treatment of people afflicted with alcohol and drug dependency who are seeking recovery. This 20-bed facility contains 16 beds serving OASAS Part 816.7 regulations for medically supervised detoxification, and 4 transitional residential beds.

The new facility will be constructed as a 2-story wood framed building attached to one of the existing buildings on the GCASA Campus, the Atwater Residence. The Atwater Residence is the community residence component of the campus. GCASA believes that operationally, the Atwater Residence and the new 816.7 facility will benefit from close proximity to one another. This will offer more flexibility, comfort, and support to clients in transitioning to a residential program, a key component in the continuum of care.

Proposed Building Site

The existing structures and parking were built on a flat portion of the site on the west side of the property. Immediately to the east of the existing structure the grade remains relatively flat, continuing a slight rise eastward and away from the Tonawanda Creek watershed. The site, being located in the center of town, has a mixture of commercial, light manufacturing and agricultural center entities (east and west) with a small open and wooded area (south). The proposed location of the new addition is fairly open and will require the removal of approximately 10 trees directly within the building/parking footprint.

Project Site Zoning characteristics:

- a. Zoning Classification: C-1 – Limited Commercial
- b. Zoning Use: Most similar use described in the zoning code is convalescent/nursing home
- c. Setbacks:
 - i. Minimum Lot Area – 5,000 sf – Compliant (3.05 acres)
 - ii. Minimum Lot Frontage- 50' – Compliant (284')
 - iii. Front –Compliant (Addition is located behind the original structure)
 - iv. Sides – Required: 12' - Provided: 81' East Side, 22' West Side (Compliant)
 - v. Rear – 35' – Compliant (90')
 - vi. Street Frontage – 50' – Compliant
 - vii. Max. Height – 40' – Compliant (32')
 - viii. Coverage – 30% – Compliant (15%)

Building Massing and Site

The new 2- story volume fits into the surrounding context and allows for ample parking on the existing site without taking measures to remove the existing garage. To accommodate for additional staff parking, 13 new parking spots will be added, one of which will be accessible.

Parking Requirements:

Spaces Required:

Outpatient Clinic: 6,600 SF/ 200= 33 Spaces for 1st floor, 6,600 SF/300= 22 Spaces for 2nd Floor (55 Total)

Methadone Clinic: 2,877 SF/200 = 14 Spaces

Atwater Residence: 1 Space/ 2 Beds (12 Beds)= 6 Spaces

Supportive Living: 1 Spaces/ 2 Beds (10 Beds)= 5 Spaces

Detox Center: 1 Space per 2 Beds + 1 per 2 Employees= 14 Spaces

Total Anticipated # of Spaces Needed: 94 Spaces

Existing on site: 82 spaces (including 6 accessible)

Leased: 18 Spaces to the west of the site

Current Total: 100 Spaces, Proposed: Additional 13 Spaces

Proposed Total: 113 Spaces

We are confident that the current proposed number of parking spaces will be sufficient. Additionally, the above count does not include the available on street parking spaces.

Building and Program Summary:

Bed Count: 20 Beds

Area (Gross Square Footage): 8,788 s.f.

Materials: The building will be type VB construction, consisting of wood stud wall framing set on concrete foundation walls, TJI engineered floor joists (2nd floor), pre-engineered wood roof trusses. The first floor will be concrete slab on grade. The finish materials are intended to remain in keeping with the aesthetic character of the campus- Fiber Cement Lap siding painted to match the Atwater Residence, fiber cement trim, decorative brackets, asphalt roofing, clad wood double hung windows.

Shared between males and females, this building lends to a two- wing form with the nurse and shared facilities in the middle. The second story will be split into the aforementioned two wings, each of which will contain four shared bed rooms (2 beds each), and a bathroom facility. The multi-fixture bathrooms will provide flexibility for clients and allow easier maintenance for staff. The center block, situated between the wings contains a central lounge, client laundry, and nursing/ physician spaces. The first floor of this new facility will house the communal functions of the building, such as dining and serving, group rooms, intake, and employee offices/resources.

Additionally, located on the north end of the first floor, is the connection to the Atwater Residence and the four transition beds (again, shared rooms with 2 beds each). These beds are intended to be used to transition clients to care in a residential program, whether that is at the Atwater residence or elsewhere. A bathing suite is located between the beds. The connection to Atwater is a hallway which will contain access control means to restrict free flow among the two buildings. The Atwater Residence contains a commercial kitchen with the size and storage capacity to serve the clients within this new 20 bed facility. This connecting "hall" provides a direct path from the Atwater Kitchen where food is prepared, to the servery where food will be plated and served.

Short Environmental Assessment Form

Part 1 - Project Information

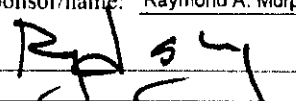
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

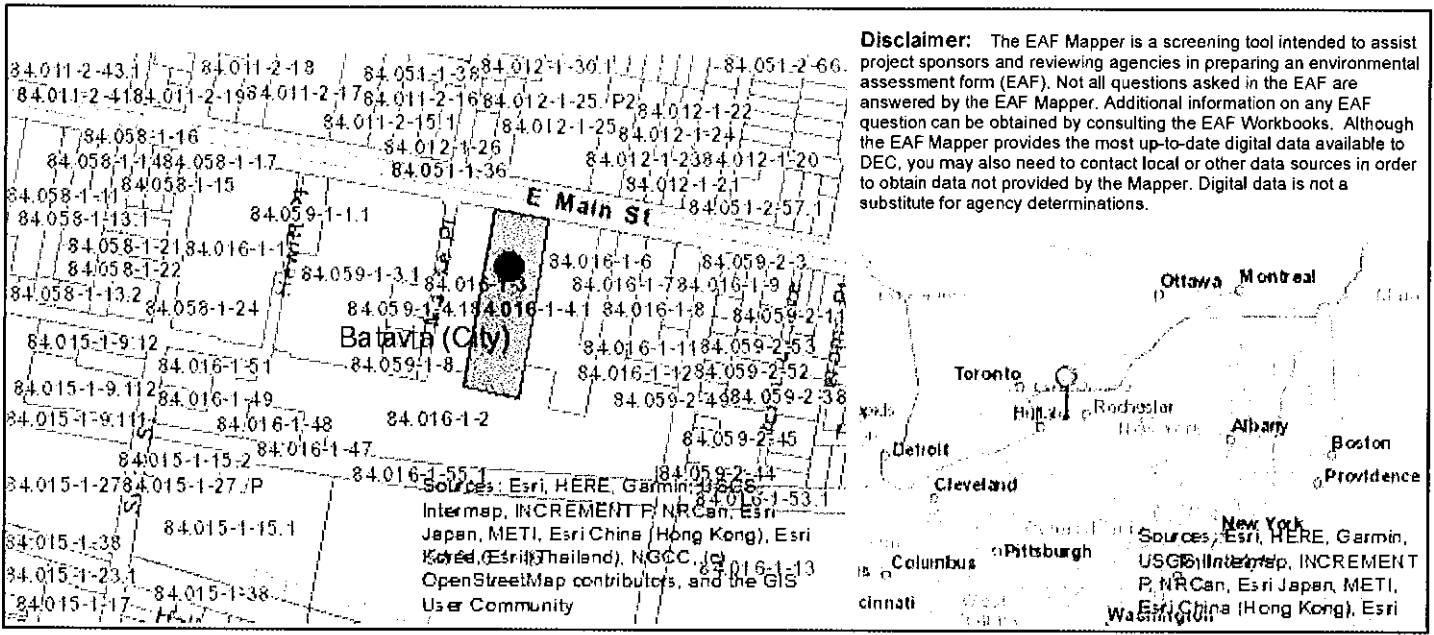
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Genesee/ Orleans Council on Alcoholism and Substance Abuse (GCASA)			
Name of Action or Project: GCASA 20 Bed Detoxification Facility			
Project Location (describe, and attach a location map): 424 East Main Street, Batavia, New York 14020			
Brief Description of Proposed Action: The new 20 Bed Detoxification facility will be constructed as an addition to the existing 2-story Atwater Residence at 424 East Main Street. The new construction will be a 2-story, wood framed building of approximately 8,788 s.f. The site-work requires re-grading for the building footprint and parking lot expansion. Eighty- two (82) total parking spaces exist on the campus and are shared among the two properties. In addition, GCASA is currently leasing 18 parking spaces from the Cornell Cooperative Extension of Genesee County (neighboring property to the west). The proposed scope of work reworks the existing storm water management area and adds a drive between the existing parking lot and the new expanded lot. The resultant parking count is a new gain of 13 spaces for a total parking capacity of 95 spaces.			
Name of Applicant or Sponsor: Genesee/ Orleans Council on Alcoholism and Substance Abuse (GCASA)		Telephone: 585-815-1800 E-Mail: jbennett@gcasa.org	
Address: 430 East Main Street			
City/PO: Batavia		State: New York	Zip Code: 14020
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: DASNY and OASAS			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		3.05 acres	
b. Total acreage to be physically disturbed?		.53 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.05 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>The new construction utilizes continuous and cavity insulation. Energy efficient windows and doors are specified. High efficiency furnace models will be installed.</u>	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Atwater Residence (424 East Main) is listed as eligible. Adjacent property to south Massey-Harris Harvester Company Factory Complex) is listed as eligible. 430 East Main (part of same campus is not eligible. b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
All new roof gutters will be connected to below grade storm water piping and terminated into the existing detention pond.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The existing storm water retention area is being expanded to accommodate the increased parking area.		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
We are not aware of any remediation at the proposed site. The neighboring property to the south is the former Masse factory.		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Raymond A. Murphy</u> Date: <u>6/24/2020</u>		
Signature:  Title: <u>Architect (FFAE Architects, P.C.)</u>		

