

# PLANNING & DEVELOPMENT COMMITTEE

Tuesday, July 25, 2023

6:00 pm

Council Board Room

One Batavia City Centre, Batavia NY

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## AGENDA

- I. Roll Call
- II. Call to Order
- III. Approval of Minutes – 6/20/23
- IV. Proposals

**Address:** 425A West Main Street

**Applicant:** Evan Gefell (agent for Quattro Batavia LLC)

Proposal 1: Site Plan, Special Use Permit, and Area Variance to remove an existing 1,620 sq.' one-story commercial building and construct a 1,324 sq.' one-story automobile service station / public garage for the servicing (oil change) of automobiles

Actions: 

1. Review application
2. Discussion and action by the board
3. Recommendation to the ZBA

**Address:** 301-305 and 307 West Main Street, 4 and a portion of 6 South Lyon Street

**Applicant:** Peter Sorgi, Esq. (agent for owner)

Proposal 2: Sketch Plan Review of a proposed project that will result in the merging of several parcels, a minor subdivision, demolition of existing buildings, and construction of a Burger King restaurant with drive-through service. The purpose of the submittal is to provide the applicant with the opportunity to familiarize the PDC with the proposal and to obtain direction prior to final site plan submission

1. Review application
2. Discussion by the board

**Address:** 99 Main Street

**Applicant:** Todd Audsley (project manager)

Proposal 3: Review the PDC's previous approval process for the façade design. Mr. Audsley would like the opportunity to present the installed stone veneer, as the application pattern differs from the originally proposed uniform running bond pattern. He would like to discuss show the board the in-place materials and satisfy the board's concerns

Actions: 

1. Review application
2. Site visit

VI. Setting of Next Meeting: August 15, 2023

VII. Adjournment

# PLANNING & DEVELOPMENT COMMITTEE

## *DRAFT MINUTES*

Tuesday, June 20, 2023

6:00 pm

Council Board Room

One Batavia City Centre, Batavia NY

Members present: *Edward Flynn, John Ognibene, Duane Preston [Derek Geib was present for part of the meeting]*

Members absent: David Beatty, Rebecca Cohen

Others present: Meg Chilano – Recording Secretary, Doug Randall – Code Enforcement Officer

### **I. Roll Call**

Roll call of the members was conducted. Three members were present and Chairman Duane Preston declared a quorum.

### **II. Call to order**

Mr. Preston called the meeting to order at 6:00 p.m.

### **III. Previous Meeting Minutes**

There were no corrections to the minutes. Mr. Preston assumed the motion and the minutes were approved as written by unanimous consent.

**RESULT: Approval of May 16, 2023 meeting minutes.**

**IV. Proposals** [Jennifer Gobeyn was absent at the beginning of the meeting. Mr. Preston started with the second proposal on the agenda.]

- B. Rooming house permit to operate an existing room house structure, which is being purchased from the present rooming house operator, Terrence Platt. This building contains ten rooming house units and one self-contained apartment

**Address:** 216-218 State Street

**Applicant:** Ryan McDonald (purchaser)

- Actions:**
1. Review
  2. Discussion and action by the board

#### **1. Review Application and Discussion**

Mr. Preston read the summary of the proposal.

#### **2. Discussion and Action by the Board**

Mr. Flynn asked if there have been any major issues with this property in the past, and Mr. Randall answered that other than a few minor violations, there have been no problems. He noted that the rooming house passed its last inspection.

Mr. Preston asked if there is an outside manager, and Mr. McDonald said no.

Mr. Flynn asked if Mr. McDonald has previous experience with rooming houses, and Mr. McDonald responded that he has other properties, some of which he has owned for ten years.

Mr. Flynn asked if there are issues with any of Mr. McDonald's other properties, and Mr. Randall answered no.

**MOTION:** Mr. Flynn moved to approve the proposal; the motion was seconded by Mr. Ognibene, and on roll call, was approved 3-0.

**RESULT: Application approved.**

- A. Area variance to remove an existing 10.5'-wide asphalt driveway and place a new 22'-wide Portland cement concrete driveway in its place. A zoning variance was granted by the ZBA on 8/28/08 to increase the width of the existing (approx.) 10.5'-wide asphalt driveway by adding 10' of width on the west side of the existing driveway

**Address:** 29 Cherry Street

**Applicant:** Jennifer Gobeyn (owner)

- Actions: 1. Review application  
2. Discussion and action by the board

### 1. Review Application

Mr. Preston read the summary of the application.

Ms. Gobeyn said that the driveway worked while she lived on the property alone, but she is engaged, and the driveway is too small for two vehicles. Her fiancé is in the construction business and drives a pick-up truck. Two vehicles will not fit in the driveway without touching the grass of one of the neighboring properties.

### 2. Discussion and Action by the Board

Mr. Preston observed that the driveway would take up the front yard; however, the narrow width of the yard space is nearly taken up by the house.

**MOTION:** Mr. Ognibene moved to recommend approval of the proposal; the motion was seconded by Mr. Flynn, and on roll call, was approved 3-0.

**RESULT: Recommendation to the ZBA for approval of the application.**

- C. Review the PDC's previous approval process for the façade design. Mr. Audsley would like the opportunity to present the installed stone veneer, as the application pattern differs from the originally proposed uniform running bond pattern. He would like to discuss options to modify the in-place materials and satisfy the board's concerns

**Address:** 99 Main Street

**Applicant:** Todd Audsley (project manager)

- Actions: 1. Review application and discussion  
2. Discussion and action by the board

**1. Review Application**

Mr. Preston read the summary of the proposal.

**2. Discussion and Action by the Board**

It was decided that Mr. Audsley will send photos of the grout color samples to Mr. Randall, who will pass them on to the board. The board will select a color, which will be applied to the exterior. As part of the July 25, 2023 meeting of the PDC, the board will proceed to 99 Main Street to examine the results. At that time, the board will decide if the exterior alteration is acceptable.

D. Sketch Plan review of a proposed project that will result in the merging of several parcels, minor subdivision, demolition of existing buildings, and construction of a Burger King restaurant with drive-through service. The purpose of the review is to provide the applicant with the opportunity to familiarize the PDC with the proposal and to obtain direction prior to the final site plan submission

**Address:** *301-305 West Main Street, 307 West Main Street, 4 South Lyon Street, and a portion of 6 South Lyon Street*

**Applicant:** Peter Sorgi, Esq. (agent for owner)

**Actions:** 1. Review application  
2. Discussion

**1. Review Application and Discussion**

Mr. Preston read the summary of the proposal.

**2. Discussion and Action by the Board**

Following a description and discussion of the project, it was determined that the applicant will return next month for a preliminary Site Plan review.

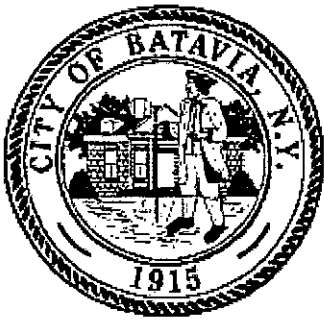
**V. Setting of Next Meeting:** July 25, 2023

**VI. Adjournment**

Mr. Preston moved to adjourn the meeting at 7:05 p.m., and Mr. Flynn seconded the motion. All voted in favor.

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Meg Chilano  
Recording Secretary



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee  
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 6/30/23

Re: 425 A. West Main St.  
Tax Parcel No. 84.005-2-1./2

Zoning Use District: C-2

The applicant, Evan Gefell (agent for Quattro Batavia LLC), has submitted site plan and special use permit applications for removal of an existing 1,620 sq.' one story commercial building and construction of a 1,324 sq.' one story automobile service station / public garage for the servicing (oil change) of automobiles.

There are restaurants (places of public assembly) located within the required 500' distance required for issuance of a special use permit. An area variance is requested for parking and the distance separation requirements.

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

**City Planning and Development Committee-**

- 1) Pursuant to section 190-44 C (1)(a) of the zoning ordinance, the Planning and Development Committee shall review site plans for compliance with this Chapter.
- 2) BMC 190-37 The PDC may authorize issuance of Special Use Permits.
- 3) BMC 190-49 C Applications for variances that include parking, shall be referred to the PDC for recommendation to the ZBA

**Zoning Board of Appeals-** Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

1) BMC 190-37 E (8) Parking for service stations is required at the rate of 1 space for every 100 square feet of floor area. 11 spaces are proposed, 14 are required.

2) BMC 190-37 E (10) Service stations are not to be located within 500 feet of any public entrance to a church or place of public assembly. There are multiple places of public assembly (restaurants) within 500' of the proposed service station / public garage.

**The Planning and Development Committee will be the lead agency to conduct SEQR.**

**SEND OR DELIVER TO:**

GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) 815-7901



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

**DEPARTMENT USE ONLY:**  
GCDP Referral # \_\_\_\_\_

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) PDC and ZBA  
Address One Batavia City Centre  
City, State, Zip Batavia, NY 14020  
Phone (585) 345 - 6345 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name Evan Gefell- Costich Engineering  
Address 217 Lake Ave.  
City, State, Zip Rochester, NY 14608  
Phone (585) 458 - 3020 Ext. \_\_\_\_\_ Email Egefell@costich.com

MUNICIPALITY:  City  Town  Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |                                                        |                                                    |                                               |
|--------------------------------------------------------|----------------------------------------------------|-----------------------------------------------|
| <input checked="" type="checkbox"/> Area Variance      | <input type="checkbox"/> Zoning Map Change         | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance                  | <input type="checkbox"/> Zoning Text Amendments    | <input type="checkbox"/> Preliminary          |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final                |
| <input checked="" type="checkbox"/> Site Plan Review   | <input type="checkbox"/> Other: _____              |                                               |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

- A. Full Address 425 A. West Main St.
- B. Nearest intersecting road Lewiston Rd.
- C. Tax Map Parcel Number 84.005-2-1/2
- D. Total area of the property \_\_\_\_\_ Area of property to be disturbed \_\_\_\_\_
- E. Present zoning district(s) C-2

**5. REFERRAL CASE INFORMATION:**

- A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_
- B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
BMC 190-37E and 190-37 K
- C. Please describe the nature of this request Approval to remove existing and construct new building for a use that requires a special use permit.

**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |                                                       |                                                              |                                                                |
|-------------------------------------------------------|--------------------------------------------------------------|----------------------------------------------------------------|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments          | <input type="checkbox"/> New or updated comprehensive plan     |
| <input checked="" type="checkbox"/> Site plan         | <input checked="" type="checkbox"/> Location map or tax maps | <input checked="" type="checkbox"/> Photos                     |
| <input type="checkbox"/> Subdivision plot plans       | <input checked="" type="checkbox"/> Elevation drawings       | <input checked="" type="checkbox"/> Other: <u>Cover letter</u> |
| <input checked="" type="checkbox"/> SEQR forms        | <input type="checkbox"/> Agricultural data statement         |                                                                |

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. \_\_\_\_\_  
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com





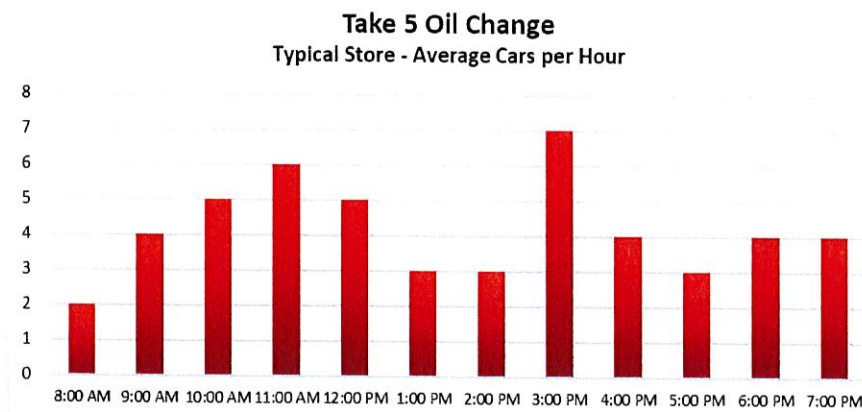
December 19, 2022

**RE: Proposed Site Development for Take 5 Oil Change**

Take 5 Oil Change has a unique business model that is focused exclusively on oil changes and the customer experience. Customers stay in their car during the entire service and average service times are approximately 10 minutes. Take 5 is able to serve its customers with this speed because we only perform oil changes and no other maintenance activities other than ancillary services such as windshield wiper and filter replacements. There are more than 700 Take 5 Oil Change locations across the country.

The average Take 5 Oil Change location services 50 cars a day, which is less than most any kind of retail establishment. Typical hours of operation are 7am – 8pm Monday thru Friday; 7am – 7pm Saturdays; and 9am – 5pm Sundays.

A typical Take 5 Oil Change location generates traffic in non-peak traffic hours. Based on common customer patterns, these facilities do not impact rush hour traffic. Below is a graph of a typical daily customer distribution.



Please let me know if you need any additional information at this time.

Henry Robert  
Director of Franchise Construction  
Driven Brands, Inc.



CITY OF BATAVIA  
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.: 2023-20  
Hearing Date/Time: \_\_\_\_\_

APPLICANT: Evan Gefell- Costich Engineering Egefell@costich.com  
Name E-Mail Address  
217 Lake Ave 585-458-3020  
Street Address Phone Fax  
Rochester NY 14608  
City State Zip

STATUS:  Owner  Agent for Owner  Contractor

OWNER: Quattro Batavia, LLC Peter@QuattroDevelopment.com  
Name E-Mail Address  
1100 Jorie Blvd 570-269-9993  
Street Address Phone Fax  
Oak Brook IL 60523  
City State Zip

LOCATION OF PROPERTY: 425A Main Street, Batavia NY 14020

DETAILED DESCRIPTION OF REQUEST: \_\_\_\_\_  
Requesting an area variance to reduce the 14 parking stalls required by code to 11  
Requesting an area variance to the local code stating "Automotive Service Stations are not permitted within 500' of a place of public assembly"

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Applicant's Signature Evan Gefell  
Owner's Signature [Signature]

Date 6/29/2023  
Date 6/28/2023

PAID  
JUL - 3 2023  
CITY OF BATAVIA  
CLERK-TREASURER

To be Filled out by Zoning Officer

TAX PARCEL: 84.005-2-1/2 ZONING DISTRICT: C-2 FLOOD PLAIN: C

TYPE OF APPEAL:  Area Variance FEE:  \$50 (One or Two Family Use)  
 Use Variance  \$100 (All other Uses)  
 Interpretation  
 Decision of Planning Committee

Provision(s) of the Zoning Ordinance Appealed: BMC 190-37 E (8) Parking.  
BMC 190-37 E (10) Distance From Public Assembly

## Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.  
In our opinion neither variance will produce an undesirable change in the neighborhood. The added green space in lieu of parking is a general benefit to the neighborhood. Throughout the City of Batavia, there are a number of examples of Automotive Service Stations near places of public gathering that have been permitted in the past and do not appear to have created an undesirable change in the neighborhood.
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. We are seeking the parking stall variance as our tenant's business do not require ample parking to operate effectively. No vehicles are stored on site, and only the employees will be utilizing the planned parking.  
The site's proximity to areas of gathering is not within our control
3. **Substantiality.** The requested area variance is not substantial.  
It is our opinion that neither variance is substantial. The reduced parking for added green space is a general benefit and there is precedent in Batavia for Auto Services Centers to operate within 500' of public places of gathering
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.  
It is our opinion that neither variance will have an adverse impact on the physical or environmental conditions of the neighborhood or community. The reduced parking for added green space is a general benefit and there is precedent in Batavia for Auto Services Centers to operate within 500' of public places of gathering
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title.  
Our tenant's business do not require ample parking to operate effectively. No vehicles are stored on site, and only the employees will be utilizing the planned parking. The site's proximity to areas of gathering are inherent to the site and is not within our control

J.P.L.