PRINT FORM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	Yes



424 E Main St



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Property Information:
 GCASA CAMPUS
 424 EAST MAIN STREET
 BATAVIA, NY 14020
 PARCEL # 84.016-1-4.1

18 PARKING SPACES LEASED FROM
 CORNELL COOPERATIVE EXTENSION



DETOXIFICATION
 FACILITY



NO.	DATE	REVISIONS

CONSULTANTS
 STRUCTURAL ENGINEERS
 C&S ENGINEERS
 141-64 STREET
 BATAVIA, NY 14020
 (716) 847-1830

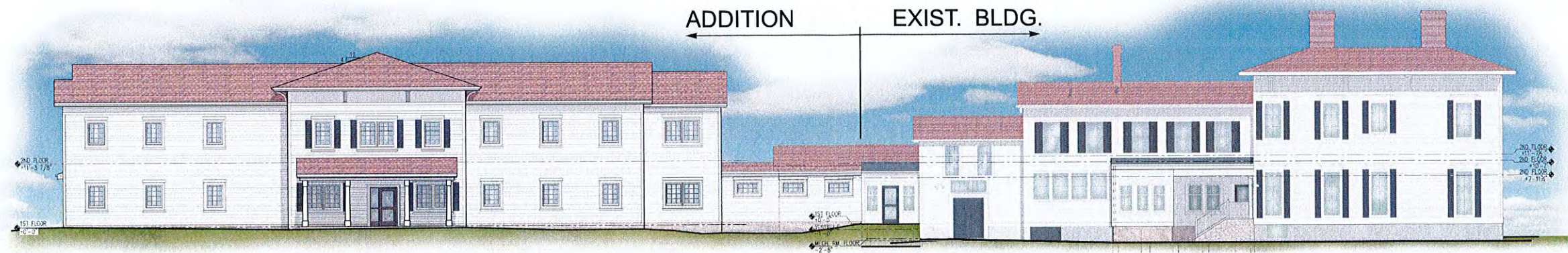
STRUCTURAL ENGINEERS
 S&S ENGINEERS
 208 MAIN STREET
 BATAVIA, NY 14020
 (716) 856-1804

M.E.P./P.E. ENGINEERS
 IEC ENGINEERING, P.C.
 245 WINTER PLACE, SUITE 218
 BATAVIA, NY 14020
 (585) 292-1950

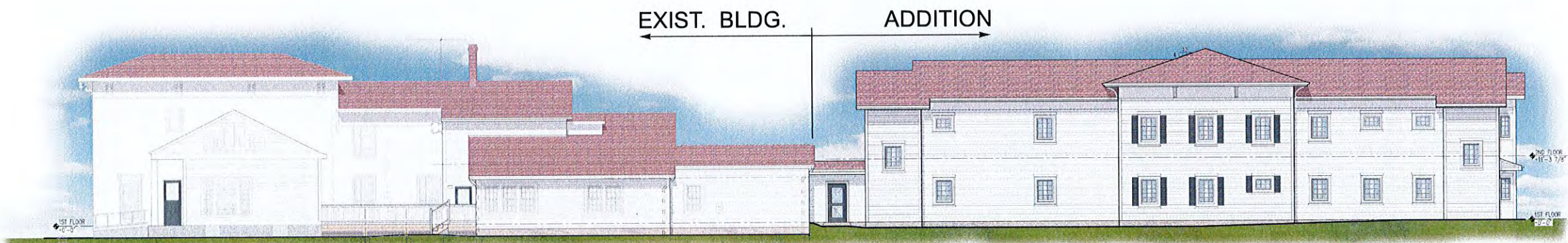
FONTANESE
 FOLTS
 AUBRECHT
 ERNST
 ARCHITECTS
 A PROFESSIONAL CORPORATION
 (716) 662-0337
 6390 WEST GARDNER
 CIRCLED PARK, NY 14027

PROJECT NO.
 DATE
 SCALE
 DRAWN BY
 DRAWING TITLE
 SITE PLAN

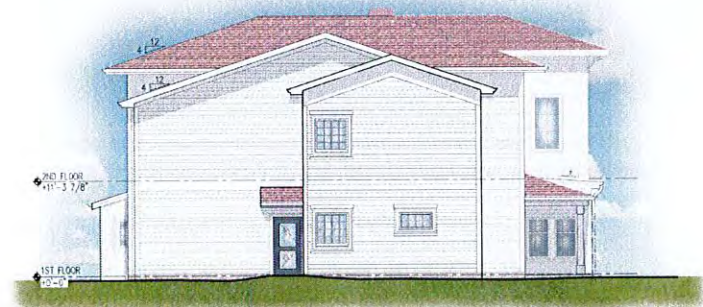
DRAWING NO.
SP-01



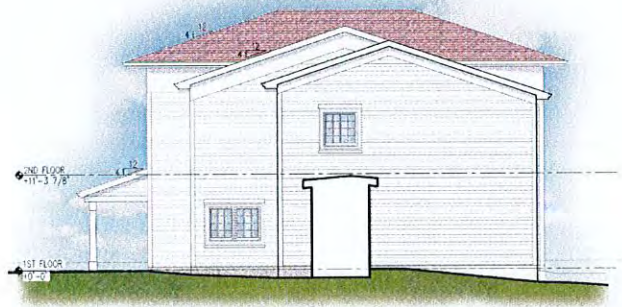
1 EAST ELEVATION
 1/8" = 1'-0"



2 WEST ELEVATION
 1/8" = 1'-0"



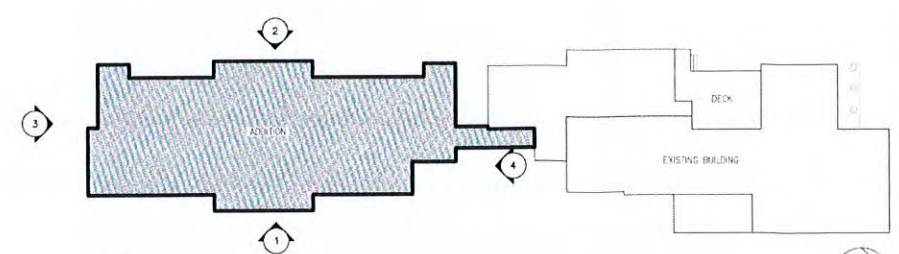
3 SOUTH ELEVATION
 1/8" = 1'-0"



4 NORTH ELEVATION
 1/8" = 1'-0"



PHOTOGRAPH OF EXISTING NORTH ELEVATION
 (TO REMAIN AS IS, NO NEW WORK)



KEY PLAN
 N.T.S.