Applicant's Signature

6/28/2023

Date

PERMIT NO. 23-4



# SPECIAL USE PERMIT

## CITY OF BATAVIA, NEW YORK

LOCATION: 425 W. Main Street  
OWNER: Quattro Batavia LLC  
Address: 1160 Jovic Blvd Ste 140, Oak Brook, IL

Application Date: 6/29/23  
Tax Parcel No.: 84.005-2-1/2  
Phone No. 630-891-6472

- COUNTY PLANNING REVIEW
- ZONING DISTRICT
- FLOOD ZONE
- CORNER LOT
- SITE PLAN REVIEW
- BID

- ZONING VARIANCE REQUIRED
- HISTORIC DISTRICT
- HISTORIC LANDMARK
- CITY ENGINEER REVIEW
- CITY COUNCIL REVIEW
- OTHER

**PAID**  
 JUL - 3 2023  
 CITY OF BATAVIA  
 CLERK-TREASURER

**PROJECT DESCRIPTION:**

We are proposing to build a single story  
Take 5 oil change facility comprising of 2-Bays with a total of 1,324 sq.  
This building would be built with masonry to Take 5's prototypical design.

EXISTING USE: Retail/Vacant

PROPOSED USE: Automotive Service

N.Y.S. BLDG. CODE OCC. CLASS: \_\_\_\_\_

N.Y.S. BLDG. CODE OCC. CLASS: \_\_\_\_\_

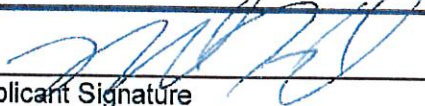
LOT SIZE: 17,166 sf

LOT AREA: 17,166 sf

**CITY PLANNING & DEVELOPMENT REVIEW:**

APPROVAL AS PRESENTED     DISAPPROVAL     APPROVAL WITH CONDITIONS

CHAIRMAN SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

|                                                                                     |                |                   |
|-------------------------------------------------------------------------------------|----------------|-------------------|
|  | <u>6/29/23</u> |                   |
| Applicant Signature                                                                 | Date           | Issuing Officer   |
| Permit Fee: <u>9150</u>                                                             |                | Issue Date: _____ |



# GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID **C-05-BAT-07-23**  
Review Date **7/13/2023**

|                  |                                                                                                                                                                         |
|------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Municipality     | <b>BATAVIA, C.</b>                                                                                                                                                      |
| Board Name       | <b>CITY PLANNING AND DEVELOPMENT COMM.</b>                                                                                                                              |
| Applicant's Name | <b>Evan Gefell - Costich Engineering</b>                                                                                                                                |
| Referral Type    | <b>Special Use Permit</b>                                                                                                                                               |
| Variance(s)      | <b>Area Variance(s)</b>                                                                                                                                                 |
| Description:     | <b>Special Use Permit and Area Variances to construct a new motor vehicle service station.</b>                                                                          |
|                  | <b>Number of Parking Spaces</b><br><b>Minimum required: 14</b><br><b>Proposed: 11</b>                                                                                   |
|                  | <b>Service Station Distance to Entrance of Public Assembly Place</b><br><b>Minimum required: 500 ft.</b><br><b>Proposed: Approx. 80 ft. (Sport of Kings Restaurant)</b> |
| Location         | <b>425A W. Main St. (NYS Rt. 5), Batavia</b>                                                                                                                            |
| Zoning District  | <b>General Commercial (C-2) District</b>                                                                                                                                |

**PLANNING BOARD RECOMMENDS:**

**APPROVAL WITH MODIFICATION(S)**

**EXPLANATION:**

**The required modification is that the storage and disposal of all new and used waste oils, lubricants, fuels, coolants and other hazardous materials shall be conducted in a manner consistent with all applicable State and Federal laws. With this required modification, the proposed service station should pose no significant county-wide or inter-community impact. It is recommended that the applicant submits the attached application for 9-1-1 Address Verification to the Genesee County Sheriff's Office to ensure that the address assigned for the new building meets Enhanced 9-1-1 standards.**

Director

July 13, 2023

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.



Parcel ID No. 84.005-2-1.2

**City of Batavia**  
**Bureau of Inspections**  
One Batavia City Centre  
Batavia, NY 14020  
585-345-6345

# Site Plan Review Application

**Property Address** 425A Main Street, Batavia, NY 14020 **Application date** 6/29/2023

|                        |                             |                                     |
|------------------------|-----------------------------|-------------------------------------|
| <b>Owner:</b>          | <u>Quattro Batavia, LLC</u> | <u>Peter@QuattroDevelopment.com</u> |
| <b>Name</b>            | <b>E-mail address</b>       |                                     |
| <u>1100 Jorie Blvd</u> | <u>Oak Brook, IL 60523</u>  | <u>570-269-9993</u>                 |
| <b>Mailing Address</b> | <b>City</b>                 | <b>Zip Code</b>                     |
|                        |                             | <b>Phone No.</b>                    |

**Describe request:** Requesting site plan review to construct a new 1,324 sf oil change facility located on a .39 ac parcel located in the C-2 zoning district.

Attachments must include the following:

- Completed building permit application
- Appropriate SEQRA documents
- 7- 11" x 17" copies of the site plan with a scale not to exceed 1 in. equals 50 ft. The site plan shall include the items listed in BMC190-44 D (2)(a-j)
- Color elevation renderings
- Site Plan Review Fee of \$250.

The Planning and Development Committee (PDC) will review applications for compliance with Batavia Municipal Code 190-44.

The review process may involve a "Sketch Plan Review". This is an optional, preliminary meeting, that provides an opportunity for the applicant to receive direction and guidance from the PDC prior to final submission. This process is especially encouraged for larger projects.

|                                      |                       |                 |                  |
|--------------------------------------|-----------------------|-----------------|------------------|
| <b>Applicant</b> (if not the owner): |                       |                 |                  |
| <b>Name</b>                          | <b>E-mail address</b> |                 |                  |
| <b>Mailing address</b>               | <b>City</b>           | <b>Zip Code</b> | <b>Phone No.</b> |

**PAID**

**JUL - 3 2023**

CITY OF BATAVIA  
CLERK-TREASURER

**Signature:** *[Handwritten Signature]* **Date:** 6/28/2023

Application Date: \_\_\_\_\_

APPLICANT NAME \_\_\_\_\_ PHONE \_\_\_\_\_

APPLICANT MAILING ADDRESS \_\_\_\_\_

APPLICANT EMAIL \_\_\_\_\_

**Project Location and Information**

Address of Project: 425A Main Street, Batavia NY 14020

Owner: Quattro Batavia, LLC Phone: 570-269-9993

Owners Mailing Address: 1100 Jorie Blvd, Suite 140, Oak Brook, IL 60523

**Project Type/Describe Work** **Estimated cost of work:** \$500,000

We are proposing to build a single story Take 5 oil change facility comprising of 2-bays with a total of 1,324 SF. This building would be single story, wood frame construction

**Contractor Information** – Insurance certificates (liability & worker comp) required to be on file in our office before issuance of any permit. \_\_\_\_\_ Liability \_\_\_\_\_ Workers Comp

**GENERAL** TBD  
Name & Address: \_\_\_\_\_  
Phone: \_\_\_\_\_

**PLUMBING** TBD (City of Batavia Licensed Plumber Required)  
Name & Address: \_\_\_\_\_  
Phone: \_\_\_\_\_

**HEATING** TBD  
Name & Address: \_\_\_\_\_  
Phone: \_\_\_\_\_

**ELECTRICAL** TBD (Third Party Electrical Inspection Required)  
Name & Address: \_\_\_\_\_  
Phone: \_\_\_\_\_

**FOR OFFICE USE ONLY**

Zoning District: \_\_\_\_\_ Flood Zone: \_\_\_\_\_ Corner Lot: \_\_\_\_\_ Historic District/Landmark: \_\_\_\_\_

Zoning Review: \_\_\_\_\_ Variance Required: \_\_\_\_\_ Site Plan Review: \_\_\_\_\_ Other: \_\_\_\_\_

National Grid Sign Off (Pools): \_\_\_\_\_ Lot Size: \_\_\_\_\_

## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

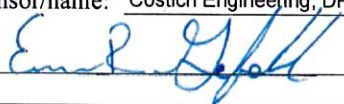
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

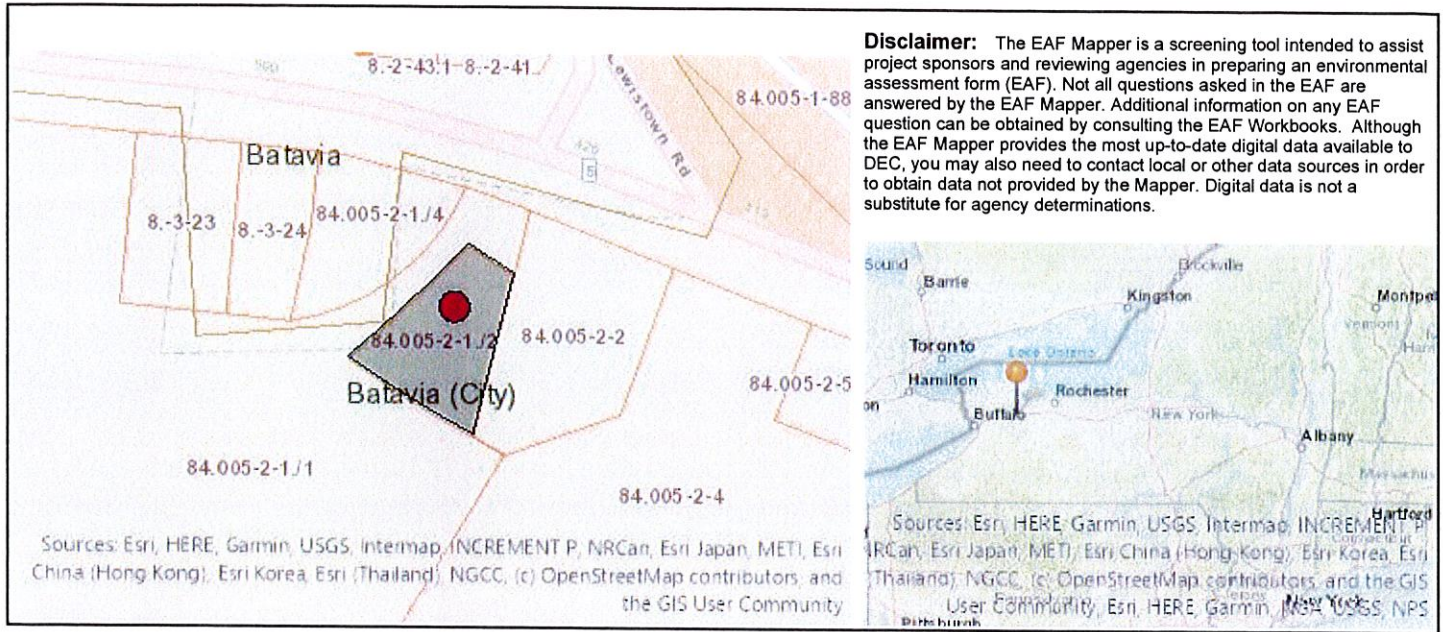
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| <b>Part 1 – Project and Sponsor Information</b>                                                                                                                                                                                                                                                                                                      |  |                                                        |                                            |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------|--------------------------------------------|
| Name of Action or Project:<br>Take 5 Oil Change                                                                                                                                                                                                                                                                                                      |  |                                                        |                                            |
| Project Location (describe, and attach a location map):<br>425 A West Main Street, City of Batavia, Genesee County                                                                                                                                                                                                                                   |  |                                                        |                                            |
| Brief Description of Proposed Action:<br>Development of a new 1,324 sqft building + site improvements to provide motor vehicle service.                                                                                                                                                                                                              |  |                                                        |                                            |
| Name of Applicant or Sponsor:<br>AGENT FOR APPLICANT- Evan R. Gefell- Costich Engineering, DPC                                                                                                                                                                                                                                                       |  | Telephone: 585-458-3020<br>E-Mail: egefell@costich.com |                                            |
| Address:<br>217 Lake Avenue                                                                                                                                                                                                                                                                                                                          |  |                                                        |                                            |
| City/PO:<br>Rochester                                                                                                                                                                                                                                                                                                                                |  | State:<br>NY                                           | Zip Code:<br>14608                         |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?<br>If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. |  |                                                        | NO<br><input type="checkbox"/>             |
|                                                                                                                                                                                                                                                                                                                                                      |  |                                                        | YES<br><input type="checkbox"/>            |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency?<br>If Yes, list agency(s) name and permit or approval: City of Batavia City Council-Special Use Permit<br>City of Batavia ZBA, City Planning Review                                                                                              |  |                                                        | NO<br><input type="checkbox"/>             |
|                                                                                                                                                                                                                                                                                                                                                      |  |                                                        | YES<br><input checked="" type="checkbox"/> |
| 3. a. Total acreage of the site of the proposed action? _____ 0.39+/- acres                                                                                                                                                                                                                                                                          |  |                                                        |                                            |
| b. Total acreage to be physically disturbed? _____ 0.39+/- acres                                                                                                                                                                                                                                                                                     |  |                                                        |                                            |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.39+/- acres                                                                                                                                                                                                           |  |                                                        |                                            |
| 4. Check all land uses that occur on, are adjoining or near the proposed action:                                                                                                                                                                                                                                                                     |  |                                                        |                                            |
| 5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)                                                                                                                                |  |                                                        |                                            |
| <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):                                                                                                                                                                                                       |  |                                                        |                                            |
| <input type="checkbox"/> Parkland                                                                                                                                                                                                                                                                                                                    |  |                                                        |                                            |



| 5. Is the proposed action,                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | NO                                                                                                           | YES                                                                                                | N/A                                 |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------|-------------------------------------|
| a. A permitted use under the zoning regulations?                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | <input type="checkbox"/>                                                                                     | <input checked="" type="checkbox"/>                                                                | <input type="checkbox"/>            |
| b. Consistent with the adopted comprehensive plan?                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | <input type="checkbox"/>                                                                                     | <input type="checkbox"/>                                                                           | <input checked="" type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | NO<br><input type="checkbox"/>                                                                               | YES<br><input checked="" type="checkbox"/>                                                         |                                     |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?<br>If Yes, identify: _____                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | NO<br><input checked="" type="checkbox"/>                                                                    | YES<br><input type="checkbox"/>                                                                    |                                     |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels?<br>b. Are public transportation services available at or near the site of the proposed action?<br>c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?                                                                                                                                                                                                                                                                                                 | NO<br><input checked="" type="checkbox"/><br><input checked="" type="checkbox"/><br><input type="checkbox"/> | YES<br><input type="checkbox"/><br><input type="checkbox"/><br><input checked="" type="checkbox"/> |                                     |
| 9. Does the proposed action meet or exceed the state energy code requirements?<br>If the proposed action will exceed requirements, describe design features and technologies:<br>_____<br>_____                                                                                                                                                                                                                                                                                                                                                                                                                 | NO<br><input type="checkbox"/>                                                                               | YES<br><input checked="" type="checkbox"/>                                                         |                                     |
| 10. Will the proposed action connect to an existing public/private water supply?<br>If No, describe method for providing potable water: _____<br>_____                                                                                                                                                                                                                                                                                                                                                                                                                                                          | NO<br><input type="checkbox"/>                                                                               | YES<br><input checked="" type="checkbox"/>                                                         |                                     |
| 11. Will the proposed action connect to existing wastewater utilities?<br>If No, describe method for providing wastewater treatment: _____<br>_____                                                                                                                                                                                                                                                                                                                                                                                                                                                             | NO<br><input type="checkbox"/>                                                                               | YES<br><input checked="" type="checkbox"/>                                                         |                                     |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?<br><br>b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | NO<br><input checked="" type="checkbox"/><br><input type="checkbox"/>                                        | YES<br><input type="checkbox"/><br><input checked="" type="checkbox"/>                             |                                     |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?<br>b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?<br>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____<br>_____<br>_____                                                                                                                                                                                         | NO<br><input type="checkbox"/><br><input checked="" type="checkbox"/>                                        | YES<br><input checked="" type="checkbox"/><br><input type="checkbox"/>                             |                                     |

|                                                                                                                                                                                                                                                                                                                                                                                                                   |                                     |                                     |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:<br><input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional<br><input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban |                                     |                                     |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?                                                                                                                                                                                                                                            | NO                                  | YES                                 |
|                                                                                                                                                                                                                                                                                                                                                                                                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 16. Is the project site located in the 100-year flood plan?                                                                                                                                                                                                                                                                                                                                                       | NO                                  | YES                                 |
|                                                                                                                                                                                                                                                                                                                                                                                                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources?<br>If Yes,<br>a. Will storm water discharges flow to adjacent properties?<br>b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?<br>If Yes, briefly describe:<br>_____<br>_____                                                                            | NO                                  | YES                                 |
|                                                                                                                                                                                                                                                                                                                                                                                                                   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
|                                                                                                                                                                                                                                                                                                                                                                                                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
|                                                                                                                                                                                                                                                                                                                                                                                                                   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?<br>If Yes, explain the purpose and size of the impoundment:<br>_____<br>_____                                                                                                                                                     | NO                                  | YES                                 |
|                                                                                                                                                                                                                                                                                                                                                                                                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?<br>If Yes, describe: _____<br>_____                                                                                                                                                                                                                                    | NO                                  | YES                                 |
|                                                                                                                                                                                                                                                                                                                                                                                                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?<br>If Yes, describe: _____<br>_____                                                                                                                                                                                                                                  | NO                                  | YES                                 |
|                                                                                                                                                                                                                                                                                                                                                                                                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| <b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b><br><br>Applicant/sponsor/name: <u>Costich Engineering, DPC-AGENT FOR APPLICANT</u> Date: <u>6/29/2023</u><br>Signature: <u></u> Evan R. Gefell   Title: <u>Principal-Costich Engineering, DPC</u>                        |                                     |                                     |