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 ROCHESTER, NY 14623
 (716) 662-0037
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NO.	DATE	REVISIONS

CONSULTANTS
 STRUCTURAL ENGINEERS
 SIRACUSE ENGINEERS
 809 MAIN STREET
 SYRACUSE, NY 13202
 (315) 435-1954

M.E.P./P.E. ENGINEERS
 EDC ENGINEERING, P.C.
 8445 ANTON PLACE, SUITE 210
 ROCHESTER, NY 14623
 (585) 232-1550

FONTANESE
 FOLTS
 AUBRECHT
 ERNST
 ARCHITECTS
 400 WEST CHESTER STREET
 ROCHESTER, N.Y. 14623
 (716) 662-0037

PROJECT NO.
 2012
 DATE
 4/8/2012
 SCALE
 AS SHOWN
 DRAWN BY

DRAWING TITLE
BUILDING ELEVATIONS

DRAWING NO.
A-200

GENESEE COUNTY EXTENSION SERVICE ASSOC.

THE GENESEE COUNCIL ON ALCOHOLISM & SUBSTANCE ABUSE, INC.

JOSEPH L. MANCUSO & SONS, INC.



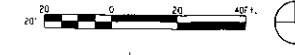
KEY		PLANT LIST		MINIMUM SIZE	NOTES
#	QTY	BOTANICAL NAME	COMMON NAME		
1	1	Juniperus Chinensis 'Tetraloobum'	Tetraloobum Chinese Juniper	4' H.	Full to Ground

- SITE PLAN NOTES**
1. SURVEY INFORMATION WAS PROVIDED BY MUNITOS & MUNITOS, P.C. DATED 05-14-2020. CAS ENGINEERS INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
 2. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD.
 3. ALL DIMENSIONS FROM PROPERTY LINES ARE 90° FROM PROPERTY LINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
 5. COORDINATE EXACT LOCATION OF SIDEWALKS AT DOORWAYS WITH ARCHITECTURAL PLANS.
 6. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND LAYOUT.

- SITE PLAN DETAIL LEGEND**
- 1 STANDARD DUTY ASPHALT - SEE DETAIL 1C-501
 - 2 CONCRETE SIDEWALK - SEE DETAIL 2C-501
 - 3 ACCESSIBLE SIDEWALKS - SEE DETAIL 3C-501
 - 4 SIGN POST - SEE DETAIL 4C-501
 - 5 LIGHT POLE FOUNDATION - SEE DETAIL 5C-501
 - 6 CONCRETE CURB - SEE DETAIL 6C-501
 - 7 ASPHALT SIDEWALK - SEE DETAIL 7C-501

- SITE PLAN SHEET KEYNOTES**
- 1 4" TOPSOIL & SEED IF NO PLANTING
 - 2 4" WIDE PAINTED YELLOW PAVEMENT STRIPES
 - 3 INSTALL 6" LONG RECYCLED RUBBER PARKING & JAPER "PARK IT" BY CURB TECHNICAL SPEC OR EQUAL
 - 4 RUN OUT CURB IN 2'
 - 5 CONCRETE LANDINGS AND STAIRS - REFER TO ARCHITECTURAL DRAWINGS

- SITE PLAN PROPOSED LEGEND**
- PROPERTY LINE
 - .-.-.- PROPOSED SIGN
 - ▭ PROPOSED CONCRETE PAVEMENT
 - ▭ PROPOSED ASPHALT SIDEWALK
 - ▭ PROPOSED CURB
 - NUMBER OF PARKING SPACES
 - ◀ DOOR LOCATION
 - EP EDGE OF PAVEMENT
 - LIGHTING FIXTURES
 - SNAW CUT LINE
 - ▭ DETECTABLE WARNING SURFACE



Project Key

Symbol	Description

REVISIONS

No.	Description	Date

Client: GENESEE COUNTY COUNCIL
 430 EAST MAIN STREET
 BATAVIA, NY 14020

Project Title: DETOXIFICATION FACILITY
 424 EAST MAIN STREET
 BATAVIA, NY 14020

Drawing Title: **SITE PLAN**

Phase: **60% SUBMISSION**

Drawn By: **RAM** Date:

Scale & Signature: **RAM**

DASNY Project No: **#348500**

Drawing Number: **C-101**

Drawing of:

Left: Sent: 4/14/2020 7:25:22 AM by JAMLEY
 Date Plotted: 11/27/2007 12:07:38 PM
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Project Key

REVISIONS

Rev.	Description	Date

Client: **GENESEE COUNCIL ON ALCOHOLISM & SUBSTANCE ABUSE, INC.**
 40 EAST MAIN STREET
 BATAVIA, NY 14020

Project Title: **DETOXIFICATION FACILITY**
 424 EAST MAIN STREET
 BATAVIA, NY 14020

Drawing Title: **DETOXIFICATION FACILITY**

Phase: **60% SUBMISSION**

Drawn By: **RAM** Checked By: **RAM** Date: **/ /**

Scale & Signature: **DASNY PROJECT #348500** Drawing Number: **/ /**

Drawing of: **/ /**



DEMOLITION PLAN NOTES

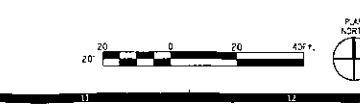
1. CONTRACTOR TO REMOVE & DISPOSE OF ALL ITEMS INDICATED & ANY ITEMS INCIDENTAL TO THE CONSTRUCTION AS INDICATED.
2. CONTRACTOR SHALL PROTECT/PRESERVE ALL EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO BUILDINGS, PAVERS, OVERHEAD & BURIED UTILITIES, TREES, LANDSCAPING, ETC. DAMAGE TO ITEMS SCHEDULED TO REMAIN SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
3. UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL HAVE ALL UNDERGROUND FACILITIES LOCATED AND MARKED PRIOR TO EXCAVATION/DEMOLITION CONSTRUCTION.
4. ALL UTILITY TERMINATIONS SHALL BE IN ACCORDANCE WITH THE APPLICABLE UTILITY COMPANY REQUIREMENTS.
5. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL MATERIALS DEBRIS REMOVED FROM THE SITE.
6. THIS PLAN IS PREPARED FROM A SURVEY SHOWING KNOWN SURFACE FEATURES. IT IS INTENDED AS A GUIDE TO THE CONTRACTOR. NOT AS A COMPLETE AND UNIVERSAL DEMOLITION PLAN. SEE THE SITE PLAN. MORE FEATURES (NOT INDICATED) MAY REQUIRE DEMOLITION TO CONSTRUCT THE SITE PLAN. CONTRACTOR MUST VISIT THE SITE TO CONFIRM DEMOLITION EFFORT FROM TO BRIDGING.
7. REMOVE CONCRETE SIDEWALK AND/OR PAVEMENT TO THE LIMITS INDICATED. SAW CUT CONCRETE TO THE NEAREST EXISTING CONTROL, EXPANSION JOINT.
8. MAINTAIN STORM SEWER CONTINUITY & POSITIVE DRAINAGE DURING DEMOLITION. REMOVAL & CONSTRUCTION OF STORM SEWERS & PITS.