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

|                                                                                               |                                                                                                                                   |
|-----------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|
| Part 1 / Question 7 [Critical Environmental Area]                                             | No                                                                                                                                |
| Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] | No                                                                                                                                |
| Part 1 / Question 12b [Archeological Sites]                                                   | Yes                                                                                                                               |
| Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]                               | Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook. |
| Part 1 / Question 15 [Threatened or Endangered Animal]                                        | No                                                                                                                                |
| Part 1 / Question 16 [100 Year Flood Plain]                                                   | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.                                                  |
| Part 1 / Question 20 [Remediation Site]                                                       | No                                                                                                                                |

Project:

Date:

*Short Environmental Assessment Form*  
*Part 2 - Impact Assessment*

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

|                                                                                                                                                                            | No, or small impact may occur | Moderate to large impact may occur |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|------------------------------------|
| 1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?                                                                | <input type="checkbox"/>      | <input type="checkbox"/>           |
| 2. Will the proposed action result in a change in the use or intensity of use of land?                                                                                     | <input type="checkbox"/>      | <input type="checkbox"/>           |
| 3. Will the proposed action impair the character or quality of the existing community?                                                                                     | <input type="checkbox"/>      | <input type="checkbox"/>           |
| 4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?                      | <input type="checkbox"/>      | <input type="checkbox"/>           |
| 5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?            | <input type="checkbox"/>      | <input type="checkbox"/>           |
| 6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities? | <input type="checkbox"/>      | <input type="checkbox"/>           |
| 7. Will the proposed action impact existing:                                                                                                                               |                               |                                    |
| a. public / private water supplies?                                                                                                                                        | <input type="checkbox"/>      | <input type="checkbox"/>           |
| b. public / private wastewater treatment utilities?                                                                                                                        | <input type="checkbox"/>      | <input type="checkbox"/>           |
| 8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?                                   | <input type="checkbox"/>      | <input type="checkbox"/>           |
| 9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?                     | <input type="checkbox"/>      | <input type="checkbox"/>           |
| 10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?                                                            | <input type="checkbox"/>      | <input type="checkbox"/>           |
| 11. Will the proposed action create a hazard to environmental resources or human health?                                                                                   | <input type="checkbox"/>      | <input type="checkbox"/>           |

**PRINT FORM**

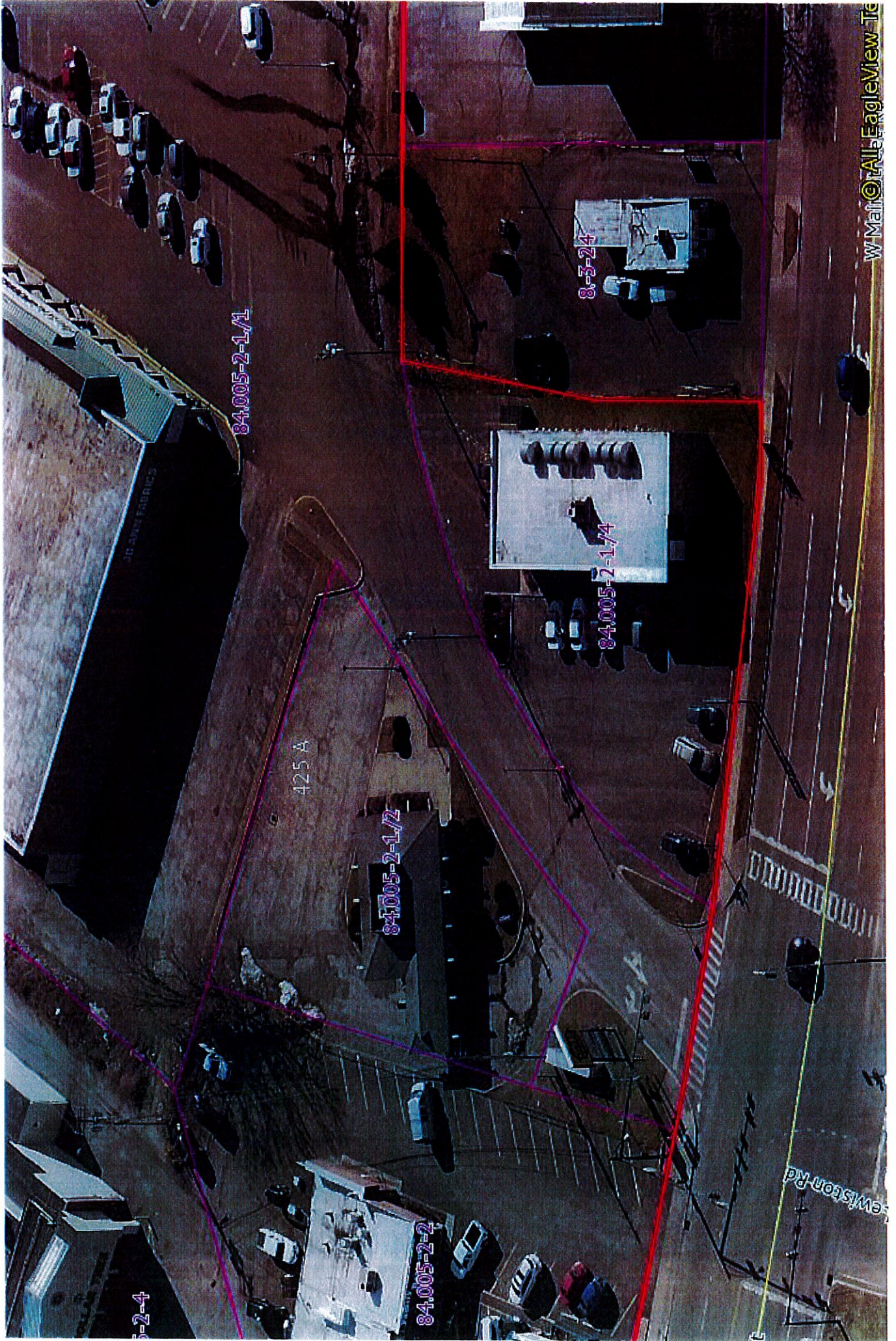
Project: \_\_\_\_\_  
 Date: \_\_\_\_\_

***Short Environmental Assessment Form  
 Part 3 Determination of Significance***

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

|                                                                                                                                                                                                                                                                                                       |                                                               |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------|
| <input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required. |                                                               |
| <input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.                                                             |                                                               |
| Name of Lead Agency                                                                                                                                                                                                                                                                                   | Date                                                          |
| Print or Type Name of Responsible Officer in Lead Agency                                                                                                                                                                                                                                              | Title of Responsible Officer                                  |
| Signature of Responsible Officer in Lead Agency                                                                                                                                                                                                                                                       | Signature of Preparer (if different from Responsible Officer) |

**PRINT FORM**



8-2-4

84,005-2-1/1

425 A

84,005-2-1/2

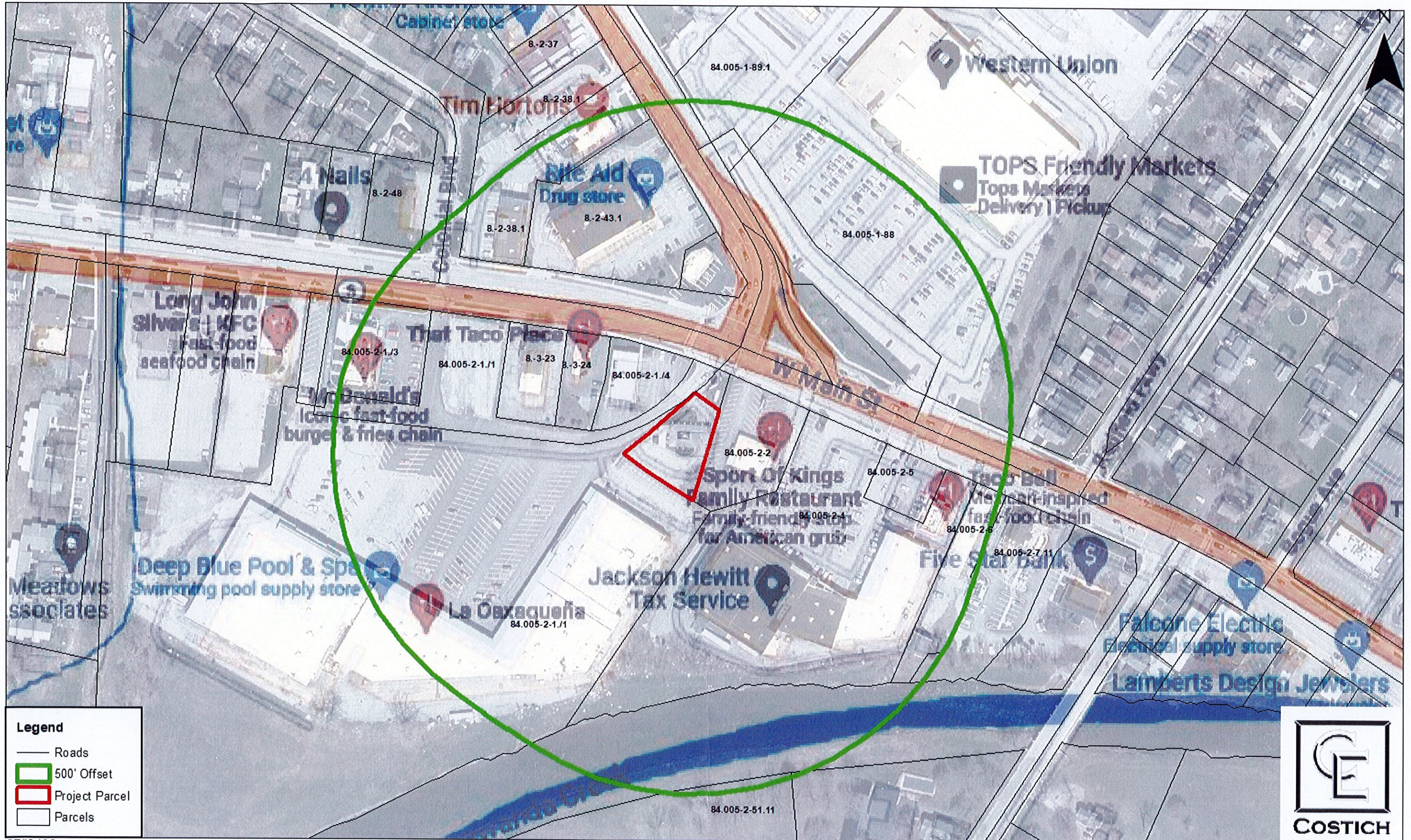
84,005-2-2

8-3-24

84,005-2-1/4

Lewisson Rd

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**Legend**

- Roads
- 500' Offset
- Project Parcel
- Parcels

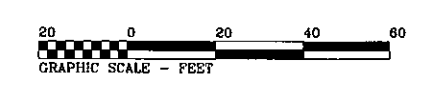
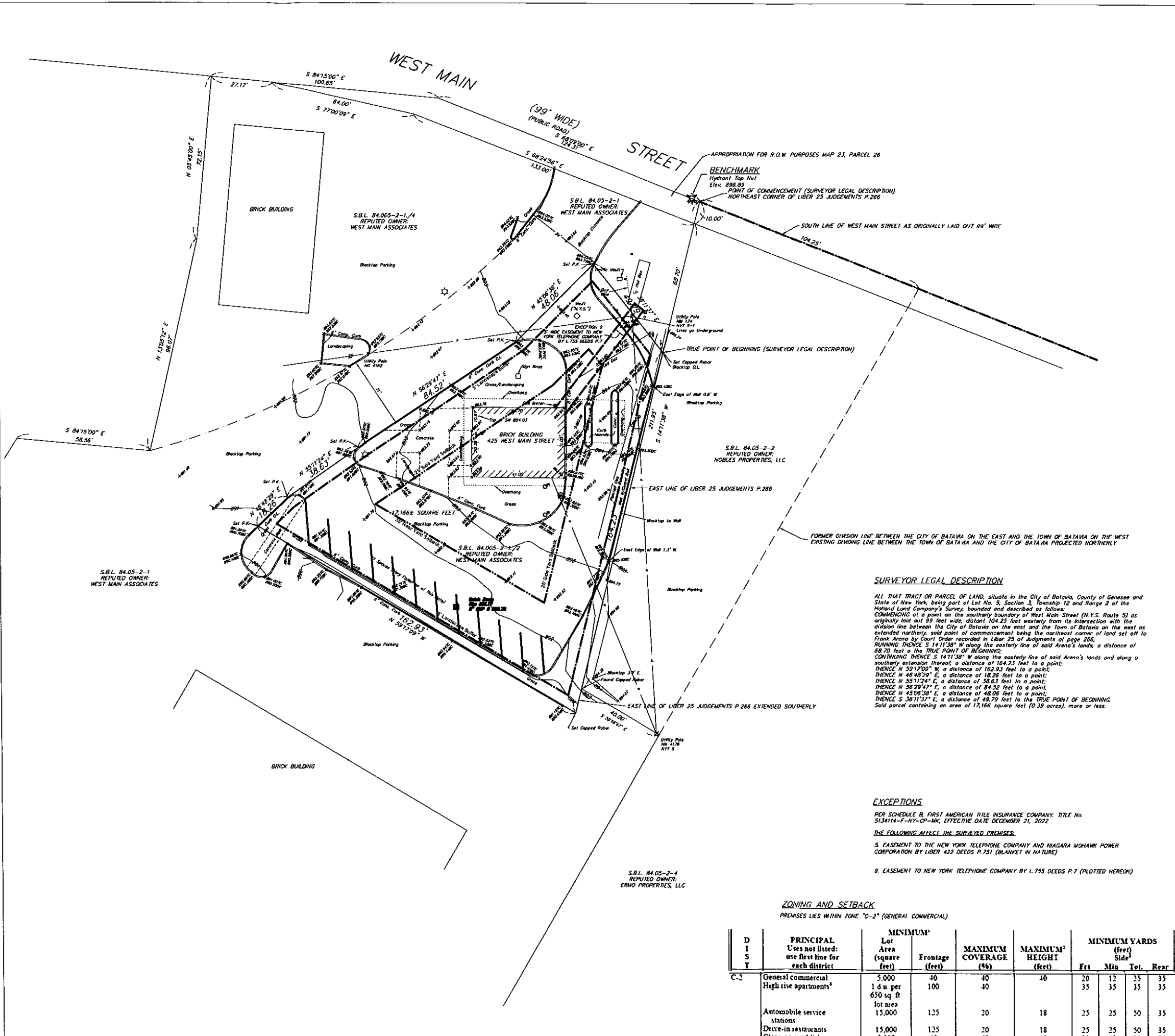


CE#9 106  
6/29/2023

0 150 300  
Feet

**TAKE 5 BATAVIA**  
**425A WEST MAIN STREET, CITY OF BATAVIA**  
**500' OFFSET RESTAURANT EXHIBIT**

DISCLAIMER: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



- LEGEND**
- ⊗ UTILITY / SERVICE POLE
  - ⊕ WATER LINE VALVE
  - ⊗ FIRE HYDRANT
  - ⊖ D.I. (DROP INLET - STORM)
  - ⊙ MANHOLE (STORM)
  - ⊙ MANHOLE (ELECTRIC)
  - ⊙ MANHOLE (TRAFFIC)
  - ⊙ MANHOLE (SANITARY)
  - ⊙ MANHOLE (TELEPHONE)
  - ⊙ GASLINE MARKER
  - ⊙ GAS LINE VALVE
  - ⊙ LIGHT STANDARD
  - ⊙ SIGN
  - H.C. HANDICAP
  - ⊙ CLEANOUT
  - ⊙ GAS METER
  - ⊙ ELECTRIC METER
  - ⊙ BOLLARD
- R.O.W. RIGHT OF WAY
  - CONC. CONCRETE
  - INV. INVERT
  - M.H. MANHOLE
  - GAS LINE
  - WATER LINE
  - TELEPHONE LINE
  - ELECTRIC LINE
  - UTILITY LINES
  - CABLE LINES
  - D. DEED
  - M. MEASURED
  - L. LIBER
  - P. PAGE

**NOTES:**

FOR OVERALL BOUNDARY SURVEY, SEE JOB No. 26944\_Outbounds, PERFORMED BY TRUE NORTH SURVEYING, PLLC DATED MARCH 10, 2023.

SURVEYED PREMISES LIES WITH FLOOD ZONE "C" (AREAS OF MINIMAL FLOODING). SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 360279 0001 B, EFFECTIVE DATE SEPTEMBER 16, 1982.

THERE EXISTS A TOTAL OF 11 PARKING SPACES (11 REGULAR, 0 HANDICAP)

AS OF THE DATE OF THIS SURVEY THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

AS OF THE DATE OF THIS SURVEY THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES.

AS OF THE DATE OF THIS SURVEY THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

AS OF THE DATE OF THIS SURVEY THERE WAS NO OBSERVED EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THE PREMISES.

SURVEYED PREMISES HAS INDIRECT ACCESS TO WEST MAIN STREET, A DEDICATED PUBLIC RIGHT-OF-WAY, THROUGH PREMISES TO THE NORTHWEST.

**SURVEYOR LEGAL DESCRIPTION**

ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Batavia, County of Genesee and State of New York, being part of Lot No. 5, Section 3, Township 12 and Range 2 of the Holland Land Company's Survey, bounded and described as follows: COMMENCING at a point on the southerly boundary of West Main Street (N.Y.S. Route 5) as originally laid out 99 feet wide, distant 104.25 feet westerly from its intersection with the division line between the City of Batavia on the east and the Town of Batavia on the west as extended northerly, said point of commencement being the northeast corner of land set off to Frank Arena by Court Order recorded in Liber 25 of Judgments at page 208; RUNNING THENCE S 14°11'38" W along the easterly line of said Arena's lands, a distance of 68.70 feet to the TRUE POINT OF BEGINNING; CONTINUING THENCE S 14°11'38" W along the easterly line of said Arena's lands and along a southerly extension thereof, a distance of 164.23 feet to a point; THENCE N 53°17'09" W, a distance of 152.93 feet to a point; THENCE N 48°48'29" E, a distance of 18.26 feet to a point; THENCE N 55°11'24" E, a distance of 38.63 feet to a point; THENCE N 56°29'47" E, a distance of 84.52 feet to a point; THENCE N 45°08'38" E, a distance of 48.05 feet to a point; THENCE S 36°11'37" E, a distance of 48.79 feet to the TRUE POINT OF BEGINNING. Said parcel containing an area of 17,166 square feet (0.39 acres), more or less.

**EXCEPTIONS**

PER SCHEDULE B, FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE No. 5134114-F-NY-CP-MK, EFFECTIVE DATE DECEMBER 21, 2022

THE FOLLOWING AFFECT THE SURVEYED PREMISES:

5. EASEMENT TO THE NEW YORK TELEPHONE COMPANY AND NIAGARA MOHAWK POWER CORPORATION BY LIBER 422 DEEDS P.751 (BLANKET IN NATURE)

9. EASEMENT TO NEW YORK TELEPHONE COMPANY BY L.755 DEEDS P.7 (PLOTTED HEREON)

**SURVEYOR'S CERTIFICATION**

To [to be determined] this is to certify that this map or plot and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1,2,3,4,5,6(a),6(b),7(a),8,9,11(c),13,14,16,17 & 18 of Table A thereof. The field work was completed on 12-16-22.

Date of Plot or Map: 4-3-23

**PRELIMINARY**

Christopher J. Barr Registration No. 051068

**ZONING AND SETBACK**  
PREMISES LIES WITHIN ZONE "C-2" (GENERAL COMMERCIAL)

| DISTRICT | PRINCIPAL Uses not listed: use first line for each district | MINIMUM <sup>1</sup>           |                 | MAXIMUM COVERAGE (%) | MAXIMUM <sup>1</sup> HEIGHT (feet) | MINIMUM YARDS (feet) |      |      |      |
|----------|-------------------------------------------------------------|--------------------------------|-----------------|----------------------|------------------------------------|----------------------|------|------|------|
|          |                                                             | Lot Area (square feet)         | Frontage (feet) |                      |                                    | Front                | Side | Back | Rear |
| C-2      | General commercial                                          | 5,000                          | 40              | 40                   | 40                                 | 20                   | 12   | 35   | 35   |
|          | High rise apartments <sup>4</sup>                           | 1 d.u. per 650 sq. ft lot area | 100             | 40                   | 40                                 | 35                   | 35   | 35   | 35   |
| C-2      | Automobile service stations                                 | 15,000                         | 125             | 20                   | 18                                 | 25                   | 25   | 50   | 35   |
|          | Drive-in restaurants                                        | 15,000                         | 125             | 20                   | 18                                 | 25                   | 25   | 50   | 35   |
|          | Cleaning establishments                                     | 5,000                          | 40              | 40                   | 40                                 | 20                   | 12   | 25   | 35   |

INSTRUMENTS UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: PL 1332 0409 P.790  
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.  
NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY. NOTE: THIS SURVEY WAS PERFORMED UNDER SEVERE SNOW AND ICE CONDITIONS.

COPYRIGHT 2023 BY:  
**TRUE NORTH LAND SURVEYING, PLLC**  
150 AERO DRIVE  
BUFFALO, NEW YORK 14225  
(716)831-5140 ~ Truenorthpllc@aol.com

AMEND:  
SURVEY DATE: 12-16-22  
DRAWING DATE: 4-3-23  
SCALE: 1" = 20'  
"ALL RIGHTS RESERVED"

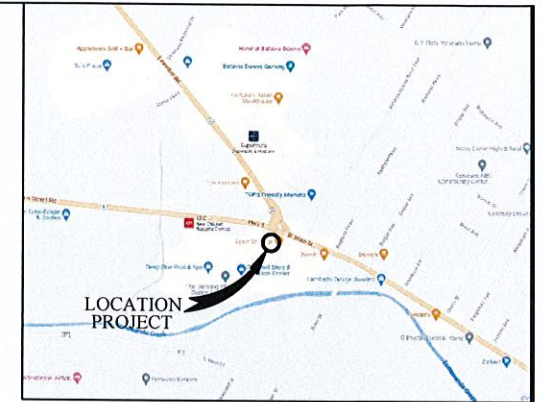
THIS MAP WAS UNLAWFULLY REPRODUCED WITHOUT THE WRITTEN CONSENT OF TRUE NORTH LAND SURVEYING, PLLC. ANY REPRODUCTION OF THIS MAP IS A VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 7000, PART 16 OF THE NEW YORK STATE EDUCATION LAW.

ALTA/NSPS LAND TITLE SURVEY  
PART OF LOT 5 SECTION 3 TOWNSHIP 12 RANGE 2 OF THE  
Holland Land Company's SURVEY - Genesee COUNTY, N.Y.  
SURVEY OF: 425 West Main Street, City of Batavia  
SBL No. 84.05-2-1/2



# TAKE 5 OIL CHANGE SITE DEVELOPMENT PLANS

**CITY OF BATAVIA  
COUNTY OF GENESEE  
STATE OF NEW YORK**



**LOCATION SKETCH**  
NOT TO SCALE

## MATERIALS MANAGEMENT PLAN

## MATERIALS MANAGEMENT PLAN (CONT.)

### PROJECT NAME AND LOCATION

TAKE 5 OIL CHANGE  
425 WEST MAIN STREET  
BATAVIA, NEW YORK 14020

### OPERATOR'S NAME AND ADDRESS

PS NY, LLC, A NEW YORK LIMITED  
LIABILITY COMPANY  
3030 N. ROCKY POINT DRIVE, SUITE 262  
TAMPA, FLORIDA 33607

### EROSION AND SEDIMENT CONTROLS

#### STABILIZATION PRACTICES (PERMANENT)

PERMANENT STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- PERMANENT SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.

#### STABILIZATION PRACTICES (TEMPORARY)

TEMPORARY STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- TEMPORARY SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.
- MULCHING EXPOSED AREAS.
- SOIL ROUGHENING.
- FREQUENT WATERING TO MINIMIZE WIND EROSION DURING CONSTRUCTION.

#### STRUCTURAL PRACTICES (PERMANENT)

PERMANENT STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- PAVEMENT

#### STRUCTURAL PRACTICES (TEMPORARY)

STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- INLET PROTECTION
- PERIMETER PROTECTION USING SILTATION FENCING
- STABILIZED CONSTRUCTION EXIT POINTS

### OTHER CONTROLS

#### OFF-SITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION EXIT WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS ADJACENT TO THE SITE ENTRANCE WILL BE INSPECTED DAILY AND SWEEP AS NECESSARY TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/AULIN. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

#### DUST CONTROL

MINIMIZING WIND EROSION AND CONTROLLING DUST WILL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

- COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
- ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHOULD BE ABOUT SIX (6) INCHES IN HEIGHT.
- FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
- PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

#### MATERIALS COVERED

THE FOLLOWING MATERIALS OR SUBSTANCES ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

|                               |                          |
|-------------------------------|--------------------------|
| CONCRETE/ADDITIONS/WASTES     | CLEANING SOLVENTS        |
| DETERGENTS                    | PETROLEUM BASED PRODUCTS |
| PAINTS/SOLVENTS               | PESTICIDES               |
| ACIDS                         | FERTILIZERS              |
| SOLID AND CONSTRUCTION WASTES | SANITARY WASTES          |
| SOIL STABILIZATION ADDITIVES  |                          |

#### MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR ENSURING THAT THESE PROCEDURES ARE FOLLOWED.

- GOOD HOUSEKEEPING**  
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.
  - AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.
  - ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER AND, IF POSSIBLE, UNDER A ROOF OR IN A CONTAINMENT AREA. AT A MINIMUM, ALL CONTAINERS WILL BE STORED WITH THEIR LIDS ON WHEN NOT IN USE. DRIP PANS SHALL BE PROVIDED UNDER ALL DISPENSERS.
  - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL IN LEGIBLE CONDITION.
  - SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
  - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
  - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
  - THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
- HAZARDOUS PRODUCTS**  
THESE PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE SWPPP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.
  - PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS WITH THE ORIGINAL LABELS IN LEGIBLE CONDITION.
  - ORIGINAL LABELS AND MATERIAL SAFETY DATA SHEETS (MSDS'S) WILL BE PROCURED AND USED FOR EACH MATERIAL.
  - IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL/STATE/FEDERAL RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.
- HAZARDOUS WASTE**  
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.
- PRODUCT SPECIFIC PRACTICES**  
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON THE JOB SITE.
  - PETROLEUM PRODUCTS:**  
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY PETROLEUM STORAGE TANKS USED ONSITE WILL HAVE AN IMPERVIOUS DIKE OR BERM CONTAINMENT STRUCTURE CONSTRUCTED AROUND IT TO CONTAIN ANY SPILLS WHICH MAY OCCUR. DRIP PANS SHALL BE PROVIDED FOR ALL DISPENSERS. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE LOCATION OF ANY FUEL TANKS AND/OR EQUIPMENT STORAGE AREAS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
  - FERTILIZERS:**  
FERTILIZERS WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED IN THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
  - PAINTS, PAINT SOLVENTS, AND CLEANING SOLVENTS:**  
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT AND SOLVENTS WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND FEDERAL REGULATIONS.
  - CONCRETE WASTES:**  
CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE. BUT ONLY IN EITHER (1) SPECIFICALLY DESIGNATED DIKED AREAS WHICH HAVE BEEN PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH OUT AND STORM WATER WHICH WILL BE DISCHARGED FROM THE SITE OR (2) IN LOCATIONS WHERE WASTE CONCRETE CAN BE Poured INTO FORMS TO MAKE RIPRAP OR OTHER USEFUL CONCRETE PRODUCTS. THE HARDENED RESIDUE FROM THE CONCRETE WASH OUT DIKED AREAS WILL BE DISPOSED OF IN THE SAME MANNER AS OTHER NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS OR MAY BE BROKEN UP AND USED ON SITE AS DEEMED APPROPRIATE BY THE CONTRACTOR. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. THE PROJECT MAY REQUIRE THE USE OF MULTIPLE CONCRETE WASH OUT AREAS. ALL CONCRETE WASH OUT AREAS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE AREA CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMPs MUST BE IMPLEMENTED TO PREVENT CONCRETE WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF CONCRETE WASH OUT AREA(S) MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

- SOLID AND CONSTRUCTION WASTES:**  
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN AN APPROPRIATELY COVERED CONTAINER AND/OR SECURELY LIDDED METAL DUMPSTER RENTED FROM A LOCAL WASTE MANAGEMENT COMPANY WHICH MUST BE A SOLID WASTE MANAGEMENT COMPANY LICENSED TO DO BUSINESS IN NEW YORK STATE AND THE (LOCAL ENTITY). THE DUMPSTER WILL COMPLY WITH ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED TO A LANDFILL APPROVED BY NEW YORK STATE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURES FOR WASTE DISPOSAL. ALL WASTE DUMPSTERS AND ROLL-OFF CONTAINERS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE CONTAINERS CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMPs MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF WASTE DUMPSTERS AND ROLL-OFF CONTAINERS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
- SANITARY WASTES:**  
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLIGIBLE. IF REQUIRED, ADDITIONAL BMPs MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
- CONTAMINATED SOILS:**  
ANY CONTAMINATED SOILS (RESULTING FROM SPILLS OF MATERIALS WITH HAZARDOUS PROPERTIES) WHICH MAY RESULT FROM CONSTRUCTION ACTIVITIES WILL BE CONTAINED AND CLEANED UP IMMEDIATELY IN ACCORDANCE WITH THE PROCEDURES GIVEN IN THE MATERIALS MANAGEMENT PLAN AND IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS.