DEMOLITION PLAN SHEET KEYNOTES

- ① REMOVE EXISTING ASPHALT PAVEMENT & SUBBASE
- ② REMOVE TRELLIS & BENCH
- ③ REMOVE & DISPOSE OF EXISTING TREES/SHRUBPLANTINGS
- ④ REMOVE & STORE EXISTING LIGHT. SEE SITE PLAN FOR RE-INSTALLATION LOCATION
- ⑤ REMOVE EXISTING FENCING
- ⑥ REMOVE BRICK WALKWAY
- ⑦ REMOVE HORSESHOE PITS & BED PIT

DEMOLITION PLAN LEGEND

- BRICK/CONCRETE ASPHALT/PAVEMENT TO BE REMOVED
- TREE OR SHRUB TO BE REMOVED



User Name: J:\N\2020\7_15_22\14_17_2020.dwg Job Number: 14-17-2020
 Plot Date: 7/15/2022 11:25:22 AM Plot By: JMB/MLY
 File Location: P:\Projects\2020 - ECASA, Batavia\Drawings\A-001\Drawings\14-17-2020.dwg Date: 7/15/2022 11:25:22 AM
 Plot Scale: 1"=20'-0" Plot Orientation: Landscape

413 Broadway, Albany, New York 12242-2844
 One Pass Plaza, 22 West, NY 12111-0078
 257 Franklin Street, Albany, NY 12242-3767
 WWW.DASNY.ORG

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ARCHITECTS

(716) 662-2290
 6395 WEST QUAKER STREET
 ORCHARD PARK, N.Y. 14127

CAS ENGINEERS, INC.
 173 MARKET STREET, BATAVIA, NY 14020
SIRACUSE ENGINEERS, P.C.
 70 EAST JEFFERSON ST., SIRACUSE, NY 13204
IBC ENGINEERING, P.C.
 200 WEST WASHINGTON ST., BATAVIA, NY 14020
FETECH, INC.
 1035 MARSHFIELD TURNPIKE, WESTMONTPELIER, VT 05641

Project Key

REVISIONS

Rev	Description	Date

Client: **GENESE COUNTY COUNCIL ON ALCOHOLISM & SUBSTANCE ABUSE, INC.**
 430 EAST MAIN STREET
 BATAVIA, NY 14020
 Project Title: **DETOXIFICATION FACILITY**
 424 EAST MAIN STREET
 BATAVIA, NY 14020

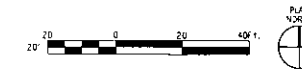
Drawing Title: **GRADING PLAN**

Phase: **60% SUBMISSION**
 Drawn By: **RAM** Checked By: **RAM** Date: **12/10/2014**
 Seal & Signature: **RAM** DASNY Project No: **#348500**
 Drawing Number: **348500-06**



GRADING PLAN LEGEND

- PROPERTY LINE
- PROPOSED CURB
- 100.00' PROPOSED POINT ELEVATION
- 100.00' EXISTING POINT ELEVATION
- PROPOSED CONTOUR
- - - EXISTING CONTOUR
- TC TOP OF CURB
- BC BOTTOM OF CURB
- HP HIGH POINT
- FLOW DIRECTION



Last Saved: 4/4/2010 7:52:22 AM by JHURLEY
 Date Plotted: 11/27/2014 10:01:07 AM
 File Location: F:\Projects\03 - TAM\03020001 - GCASA_Batavia\Drawn\CAD\Drawn By: JHURLEY\Final\2010-04-13\GCASA_Batavia\Drawn\Title Block_V07.dwg

**FONTANESE
 FOLTS
 AUBRECHT
 ERNST**
 A PROFESSIONAL CORPORATION
ARCHITECTS

(716) 662-2200
 6385 WEST QUAKER STREET
 ORCHARD PARK, N.Y. 14127

C&S ENGINEERS, INC.
 100 N. GARDEN ST. SUITE 200
 SYRACUSE, NY 13202
SIRACUSE ENGINEERS, PC
 300 N. GARDEN ST. SUITE 200
 SYRACUSE, NY 13202
IBC ENGINEERING, P.C.
 100 N. GARDEN ST. SUITE 200
 SYRACUSE, NY 13202
FETECH, INC.
 100 N. GARDEN ST. SUITE 200
 SYRACUSE, NY 13202

Project Key

REVISIONS

Rev.	Description	Date

Client
 THE GENESSEE COUNCIL ON ALCOHOLISM & SUBSTANCE ABUSE, INC.
 430 EAST MAIN STREET
 BATAVIA, NY 14020

Project Title
DETOXIFICATION FACILITY
 424 EAST MAIN STREET
 BATAVIA, NY 14020

Drawing Title

Phase
60% SUBMISSION

Drawn By _____ **Checked By** **RAM** **Date** _____

Seal & Signature _____ **DASNY Project No.** **#348500**

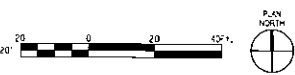
Drawing Number _____



- UTILITY PLAN SHEET KEYNOTES**
- WYE CONNECT TO EXISTING SEWER
 PROPOSED 4" INV 892.2
 EXISTING 10" INV 888.5
 - PROPOSED GAS LINE SHOWN FOR SCHEMATIC PURPOSES ONLY FOR COORDINATION WITH OTHER UTILITIES. CONTRACTOR TO COORDINATE WITH NEP ENGINEERS AND LOCAL UTILITY COMPANY FOR ACTUAL ROUTING, METER, ETC.
 - PROPOSED ELECTRIC LINES, GENERATOR, TRANSFORMER, ETC. SHOWN FOR SCHEMATIC PURPOSES ONLY FOR COORDINATION WITH OTHER UTILITIES. CONTRACTOR TO COORDINATE WITH NEP ENGINEER AND LOCAL UTILITY COMPANY FOR ACTUAL ROUTING, TRANSFORMER, GENERATOR, METER, ETC.
 - REMOVE EXISTING WER PLATE WITH EXISTING CATCH BASIN. REPLACE WITH NEW WER PLATE. REFER TO DETAIL.
 - FINISH 50%-S.P.C. PERIMETER DRAIN TO CONNECT ROOF DOWNSPOUTS TO DRAIN. REFER TO ARCHITECTURAL PLAN FOR DOWNSPOUT LOCATIONS.

UTILITY PLAN LEGEND

EXISTING SANITARY SEWER	----	SA
EXISTING STORM SEWER	----	ST
EXISTING WATER MAIN	----	W
EXISTING ELECTRIC	----	E
EXISTING GAS	----	G
PROPOSED SANITARY SEWER	----	SA
PROPOSED STORM SEWER	----	ST
PROPOSED WATER MAIN	----	W
PROPOSED ELECTRIC	----	E
PROPOSED GAS	----	G
PROPOSED HUBBARD	●	
PROPOSED MANHOLE	●	
PROPOSED CATCH BASIN	●	
PROPOSED YARD DRAIN	●	
PROPOSED CLEAN OUT	●	
PROPOSED LIGHT STANDARD	●	



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 Date Plotted: 11/27/2007 12:05:30 PM
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Consultants:

FONTANESE
FOLTS
AUBRECHT
ERNST
A PROFESSIONAL CORPORATION
ARCHITECTS

(716) 652-2290

6395 WEST QUAKER STREET
ORCHARD PARK, N.Y. 14127

C&S ENGINEERS, INC.
A PROFESSIONAL CORPORATION
145 WEST 41ST STREET, 4TH FLOOR
NEW YORK, N.Y. 10018

SIRACUSE ENGINEERS, P.C.
A PROFESSIONAL CORPORATION
1015 STATE STREET, 4TH FLOOR
SIRACUSE, N.Y. 13202

IBC ENGINEERING P.C.
A PROFESSIONAL CORPORATION
1015 STATE STREET, 4TH FLOOR
SIRACUSE, N.Y. 13202

FETECH, INC.
1115 STATE STREET, 4TH FLOOR
SIRACUSE, N.Y. 13202

Project Key

REVISIONS

No.	Description	Date

Client: GENEESE COUNCIL ON ALCOHOLISM & SUBSTANCE ABUSE, INC.
430 EAST MAIN STREET
BATAVIA, NY 14020

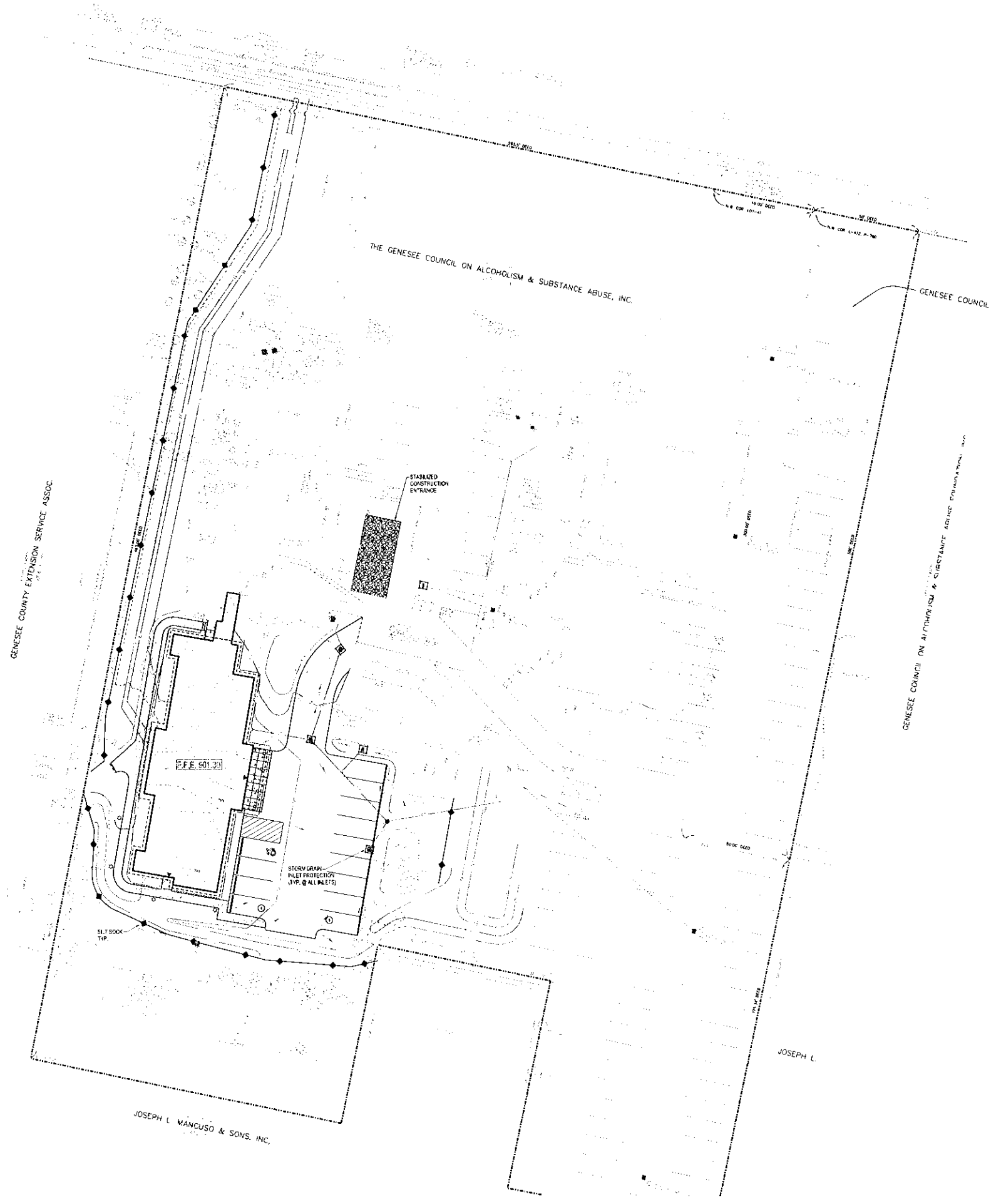
Project Name: DETOXIFICATION FACILITY
424 EAST MAIN STREET
BATAVIA, NY 14020

Drawing Title

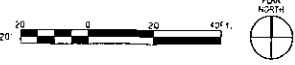
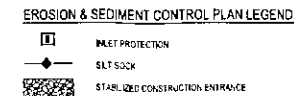
Drawing No. 60% SUBMISSION

Drawn By: RAM	Checked By:	Date:
Seal & Signature	Proj No: #348500	Proj Name: DETOXIFICATION FACILITY

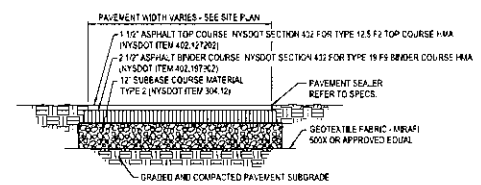
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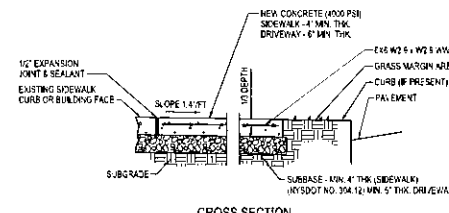
- EROSION & SEDIMENT CONTROL NOTES**
- THE FOLLOWING EROSION CONTROL PROCEDURE SHALL BE ADHERED TO BY THE CONTRACTOR:
1. INSTALL TEMPORARY SILT FENCE BARRIERS AS SHOWN ON THE PLAN AND AT ALL EXISTING STORMWATER CATCH BASINS WITHIN THE WORK AREA TO PREVENT SEDIMENT MIGRATION. ALL SILT FENCE SOCK BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS.
 2. THE TOPSOIL SHALL BE STRIPPED & STOCKPILED ON SITE FOR RE-USE AS DIRECTED BY THE OWNER. ALL LOCAL ORDINANCES REGARDING THE SALE AND OR REMOVAL OF TOPSOIL FROM THE SITE MUST BE FOLLOWED.
 3. ALL SILT FENCES SOCKS SHALL BE REPLACED WHENEVER THEY BECOME CLOGGED OR IMPERFORABLE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE & REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
 5. THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION DURING EARTHWORK OPERATIONS. WATER SPRAYING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR AND WATER APPLIED AS NECESSARY AND AS DIRECTED BY THE OWNER IN ORDER TO CONTROL DUST.
 6. DIRT OR DEBRIS LEFT ON LOCAL PUBLIC ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED & ROAD SURFACES CLEANED BY THE CONTRACTOR ON A DAILY BASIS.
 7. ALL UNDISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM 4" DEPTH & SEEDS IMMEDIATELY AFTER FINE GRADING TAKES PLACE & AS SOON AS PHYSICALLY POSSIBLE.
 8. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF DOWNSIDE DRAINAGE SYSTEMS, DITCHES & CULVERTS. ON-THE-SPOT REPAIRS TO BE RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSIDE DRAINAGE SYSTEMS BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE TOWN.
 9. IN ADDITION TO STORM WATER DISCHARGES, THE FOLLOWING NON-STORM WATER DISCHARGES MAY CONTRIBUTE TO THE RUN-OFF FROM THE SITE:
 - WATER FROM WATER SERVICE LEAKS
 - WATER USED TO WASH DOWN CONSTRUCTION VEHICLES AND DEBRIS
 - WATER USED FOR DUST CONTROL
 - UNCONTAMINATED GROUND WATER
 10. THE ABOVE NON-STORM WATER FLOWS SHALL BE TREATED IN THE SAME MANNER AS STORM WATER FLOWS INDICATED HEREIN.