#### SPILL PREVENTION AND RESPONSE PROCEDURES

THE CONTRACTOR WILL TRAIN ALL PERSONNEL IN THE PROPER HANDLING AND CLEANUP OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN SPILL PREVENTION AND CLEAN UP PROCEDURES.

- IN ORDER TO MINIMIZE THE POTENTIAL FOR A SPILL OF HAZARDOUS MATERIALS TO COME INTO CONTACT WITH STORM WATER, THE FOLLOWING STEPS WILL BE IMPLEMENTED:
  - ALL MATERIALS WITH HAZARDOUS PROPERTIES (SUCH AS PESTICIDES, PETROLEUM PRODUCTS, FERTILIZERS, DETERGENTS, CONSTRUCTION CHEMICALS, ACIDS, PAINTS, PAINT SOLVENTS, CLEANING SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CONCRETE CURING COMPOUNDS AND ADDITIVES, ETC.) WILL BE STORED IN A SECURE LOCATION, WITH THEIR LIDS ON, PREFERABLY UNDER COVER, WHEN NOT IN USE.
  - THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS WILL BE KEPT ON THE JOB SITE.
  - A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING, FOR EXAMPLE, ABSORBENT MATERIALS, ACID NEUTRALIZING POWDER, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) WILL BE PROVIDED AT THE STORAGE SITE.
  - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE TRAINED REGARDING THESE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- IN THE EVENT OF A SPILL, THE FOLLOWING PROCEDURES SHOULD BE FOLLOWED:
  - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
  - THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH THE HAZARDOUS SUBSTANCES.
  - THE PROJECT MANAGER AND THE ENGINEER OF RECORD WILL BE NOTIFIED IMMEDIATELY SPILLS OF TOXIC OR HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE FEDERAL, STATE, AND/OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL. CONTACT INFO TRACK AT 1-888-424-4241 (1-888-424-2411) TO DETERMINE WHETHER THE SPILL IS REPORTABLE. INFO TRACK HAS BEEN CONTRACTED BY TO PROVIDE THIS SERVICE TO FACILITIES, INCLUDING NEW CONSTRUCTION. YOU MUST STATE THAT YOU ARE WORKING ON A NEW CONSTRUCTION SITE. IF THE SPILL IS DETERMINED TO BE REPORTABLE INFO TRACK WILL NOTIFY THE EPA IMMEDIATELY. SPILLS OF AMOUNTS THAT EXCEED REPORTABLE QUANTITIES OF CERTAIN SUBSTANCES SPECIFICALLY MENTIONED IN FEDERAL REGULATIONS (40 CFR 110.40 CFR 117, AND 40 CFR 302) MUST BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER, TELEPHONE 1-800-424-8802.
  - IF THE SPILL EXCEEDS A REPORTABLE QUANTITY, THE SWPPP MUST BE MODIFIED WITHIN SEVEN (7) CALENDAR DAYS OF KNOWLEDGE OF THE DISCHARGE TO PROVIDE A DESCRIPTION OF THE RELEASE, THE CIRCUMSTANCES LEADING TO THE RELEASE, AND THE DATE OF THE RELEASE. THE PLANS MUST IDENTIFY MEASURES TO PREVENT THE RECURRENT OCCURRENCE OF SUCH RELEASES AND TO RESPOND TO SUCH RELEASES. FORM G-1 MUST BE COMPLETED IN ACCORDANCE WITH THIS REQUIREMENT.
- THE JOB SITE SUPERINTENDENT WILL BE THE SPILL PREVENTION AND RESPONSE COORDINATOR. HE WILL DESIGNATE THE INDIVIDUALS WHO WILL RECEIVE SPILL PREVENTION AND RESPONSE TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND RESPONSE. THE NAMES OF THESE PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

## GENERAL NOTES

- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREA OF THE SITE. CONSTRUCTION FOR DESCRIPTIVE AND SURVEY DATA PERTAINING TO THE MONUMENTS CALL THE MONROE COUNTY SURVEY OFFICE.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES. EXISTING UTILITIES (TO REMAIN) ENCOUNTERED IN TRENCH OR PAVEMENT EXCAVATIONS SHALL BE SUPPORTED AS ORDERED BY THE OWNER'S REPRESENTATIVE OR AS DIRECTED BY THE UTILITY COMPANY (THE COST FOR SUPPORTING UTILITIES SHALL BE INCLUDED IN THE PRICE BID FOR EXCAVATION).
- EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORD MAPS AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVISED DESIGN LOCATIONS OR TIME ALLOWED TO DO SAME WHICH RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES.
- ALL CONSTRUCTION WORK SHALL CONFORM TO TOWN OF HENRIETTA DESIGN AND CONSTRUCTION STANDARDS.
- A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWMG THE DIAGRAMS WILL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALVES AND ALL LATERAL CLEANOUTS. THE RECORD SITE PLAN WILL ALSO INCLUDE ALL THE IMPROVEMENTS, SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES WILL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES.
- AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLORS, TEXTURE AND FINISH OF THE BUILDINGS AS DEPICTED IN THE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION. ANY PROPOSED CHANGE IN COLOR, TEXTURE, OR FINISH OF THE BUILDING, FROM THAT APPROVED BY THE PLANNING BOARD, SHALL REQUIRE A RE-APPLICATION FOR REVIEW AND APPROVAL BY THE PLANNING BOARD.
- TOWN OF HENRIETTA PLANNING BOARD APPROVAL NO. 23-001 (2/21/23) & SPECIAL USE PERMIT 2023-004 (2/8/2023)

## INDEX OF DRAWINGS

| SHEET NO. | DRAWING TITLE                                       |
|-----------|-----------------------------------------------------|
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| CA100     | EXISTING FEATURES / DEMOLITION PLAN (SHEET 2 of 10) |
| CA110     | SITE PLAN (SHEET 3 of 10)                           |
| CA120     | UTILITY AND GRADING PLAN (SHEET 4 of 10)            |
| LA100     | LANDSCAPE PLAN (SHEET 5 of 10)                      |
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| CA501     | DETAIL SHEET (SHEET 8 of 10)                        |
| CA502     | DETAIL SHEET (SHEET 9 of 10)                        |
| CA503     | DETAIL SHEET (SHEET 10 of 10)                       |

**PREPARED FOR:**  
**QUATTRO DEVELOPMENT LLC**  
**110 JORIE BLVD SUITE 140**  
**OAKBROOK, ILLINOIS 60523**



• CIVIL  
ENGINEERING  
• LAND  
SURVEYING  
• LANDSCAPE  
ARCHITECTURE

217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

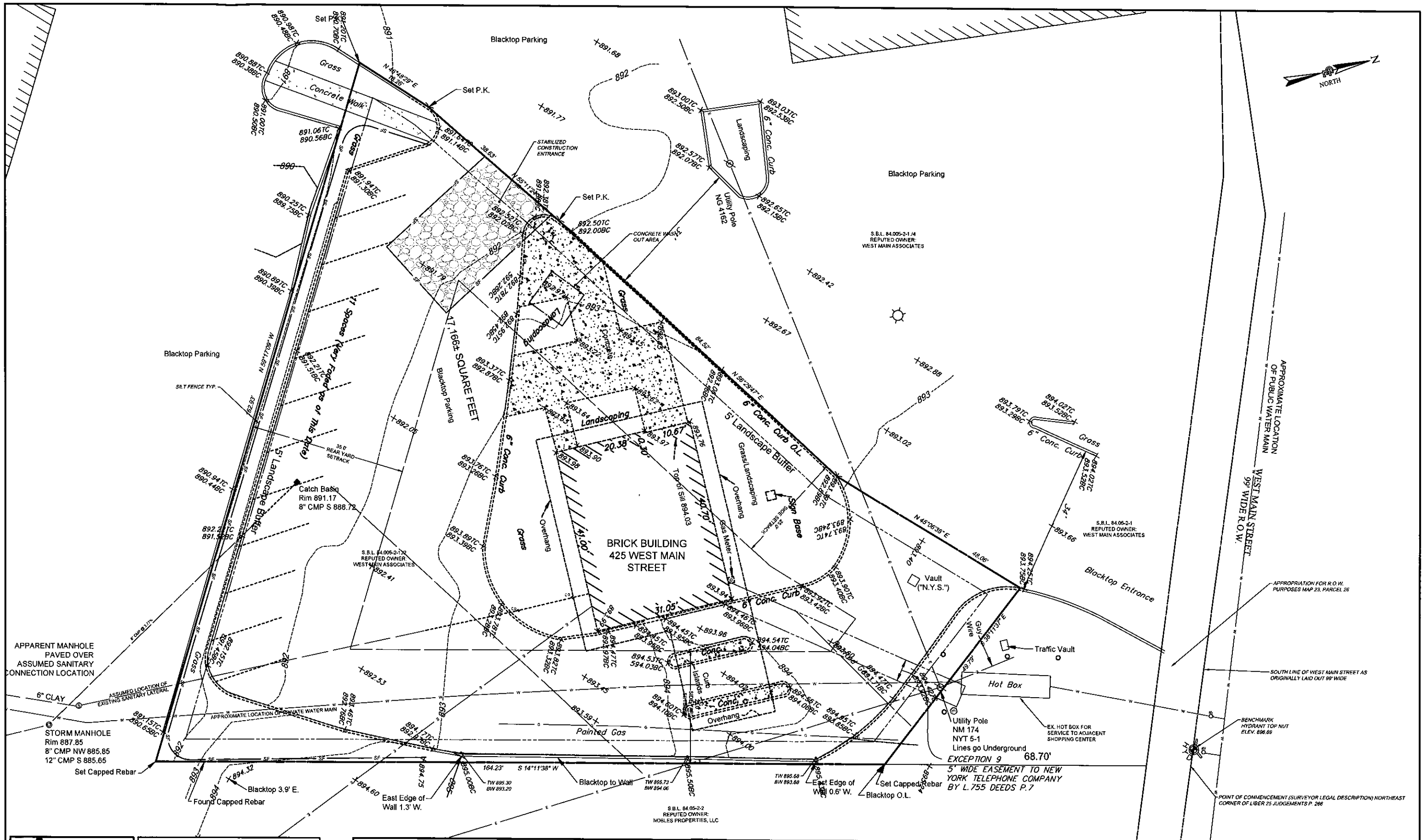
DATE: JUNE 29, 2023

PROJECT NO. 9106

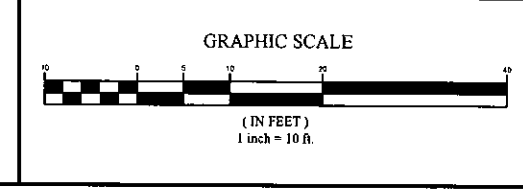
SHEET NO. GA001  
SHEET 01 of 12



**TAKE 5 OIL CHANGE  
SITE DEVELOPMENT PLANS**  
TOWN OF BATAVIA COUNTY OF GENESEE  
STATE OF NEW YORK



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



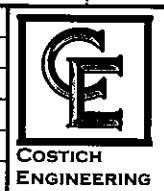
| NO. | DATE | REVISION | BY | CHKD. | APPR. |
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PROJECT MANAGER  
E.R.G.  
DRAWN BY  
W.T.A.  
BOUNDARY  
BY OTHERS  
TOPGRAPH  
BY OTHERS  
DATE  
06/30/2023  
SCALE  
1"=10'



- CIVIL ENGINEERING
  - LAND SURVEYING
  - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 459-9020

TITLE OF PROJECT  
**TAKE 5 OIL CHANGE**  
425 W. MAIN STREET, BATAVIA, NY

TITLE OF DRAWING  
**EXISTING CONDITIONS & DEMOLITION PLAN**

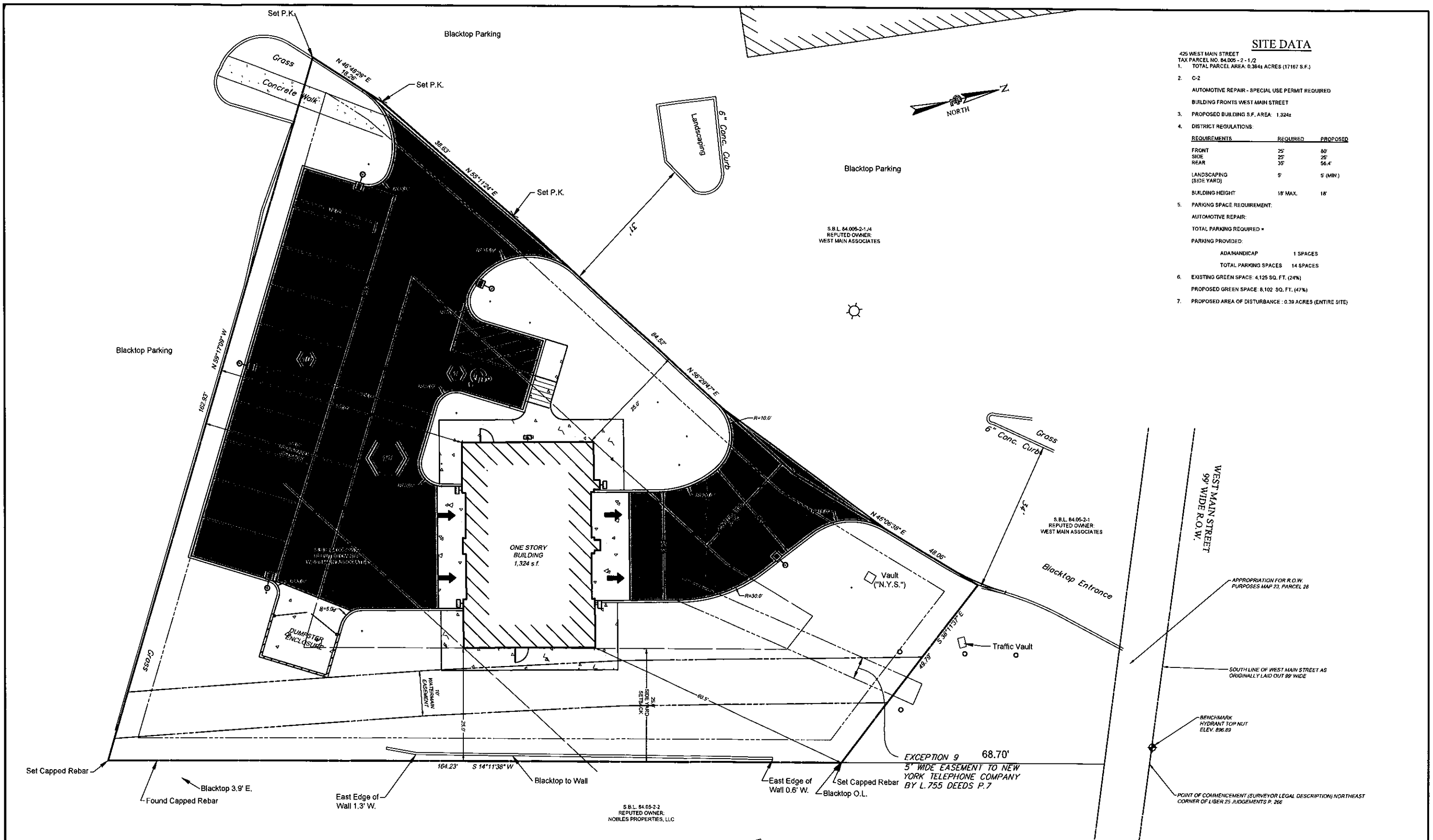
LOCATION OF PROJECT TAX PARCEL NO. 84-005-2-1-2  
TOWN LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3,  
COUNTY OF GENESEE, STATE OF NEW YORK

CLIENT  
QUATTRO DEVELOPMENT LLC  
110 JORIE BLVD SUITE 140  
OAKBROOK, ILLINOIS 60521

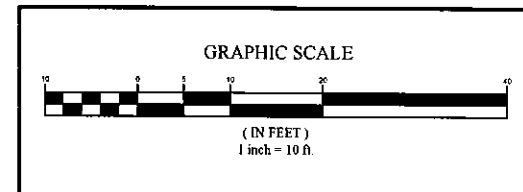
DWG. # 9106  
CA100  
SHEET 2 OF 10

**SITE DATA**

- 425 WEST MAIN STREET  
 TAX PARCEL NO. 84.005-2-1/2  
 1. TOTAL PARCEL AREA: 0.3944 ACRES (17167 S.F.)
2. C-2  
 AUTOMOTIVE REPAIR - SPECIAL USE PERMIT REQUIRED
- BUILDING FRONTS WEST MAIN STREET
3. PROPOSED BUILDING S.F. AREA: 1,324±
4. DISTRICT REGULATIONS:
- | REQUIREMENTS            | REQUIRED | PROPOSED  |
|-------------------------|----------|-----------|
| FRONT SIDE              | 25'      | 30'       |
| REAR SIDE               | 25'      | 25'       |
| REAR                    | 35'      | 56.4'     |
| LANDSCAPING (SIDE YARD) | 5'       | 5' (MIN.) |
| BUILDING HEIGHT         | 18' MAX. | 18'       |
5. PARKING SPACE REQUIREMENT:  
 AUTOMOTIVE REPAIR:  
 TOTAL PARKING REQUIRED =  
 PARKING PROVIDED:
- |                      |           |
|----------------------|-----------|
| ADA/HANDICAP         | 1 SPACES  |
| TOTAL PARKING SPACES | 14 SPACES |
6. EXISTING GREEN SPACE: 4,125 SQ. FT. (24%)  
 PROPOSED GREEN SPACE: 8,102 SQ. FT. (47%)
7. PROPOSED AREA OF DISTURBANCE: 0.39 ACRES (ENTIRE SITE)



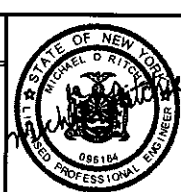
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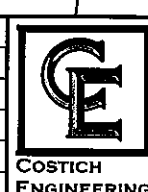
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PROJECT MANAGER  
 E.R.G.  
 DRAWN BY  
 W.T.A.  
 BOUNDARY BY OTHERS  
 TOPOGRAHY BY OTHERS  
 DATE  
 06/30/2023  
 SCALE  
 1"=10'



CIVIL ENGINEERING  
 LAND SURVEYING  
 LANDSCAPE ARCHITECTURE

217 LAKE AVENUE  
 ROCHESTER, NY 14608  
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|                     |                                                                                 |
|---------------------|---------------------------------------------------------------------------------|
| TITLE OF PROJECT    | TAKE 5 OIL CHANGE                                                               |
| LOCATION OF PROJECT | 425 W. MAIN STREET, BATAVIA, NY                                                 |
| TITLE OF DRAWING    | SITE PLAN                                                                       |
| LOCATION OF PROJECT | TAX PARCEL NO. 84.005-2-1.2                                                     |
| TOWN/LOT            | TOWNSHIP 12, RANGE 2, SECTION 3                                                 |
| COUNTY              | COUNTY OF GENESEE, STATE OF NEW YORK                                            |
| CLIENT              | Q'ATTRO DEVELOPMENT LLC<br>116 JORIE BLVD SUITE 140<br>OAKBROOK, ILLINOIS 60521 |
| DWG. #              | 9106                                                                            |
| SHEET               | CA110 SHEET 3 OF 10                                                             |



**LEGEND**

AREAS TO RECEIVE 6" OF TOPSOIL AND TO BE SEEDED WITH SPECIFIED LAWN MIX

Blacktop Parking



**PLANT SCHEDULE**

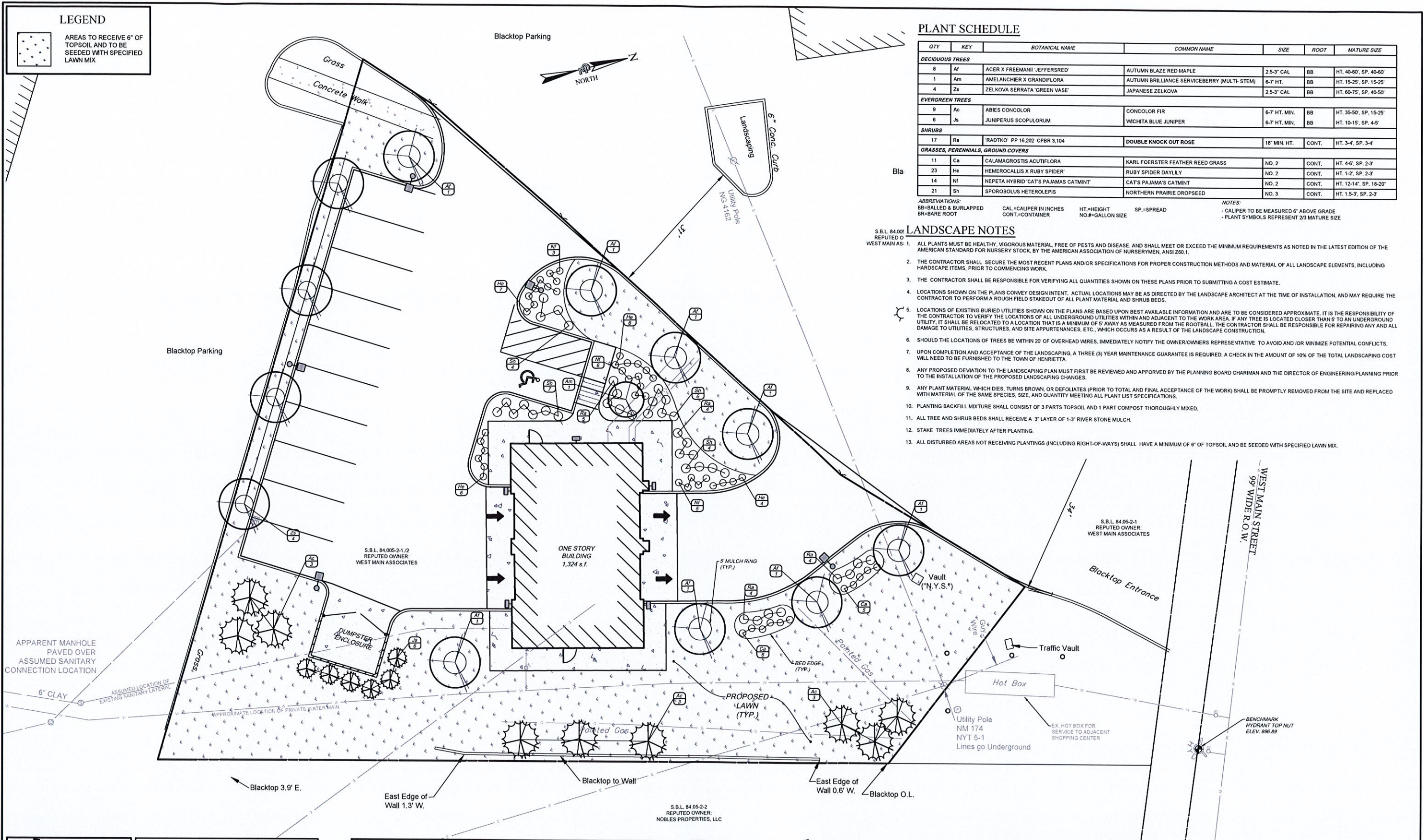
| QTY                                       | KEY | BOTANICAL NAME                        | COMMON NAME                                 | SIZE         | ROOT  | MATURE SIZE            |
|-------------------------------------------|-----|---------------------------------------|---------------------------------------------|--------------|-------|------------------------|
| <b>DECIDUOUS TREES</b>                    |     |                                       |                                             |              |       |                        |
| 8                                         | At  | ACER X FREEMANII 'JEFFERSRED'         | AUTUMN BLAZE RED MAPLE                      | 2.5-3" CAL   | BB    | HT. 40-50', SP. 40-60' |
| 1                                         | Am  | AMELANCHIER X GRANDIFLORA             | AUTUMN BRILLIANCE SERVICEBERRY (MULTI-STEM) | 6-7 HT.      | BB    | HT. 15-25', SP. 15-25' |
| 4                                         | Zs  | ZELKOVA SERRATA 'GREEN VASE'          | JAPANESE ZELKOVA                            | 2.5-3" CAL   | BB    | HT. 60-75', SP. 40-50' |
| <b>EVERGREEN TREES</b>                    |     |                                       |                                             |              |       |                        |
| 9                                         | Ac  | ABIES CONCOLOR                        | CONCOLOR FIR                                | 6-7 HT. MIN. | BB    | HT. 35-50', SP. 15-25' |
| 6                                         | Js  | JUNIPERUS SCOPULORUM                  | WICHITA BLUE JUNIPER                        | 6-7 HT. MIN. | BB    | HT. 10-15', SP. 4-5'   |
| <b>SHRUBS</b>                             |     |                                       |                                             |              |       |                        |
| 17                                        | Ra  | 'RADTKO' PP 16,202 CPBR 3,104         | DOUBLE KNOCK OUT ROSE                       | 18" MIN. HT. | CONT. | HT. 3-4', SP. 3-4'     |
| <b>GRASSES, PERENNIALS, GROUND COVERS</b> |     |                                       |                                             |              |       |                        |
| 11                                        | Ca  | CALAMAGROSITIS ACUTIFLORA             | KARL FOERSTER FEATHER REED GRASS            | NO. 2        | CONT. | HT. 4-6', SP. 2-3'     |
| 23                                        | He  | HEMEROCALLIS X RUBY SPIDER            | RUBY SPIDER DAYLILY                         | NO. 2        | CONT. | HT. 1-2', SP. 2-3'     |
| 14                                        | Nf  | NEPETA HYBRID 'CAT'S PAJAMAS CATMINT' | CAT'S PAJAMA'S CATMINT                      | NO. 2        | CONT. | HT. 12-14", SP. 18-20" |
| 21                                        | Sh  | SPOROBOLUS HETEROLEPIS                | NORTHERN PRAIRIE DROPSEED                   | NO. 3        | CONT. | HT. 1.5-3', SP. 2-3'   |

ABBREVIATIONS:  
 BB=BALLED & BURLAPPED  
 BR=BARE ROOT  
 CAL=CALIPER IN INCHES  
 CONT.=CONTAINER  
 HT.=HEIGHT  
 NO.#=GALLON SIZE  
 SP.=SPREAD

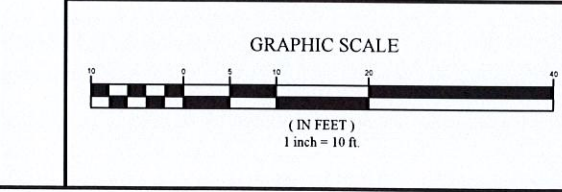
NOTES:  
 - CALIPER TO BE MEASURED 6" ABOVE GRADE  
 - PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE

**LANDSCAPE NOTES**

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE, AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1.
- THE CONTRACTOR SHALL SECURE THE MOST RECENT PLANS AND/OR SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPE ELEMENTS, INCLUDING HARDSCAPE ITEMS, PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO SUBMITTING A COST ESTIMATE.
- LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT. ACTUAL LOCATIONS MAY BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION, AND MAY REQUIRE THE CONTRACTOR TO PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB BEDS.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- SHOULD THE LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, IMMEDIATELY NOTIFY THE OWNER/OWNERS REPRESENTATIVE TO AVOID AND/OR MINIMIZE POTENTIAL CONFLICTS.
- UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA.
- ANY PROPOSED DEVIATION TO THE LANDSCAPING PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE PLANNING BOARD CHAIRMAN AND THE DIRECTOR OF ENGINEERING-PLANNING PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL AND FINAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY MEETING ALL PLANT LIST SPECIFICATIONS.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED.
- ALL TREE AND SHRUB BEDS SHALL RECEIVE A 3" LAYER OF 1-3" RIVER STONE MULCH.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL HAVE A MINIMUM OF 6" OF TOPSOIL AND BE SEEDED WITH SPECIFIED LAWN MIX.



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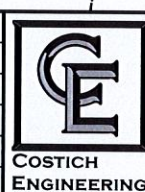