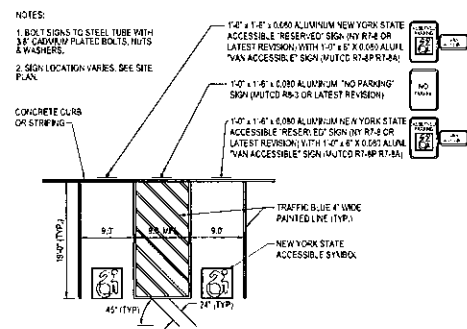
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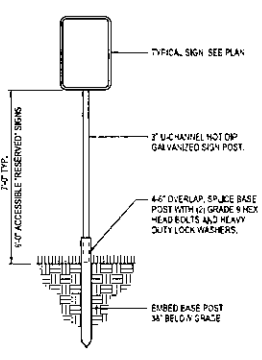
1 STANDARD DUTY ASPHALT SECTION
SCALE: N.T.S.



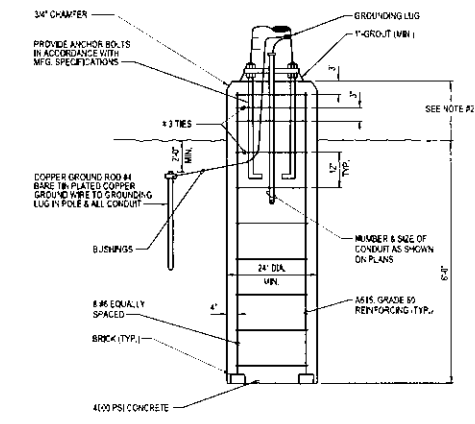
2 CONCRETE SIDEWALK
SCALE: N.T.S.



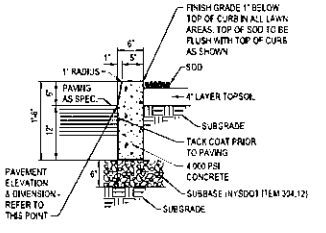
3 ACCESSIBLE SIGNS & MARKINGS
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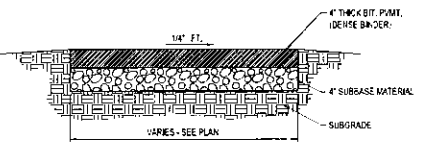
4 SIGN POST
SCALE: N.T.S.



5 LIGHT POLE FOUNDATION
SCALE: N.T.S.

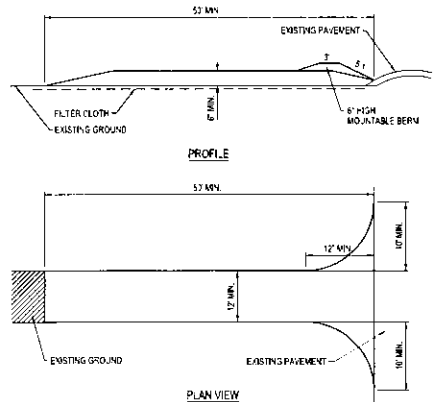


6 CONCRETE CURB
SCALE: N.T.S.

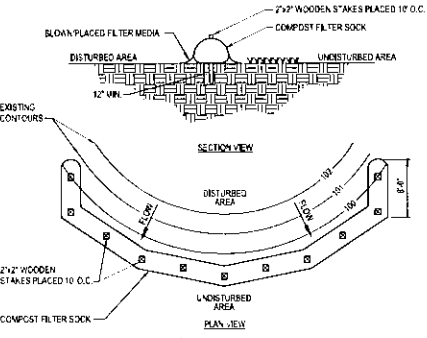


7 ASPHALT SIDEWALK
SCALE: N.T.S.

- STABILIZED CONSTRUCTION ENTRANCE NOTES:**
1. STONE SIZE - USE 2" STONE WASHED CRUSHED.
 2. LENGTH - NOT LESS THAN 50 FEET.
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWELVE (12) FOOT MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTYFOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTAIN BERRY WITH 3:1 SLOPES SHALL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE & WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION & NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



STABILIZED CONSTRUCTION ENTRANCE
SCALE: N.T.S.

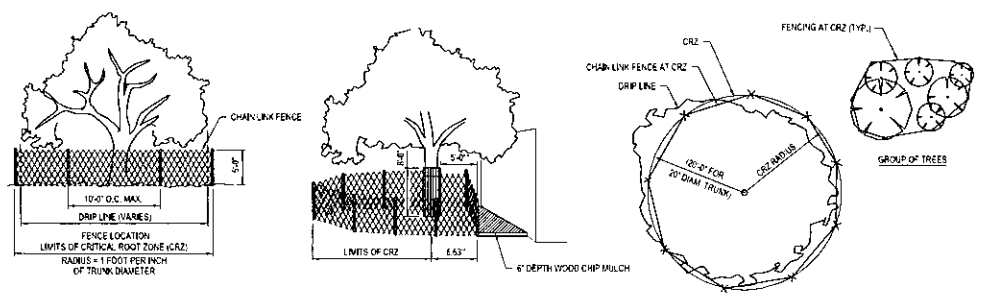


COMPOST STANDARDS TABLE

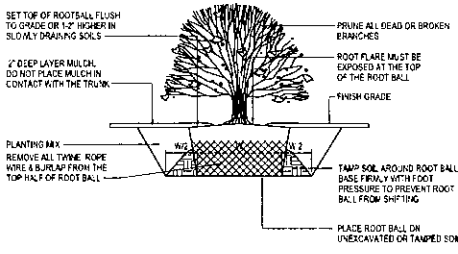
PROPERTY	STANDARD
ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT)
ORGANIC PORTION	FIBROUS & ELONGATED
pH	6.0 - 8.6
MOISTURE CONTENT	30% - 80%
PARTICLE SIZE	100% PASSING A 1" SCREEN
SOLUBLE SALT CONCENTRATION	10% - 60% PASSING A 3/8" SCREEN

1. SOCK FABRIC SHALL MEET STANDARDS OF TABLE 8.1. COMPOST SHALL MEET THE STANDARDS LISTED ON TABLE 8.2.
2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST A FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 8.2). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 8.3. STAKES MAY BE INSTALLED IMMEDIATELY DOWN-SLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVE-GROUND HEIGHT OF THE SOCK & DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
5. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
6. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
7. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCKS, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND INTEGRATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE BRUSH SPREAD AS A SOIL SUPPLEMENT.

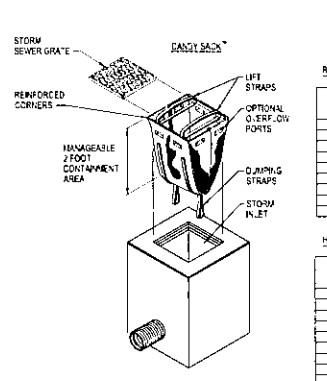
COMPOST FILTER SOCK
SCALE: N.T.S.



TREE PROTECTION DETAIL
SCALE: N.T.S.



SHRUB PLANTING DETAIL
SCALE: N.T.S.