| NO. | DATE | REVISION | BY | CHKD. | APVLD. |
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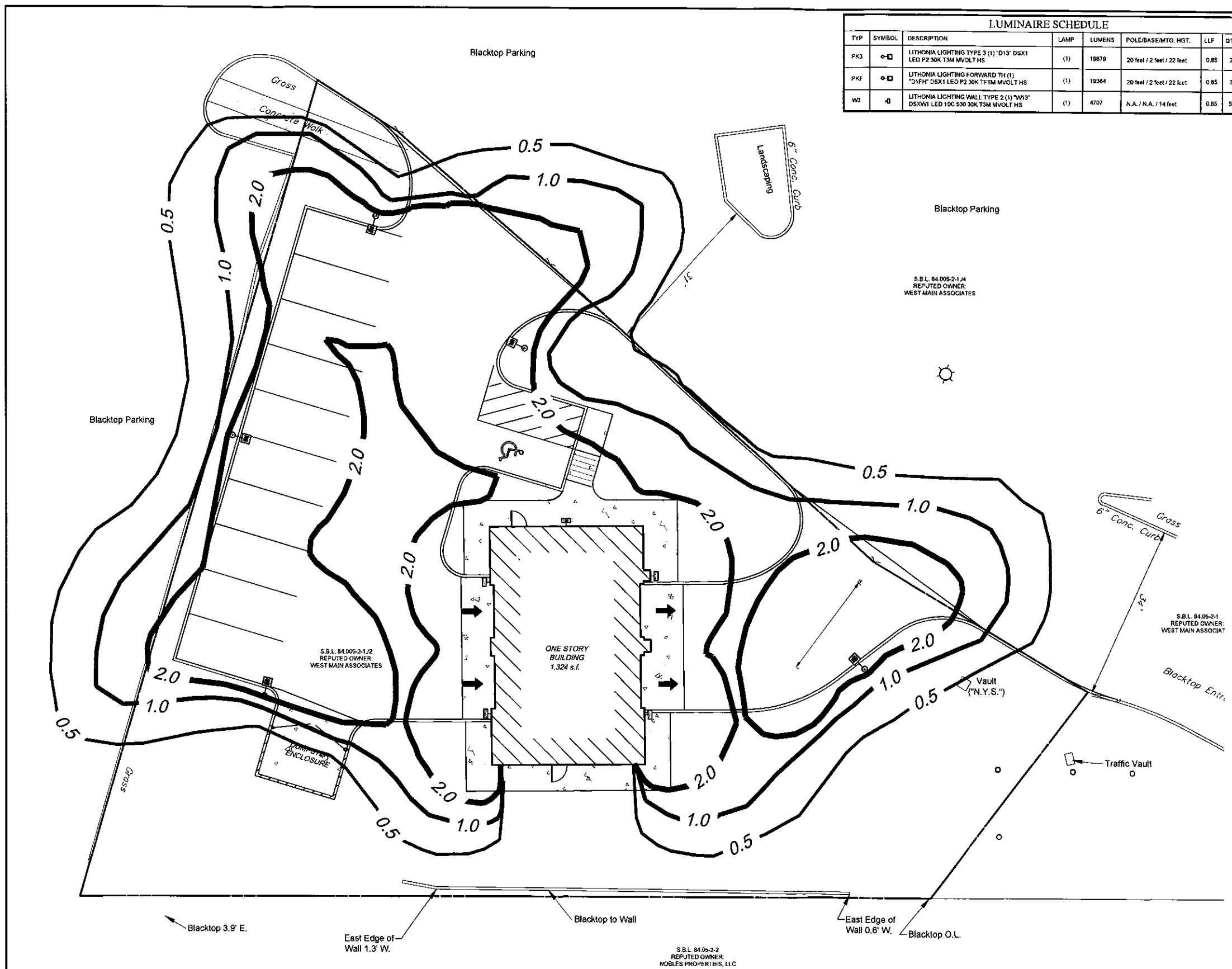
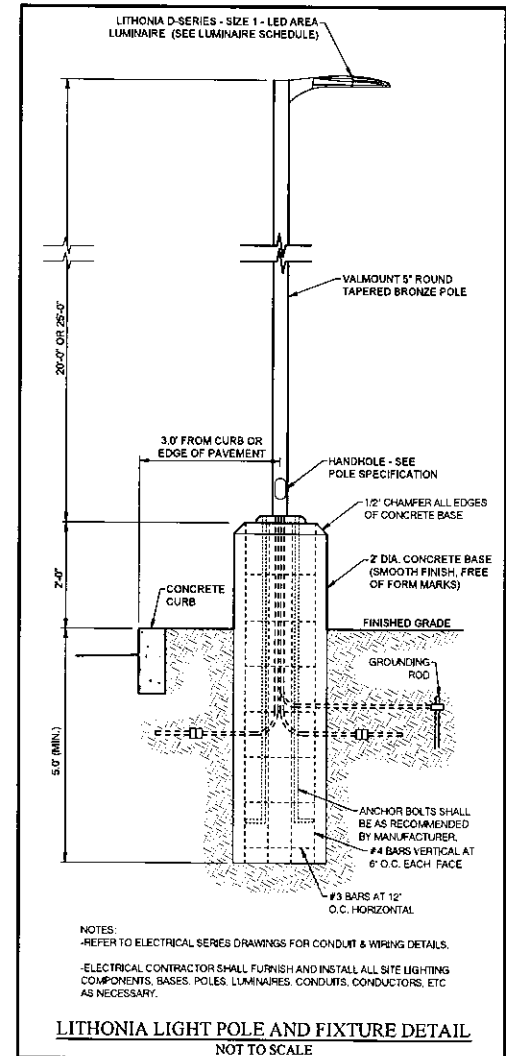
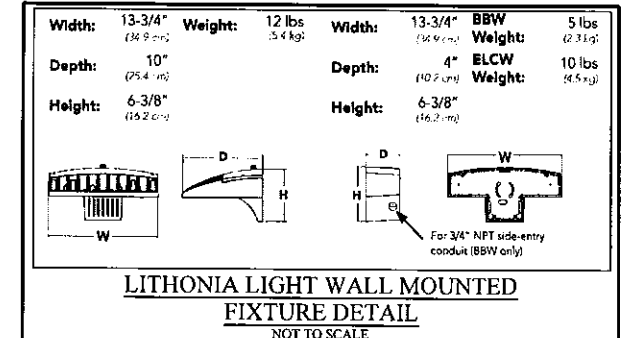
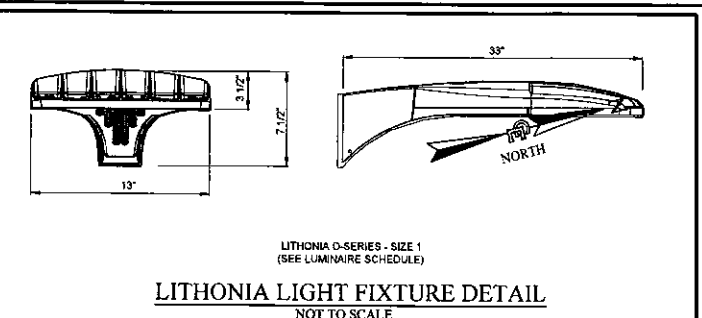
PROJECT MANAGER  
E.R.G.  
 DRAWN BY  
W.T.A.  
 BOUNDARY BY OTHERS  
 TOP/GRADE BY OTHERS  
 DATE  
06/30/2023  
 SCALE  
1"=10'



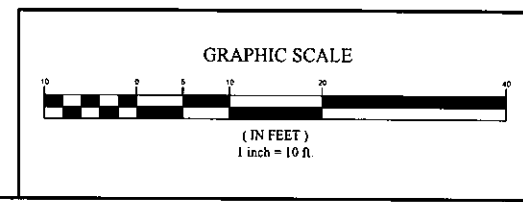
CIVIL ENGINEERING  
 LAND SURVEYING  
 LANDSCAPE ARCHITECTURE  
 217 LAKE AVENUE  
 ROCHESTER, NY 14608  
 (585) 458-9020

TITLE OF PROJECT  
**TAKE 5 OIL CHANGE**  
 425 W. MAIN STREET, BATAVIA, NY  
 TITLE OF DRAWING  
**LANDSCAPE PLAN**  
 LOCATION OF PROJECT  
TAX PARCEL NO. 84 05-2-1-2  
 TOWN LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3,  
 COUNTY OF GENESEE, STATE OF NEW YORK  
 CLIENT  
QUATTRO DEVELOPMENT LLC  
 110 JORIE BLVD SUITE 140  
 OAKBROOK, ILLINOIS 60521  
 DWG. # 9106  
**LA100**  
 SHEET 5 OF 10

| LUMINAIRE SCHEDULE |        |                                                                            |      |        |                            |      |     |
|--------------------|--------|----------------------------------------------------------------------------|------|--------|----------------------------|------|-----|
| TYP                | SYMBOL | DESCRIPTION                                                                | LAMP | LUMENS | POLE/BASE/MTG. HGT.        | LLF  | QTY |
| PK3                | ☐      | LITHONIA LIGHTING TYPE 3 (1) "D13" DSX1 LED P2 30K T3M MVOLT HS            | (1)  | 19679  | 20 feet / 2 feet / 22 feet | 0.85 | 2   |
| PKF                | ☐      | LITHONIA LIGHTING FORWARD TH (1) "D1FH" DSX1 LED P2 30K T3M MVOLT HS       | (1)  | 19364  | 20 feet / 2 feet / 22 feet | 0.85 | 3   |
| W3                 | ⊕      | LITHONIA LIGHTING WALL TYPE 2 (1) "W13" DSXW1 LED 100 530 30K T3M MVOLT HS | (1)  | 4707   | N.A. / N.A. / 14 feet      | 0.85 | 5   |

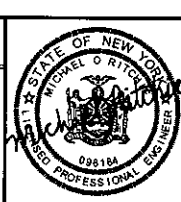


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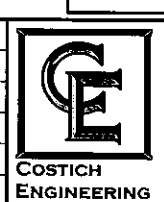


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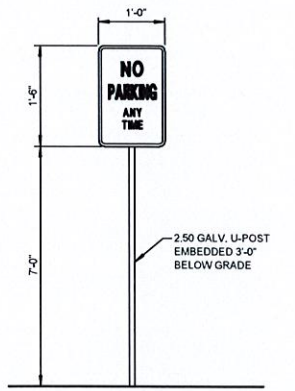


PROJECT MANAGER: E.R.G.  
DRAWN BY: W.T.A.  
BOUNDARY BY OTHERS  
TOPOGRAHY BY OTHERS  
DATE: 06/30/2023  
SCALE: 1"=10'

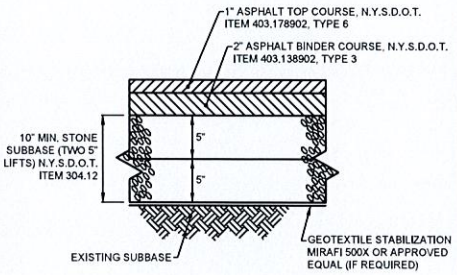


- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

TITLE OF PROJECT: TAKE 5 OIL CHANGE  
425 W. MAIN STREET, BATAVIA, NY  
TITLE OF DRAWING: LANDSCAPE PLAN  
LOCATION OF PROJECT: TAX PARCEL NO. 84.005-2-1/2 TOWN LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3, COUNTY OF GENESSEE, STATE OF NEW YORK  
CLIENT: QUATTRO DEVELOPMENT LLC  
217 LAKE AVENUE  
ROCHESTER, NY 14608  
(855) 458-9320  
DATE: 06/30/2023  
DWG. # 9106  
EA100  
SHEET 6 OF 10

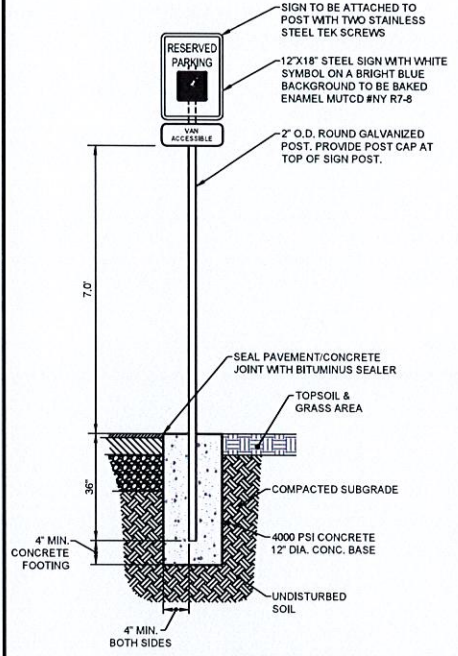


**NO PARKING SIGN / POST**  
NOT TO SCALE



**TYPICAL PAVEMENT SECTIONS**  
NOT TO SCALE

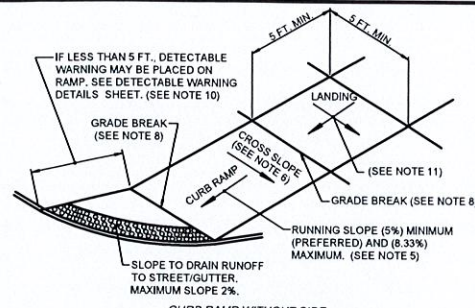
- NOTES:**
- ONE "VAN ACCESSIBLE" SIGN PER SIX HANDICAP SPACES PROVIDED ON SITE, MUST MOUNTED BELOW THE "RESERVED PARKING" SIGN.
  - ADA GUIDELINES STATE THAT THE BOTTOM OF THE "VAN ACCESSIBLE" SIGN MUST MOUNTED 7' ABOVE GRADE. SOME MUNICIPALITIES LIMIT THE MAXIMUM HEIGHTS AND MAY ALSO REQUIRE ADDITIONAL SIGNAGE. REFER TO LOCAL CODE.
  - ALL RESERVED PARKING SIGNS ON SITE SHALL BE MOUNTED AT THE SAME HEIGHT, REGARDLESS IF A "VAN ACCESSIBLE" SIGN IS PRESENT.



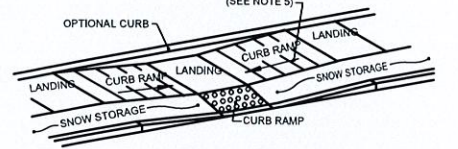
**TYPICAL STEEL POLE MOUNTED SIGN DETAIL**  
NOT TO SCALE

**CURB RAMP DIMENSION NOTES**

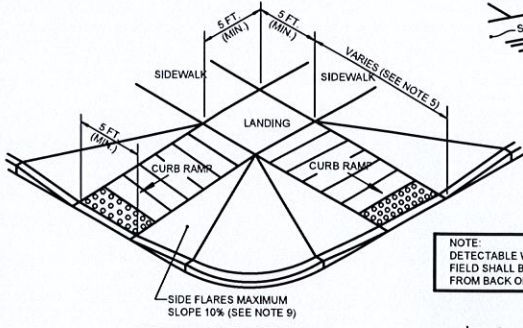
- GENERAL**
- THE DIMENSIONS AND SLOPES PRESENTED IN THE DETAILS ARE THE MINIMUM NECESSARY TO COMPLY WITH THE ADA AND DOT STANDARDS. ANY DEVIATIONS LESS THAN THE MINIMUM WIDTH OR GREATER THAN THE MAXIMUM SLOPE FROM THESE STANDARDS MUST BE DOCUMENTED AND THE STANDARDS BEING MET TO THE GREATEST EXTENT PRACTICABLE AND CONSISTENT WITH THE MOST CURRENT ADA.
  - CURB RAMP, LANDINGS AND BLENDED TRANSITIONS MAY REQUIRE THE USE OF DETECTABLE WARNINGS. DETECTABLE WARNINGS ON THIS SHEET ARE SHOWN FOR ILLUSTRATION ONLY. SEE THE DETECTABLE WARNING STANDARD SHEET M108-13 FOR DETAILS ON PLACEMENT, ORIENTATION & DIMENSIONS. SEE CHAPTER 15 OF THE HIGHWAY DESIGN MANUAL FOR MORE INFORMATION.
- CURB RAMP**
- THE MINIMUM WIDTH FOR SIDEWALK CURB RAMP IS 5 FT.
  - THE RUNNING SLOPE OF A CURB RAMP SHALL BE 1:20 (5% MINIMUM (PREFERRED) AND 1:12 (8.33% MAXIMUM).
  - WHERE THE SLOPE OF THE ROADWAY EXCEEDS 8.33% THE CURB RAMP LENGTH IS THE LENGTH NECESSARY TO MEET THE EXISTING SIDEWALK, EXCEPT THAT IT NEED NOT BE MORE THAN 4.5 M IN LENGTH.
  - THE CROSS SLOPE OF CURB RAMP SHOULD BE AS FLAT AS POSSIBLE. NOT TO EXCEED 1:50 (2%). THE CROSS SLOPE AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
  - THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING THE FLARES, SHALL BE PLANAR. GRADE BREAKS SHALL BE FLUSH AND PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN.
  - RAMP TRANSITIONS BETWEEN WALKS, LANDINGS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAX).
  - WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES WITH A SLOPE OF 10% MAXIMUM MEASURED PARALLEL TO THE CURB LINE, SHALL BE PROVIDED.
- LANDINGS**
- LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 5 FT. BY 5 FT. EXCEPT AT THE BOTTOM OF RAMP TYPE 1 & 2 ON SHEET M108-13.
  - THE RUNNING AND CROSS SLOPES ON LANDINGS AT INTERSECTIONS IS 1:50 (2% MAXIMUM). THE RUNNING AND CROSS SLOPES AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.



**CURB RAMP WITHOUT SIDE FLARES TYPICAL DIMENSIONING**  
(SEE NOTE 5)

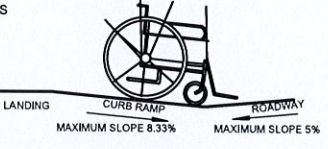


**MID-BLOCK CROSSING CURB RAMP TYPICAL DIMENSIONING**



**CURB RAMP WITH SIDE FLARES TYPICAL DIMENSIONING**

NOTE: DETECTABLE WARNING FIELD SHALL BE 2' WIDE FROM BACK OF CURB.

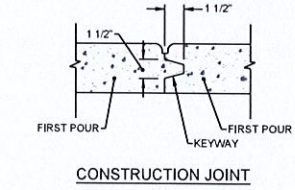


**DIAGONAL SIDEWALK CURB RAMP**

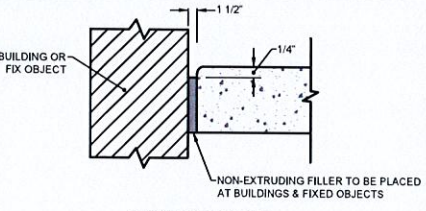
NOTE: THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, LANDING, OR BLENDED TRANSITION SHALL BE 5% MAXIMUM.