DANDY SACK™ SPECIFICATIONS

NOTE: THE DANDY SACK™ WILL BE MANUFACTURED IN THE U.S.A. FROM A KNOWN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MINIMUM
GRAB TENSILE STRENGTH	ASTM D 4532	LB/RS	1.75 (250 / 1.45 (115))
GRAB TENSILE ELONGATION	ASTM D 4532	%	3.0 (4.5)
PUNCTURE STRENGTH	ASTM D 4533	LB/RS	0.87 (150)
MULLER BURST STRENGTH	ASTM D 3785	PSI	800 (600)
TRANSDUCER TEAR STRENGTH	ASTM D 4533	LB/RS	0.87 (150) (0.75 (105))
UV RESISTANCE	ASTM D 4535	%	90
APPARENT OPENING SIZE	ASTM D 4751	MIN. U.S. Sieve No.	1.40 (10)
FLOW RATE	ASTM D 4481	INCHES PER HOUR	300 (170)
PERMEABILITY	ASTM D 4481	SEC	3.50

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MINIMUM
GRAB TENSILE STRENGTH	ASTM D 4532	LB/RS	1.52 (200) (1.20 (100))
GRAB TENSILE ELONGATION	ASTM D 4532	%	2.0 (3.0)
PUNCTURE STRENGTH	ASTM D 4533	LB/RS	0.40 (50)
MULLER BURST STRENGTH	ASTM D 3785	PSI	300 (250)
TRANSDUCER TEAR STRENGTH	ASTM D 4533	LB/RS	0.87 (150) (0.80 (105))
UV RESISTANCE	ASTM D 4535	%	90
APPARENT OPENING SIZE	ASTM D 4751	MIN. U.S. Sieve No.	0.425 (40)
FLOW RATE	ASTM D 4481	INCHES PER HOUR	100 (140)
PERMEABILITY	ASTM D 4481	SEC	2.0

FILTER SACK INLET PROTECTION
SCALE: N.T.S.

110 Broadway, Albany, New York 12207-5114
One Penn Plaza, 22 Floor, NY, NY 10119-0914
537 Hudson Street, Buffalo, NY 14203-1109
www.dasny.org

FONTANESE FOLTS AUBRECHT ERNST
A PROFESSIONAL CORPORATION
ARCHITECTS

(716) 652-2200
6395 WEST QUAKER STREET
ORCHARD PARK, N.Y. 14127

CAS ENGINEERS, INC.
SIRACUSE ENGINEERS, P.C.
IBC ENGINEERING, P.C.
FETECH, INC.

Project Key

Symbol	Description	Date

REVISIONS

Rev.	Description	Date

Client: **GENESSEE COUNCIL ON GOVERNMENTAL AFFAIRS**
430 EAST MAIN STREET
BATAVIA, NY 14020

Project Title: **DECONTAMINATION FACILITY**
424 EAST MAIN STREET
BATAVIA, NY 14020

Drawing Title: **60% SUBMISSION**

Drawn By: **RAM**

Checked By: **RAM**

Date: **11/27/2007**

Scale: **AS SHOWN**

Sheet & Signature: **#348500**

Drawing Number:

Drawn by:

FONTANES FOLTS AUBRECHT ERNST
 ARCHITECTS

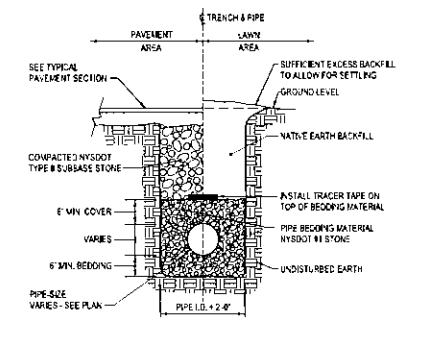
(716) 662-2200
 6395 WEST OAKHURST STREET
 ORCHARD PARK, N.Y. 14127

CAS ENGINEERS, INC.
 200 W. WASHINGTON STREET
 SYRACUSE, NY 13202

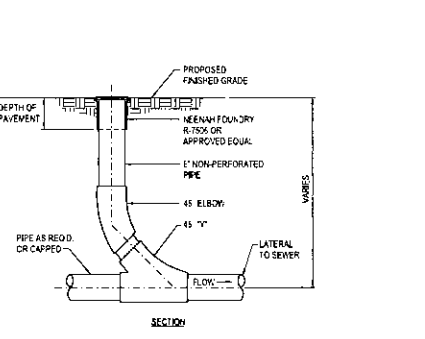
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 200 W. WASHINGTON STREET
 SYRACUSE, NY 13202

IBC ENGINEERING, P.C.
 200 W. WASHINGTON STREET
 SYRACUSE, NY 13202

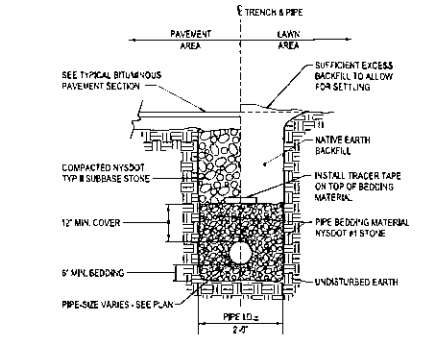
FETECH, INC.
 200 W. WASHINGTON STREET
 SYRACUSE, NY 13202



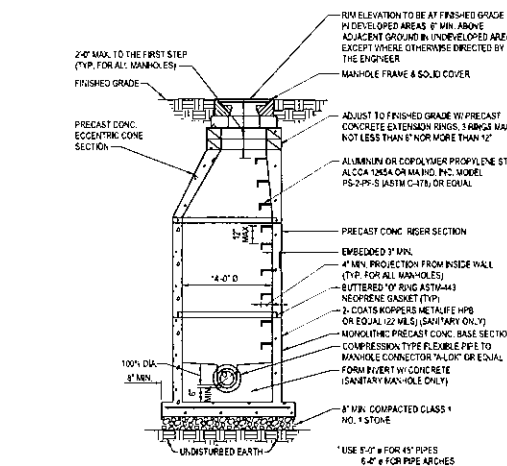
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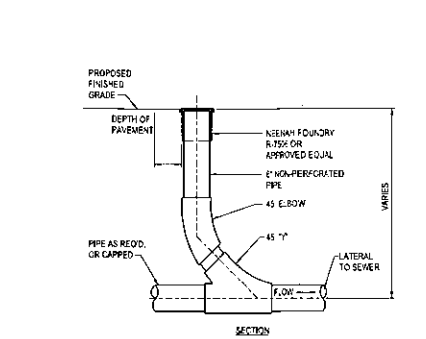
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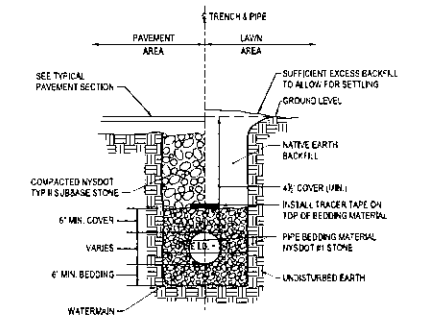
STORM PIPE TRENCH SECTION
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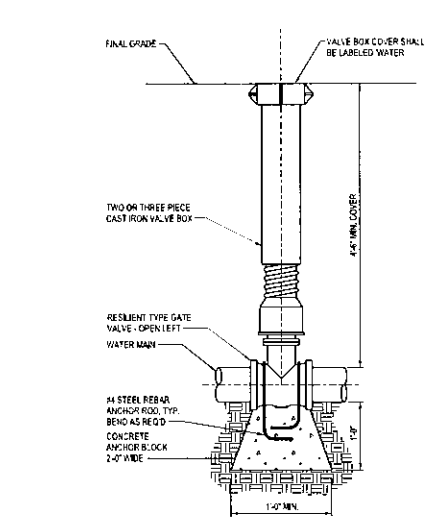
PRECAST CONCRETE MANHOLE
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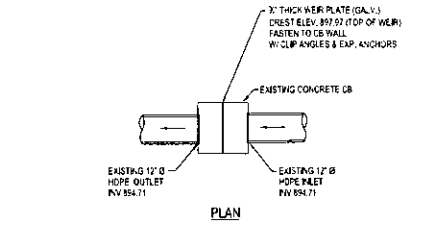
STORM SEWER CLEANOUT
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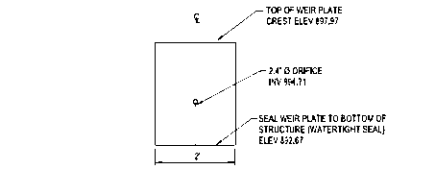
TYPICAL WATERLINE TRENCH SECTION
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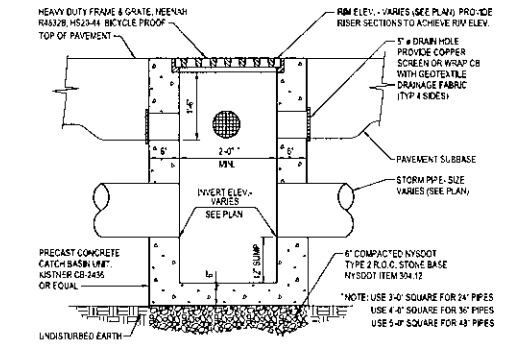
TYPICAL VALVE SETTING DETAIL
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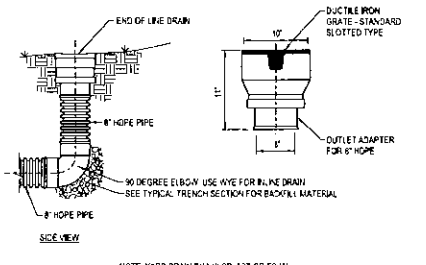
EXISTING CATCH BASIN
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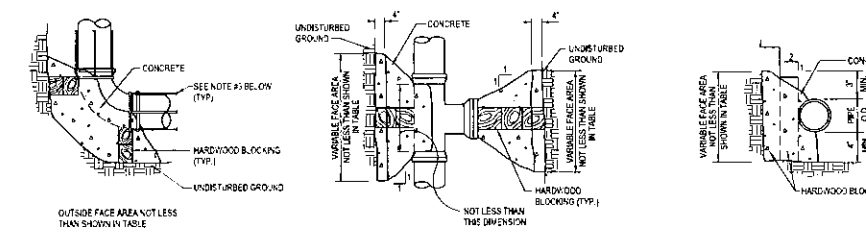
WEIR PLATE - ELEVATION VIEW
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PRECAST CATCH BASIN
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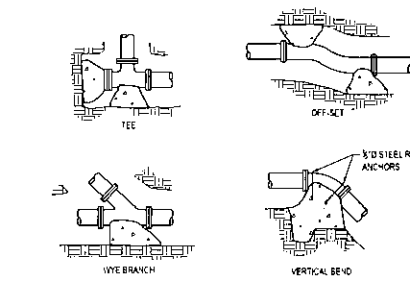
10" YARD DRAIN
 SCALE: N.T.S.



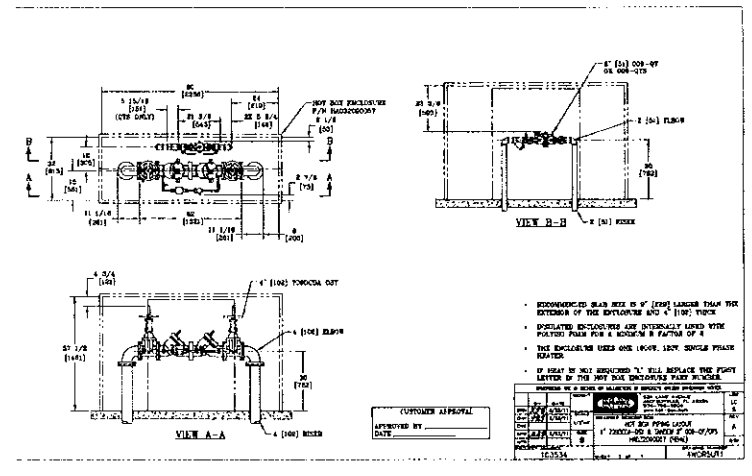
TYPICAL THRUST BLOCKING DETAILS FOR TEES, PLUGS AND BENDS

PIPE SIZE	AREA SQ. IN.	TOTAL PRESS. IN LBS.	AREA OF BLOCK IN SQUARE FEET			
			TEES	BENDS	PLUGS	90° BENDS
4"	26	5800	1.5	2.1	1.1	1.0
6"	45	10200	2.7	3.8	2.1	1.8
8"	79	17800	4.5	6.3	3.5	2.9
12"	158	35600	9.0	12.6	6.9	5.8

- NOTES:
 1. THRUST BLOCKS ARE TO BE CONSTRUCTED OF DRY-SET PORTLAND CEMENT ATTAINING 3000 PSI AT 28 DAYS.
 2. THRUST BLOCKS ARE TO BE USED IN CONJUNCTION WITH LOCKING COLLARS.
 3. PROVIDE THE RODS OR WEDGE BOLTS TO ADJACENT CONCRETE THRUST BLOCKS AS SHOWN.



TYPICAL THRUST BLOCK SETTING
 SCALE: N.T.S.



HOTBOX ENCLOSURE
 SCALE: N.T.S.

Project Key

REVISIONS

No.	Description	Date

Client: **GENESEE-ORLEANS COUNCIL OF GOVERNMENTS**
 430 EAST MAIN STREET
 BATAVIA, NY 14020

Project Title: **DETOXIFICATION FACILITY**
 424 EAST MAIN STREET
 BATAVIA, NY 14020

Phase: **60% SUBMISSION**
 Drawn By: **RAM**
 Checked By: **RAM**
 Date: **11/14/2007**
 DSNY Project No: **#348500**
 Drawing Number:

Last Saved: 4/14/2008 3:26:52 AM by: JABURLEY
 Date Plotted: 11/07/2007 10:02:30 AM
 File Location: F:\Project\049 - FFA\049\0490101.dwg

NO.	DATE	REVISIONS
REVISIONS		
CONTRACT DOCUMENTS		
SPECIAL SERVICES		
CIVIL ENGINEERS		
141-01 6TH STREET		
BUFFALO, NY 14203		
(716) 841-1830		
STRUCTURAL ENGINEERS		
SIRACUSE ENGINEERS		
100 W. 10TH STREET		
BUFFALO, NY 14203		
(716) 854-1394		
MECHANICAL ENGINEERS		
ICE ENGINEERING, P.C.		
844 WOOD AVENUE, SUITE 218		
ROCHESTER, NY 14623		
(585) 462-1540		

FONTANESE
 FOLTS
 AUBRECHT
 ERNST
 ARCHITECTS

1316/02/00/07
 437 1/2 WEST COURSE
 ONONDAGA PARK, N.Y. 14112

PROJECT NO.
 DATE
 SCALE
 DRAWN BY
 CHECKING TITLE
**PRELIMINARY
 SITE PLAN
 PHOTOMETRICS**

DRAWING NO.
SP-02

CONTRACT DOCUMENTS
 FONTANESE FOLTS AUBRECHT ERNST ARCHITECTS, P.C.
 HAS BEEN REVIEWED FOR CONFORMANCE WITH THE
 REQUIREMENTS OF THE STATE ESDS AND THE
 WRITTEN PERMISSION OF THE ARCHITECT.
 FONTANESE FOLTS AUBRECHT ERNST ARCHITECTS, P.C.
 IS NOT PROVIDING ANY GUARANTEE OR WARRANTY
 AS TO THE ACCURACY OF THE INFORMATION
 CONTAINED HEREIN.
 ANY UNAUTHORIZED ALTERATION OF OR ADDITION TO THE
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 NEW YORK STATE ESDS, ARTICLE 17-A, SECTION 1701.