**COUNTER SLOPE CONDITIONS**

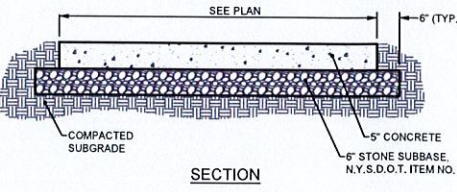
**SIDEWALK CURB RAMP DIMENSIONS (DIMENSIONS, DETAILS AND GEOMETRY)**  
NOT TO SCALE



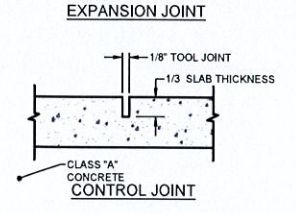
**CONSTRUCTION JOINT**



**EXPANSION JOINT**



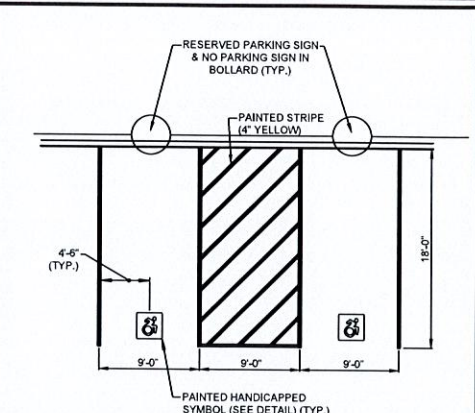
**SECTION**



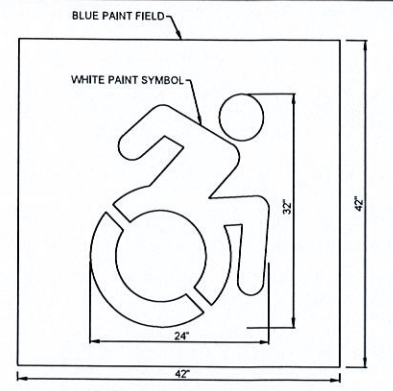
**CONTROL JOINT**

- NOTE:**
- CONCRETE SHALL BE 4000 P.S.I. AIR-ENTRAINED MIX.
  - CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
  - EXPANSION JOINTS SHALL BE PROVIDED AT A FIXED STRUCTURES.
  - CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
  - SIDEWALK SET ADJACENT TO CURB SHALL HAVE A 2.0% CROSS-SLOPE TO CURB. OTHER AREAS SHALL DRAIN AS INDICATED ON GRADING PLAN.

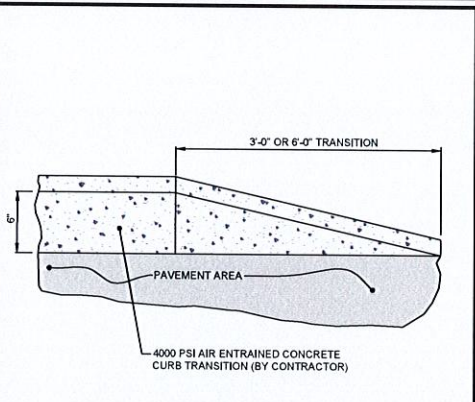
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



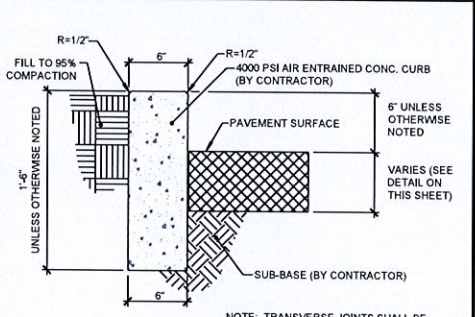
**RESERVED PARKING STRIPING DETAIL**  
NOT TO SCALE



**ACCESSIBLE SYMBOL PAVEMENT MARKING DETAIL**  
NOT TO SCALE



**CURB TRANSITION DETAIL**  
NOT TO SCALE



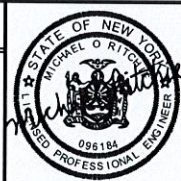
**CONCRETE CURB DETAIL**  
NOT TO SCALE



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| NO. | DATE | REVISION | BY | CHKD. | APVLD. |
|-----|------|----------|----|-------|--------|
|     |      |          |    |       |        |
|     |      |          |    |       |        |
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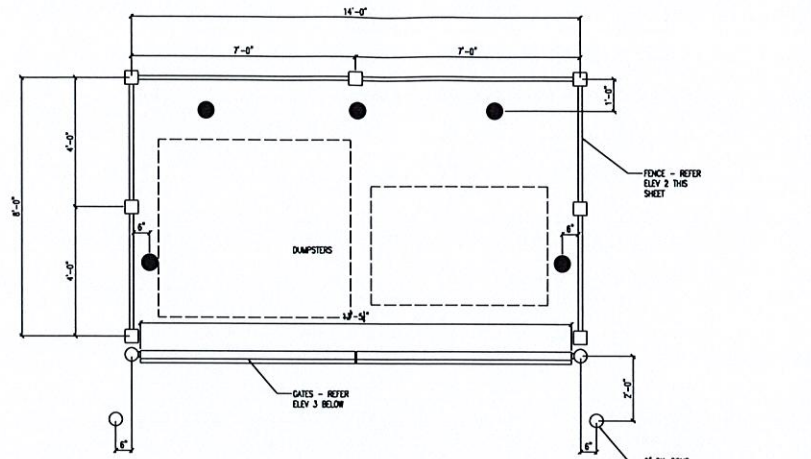


PROJECT MANAGER  
E.R.G.  
DRAWN BY  
W.T.A.  
BOUNDARY BY OTHERS  
TOPBASE BY OTHERS  
DATE  
06/30/2023  
SCALE  
N.T.S.

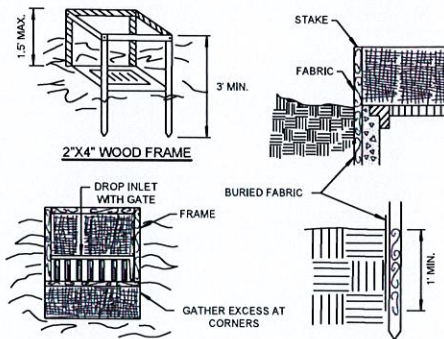


• CIVIL ENGINEERING  
• LAND SURVEYING  
• LANDSCAPE ARCHITECTURE  
217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-9020

TITLE OF PROJECT  
TAKE 5 OIL CHANGE  
425 W. MAIN STREET, BATAVIA, NY  
TITLE OF DRAWING  
SITE DETAILS  
LOCATION OF PROJECT  
TAX PARCEL NO. 84 005-2-1.2  
TOWN LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3,  
COUNTY OF GENESEE, STATE OF NEW YORK  
CLIENT  
ORATTO DEVELOPMENT LLC  
110 JORIE BLVD SUITE 140  
OAKBROOK, ILLINOIS 60523  
DWG # 9106  
CA500  
SHEET 7 OF 10



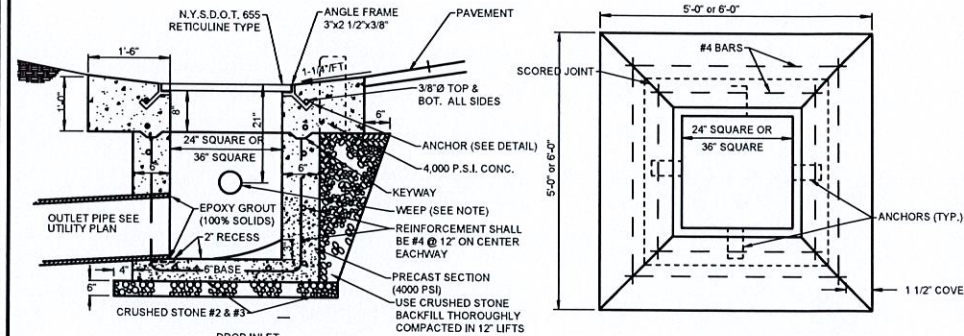
TRASH ENCLOSURE PLAN  
NOT TO SCALE



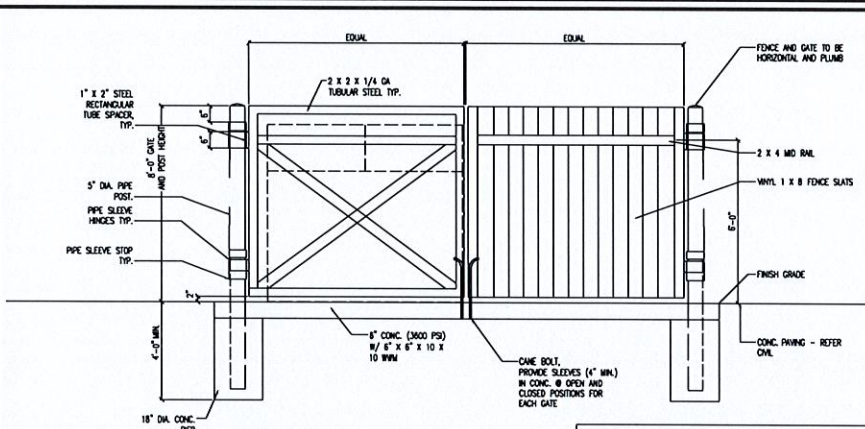
FILTER FABRIC DROP  
INLET PROTECTION DETAIL  
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
  2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
  3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
  4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
  5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
  6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- MAXIMUM DRAINAGE AREA 1 ACRE

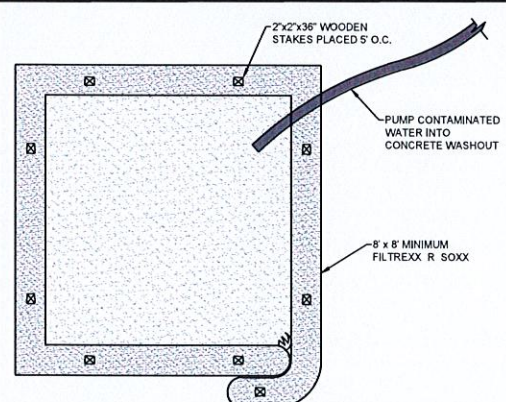


TYPICAL DROP/CURB INLET  
NOT TO SCALE

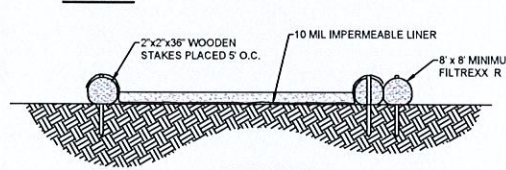


FRONT ELEVATION OF TYPICAL  
TRASH ENCLOSURE GATE  
NOT TO SCALE

- NOTE:
1. ALL HARDWARE TO BE GALVANIZED UNLESS OTHERWISE NOTED
  2. ALL STEEL POSTS AND GATE FRAME TO BE PRIME AND PAINTED WITH 2 COATS EACH COLOR TO BE DARK BRONZE SMOOTH
  3. ALL STEEL MEMBERS TO BE SHOP WELDED. PROVIDE SHOP DRINKERS FOR APPROVAL PRIOR TO FABRICATION. ALL STEEL TO BE PAINTED DARK BRONZE SMOOTH
  4. ALL METAL FRAMING, POSTS AND HARDWARE TO BE PRIME AND PAINTED WITH 1 COAT PRIMER, AND 2 COATS FINISH. PAINT TO BE OIL BASED AND COLOR TO BE DARK BRONZE SMOOTH.



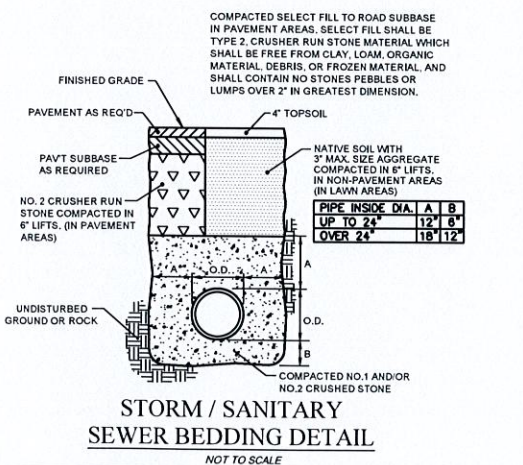
PLAN VIEW



SECTION VIEW

CONCRETE WASHOUT DETAIL  
NOT TO SCALE

- NOTES:
1. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS.
  2. CONCRETE WASHOUT SHALL BE LINED WITH 10 MIL THICK PLASTIC WHICH COVERS THE BOTTOM OF THE WASHOUT AND EXTENDS OVER THE TOP OF THE SIDES.
  3. MAKE SURE THAT PROPER SIGNAGE IS PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
  4. WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS.
  5. INSTALL ON FLAT GRADE NOT TO EXCEED 2%.
  6. CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.
  7. CONCRETE WASHOUT MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
  8. THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED.
  9. MINIMUM DIMENSIONS TO BE 8' (L) x 8' (W) x 2' (H)
  10. LINER SHALL IS TO BE REPLACED EVERY TIME THE WASHOUT IS EMPTIED.
  11. WASHOUT TO BE LOCATED 100' (MIN.) FROM EXISTING AND PROPOSED DRAINAGE



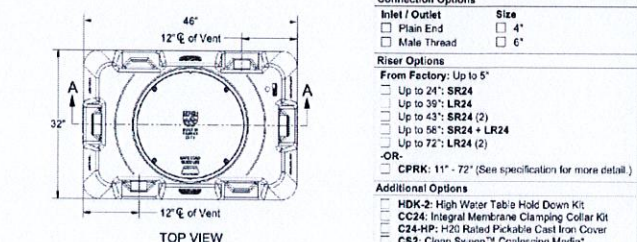
STORM / SANITARY  
SEWER BEDDING DETAIL  
NOT TO SCALE

- SPECIFICATIONS
1. 4" Plain End Inlet/Outlet, 3" Plain End vents, C24-H cover standard.
  2. Max flow rate: 75 GPM.
  3. Liquid capacity: 110 Gallons (14.7 cu. ft.).
  4. Oil capacity: 93 Gallons.
  5. Solids capacity: 11 Gallons.
  6. Unit weight w/ standard cover: 120 lbs.; w/ cast iron cover: 180 lbs.
  7. Maximum operating temperature 140° F continuous.

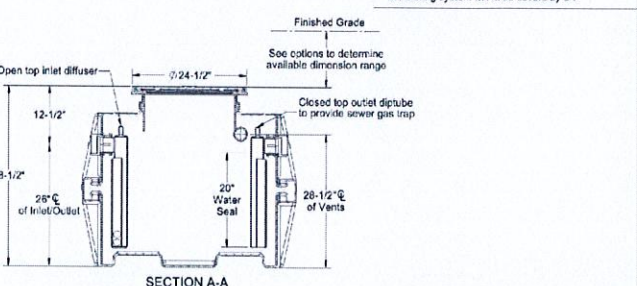
- NOTES
1. For gravity drainage applications only.
  2. Do not use for pressure applications.
  3. Snap-in flow control (all-pipe with unit).
  4. Narrow footprint allows clearance through doorways and down stairs.
  5. Cover placement allows full access to tank for proper maintenance.
- DIFFUSION FLOW TECHNOLOGY
- The inlet diffuser splits influent into three paths, creating laminar flow and utilizing the entire liquid volume of the tank for efficient oil separation. The calibrated openings greatly reduce turbulent flow. The influent enters the main chamber without disturbing the existing oil or sand layers. The bottom of the outlet dip tube allows only effluent that is free of oil to exit the tank.

- ENGINEER SPECIFICATION GUIDE
- Storm oil separator model OS-75 shall be lifetime guaranteed and made in the USA. Separator shall be constructed of polyethylene. Separator shall be manufactured for above- or below-grade installation. Field-adjustable riser system is available as an option to bring manhole cover to grade. Separator flow rate shall be 75 GPM. Separator liquid holding capacity shall be 110 gallons and oil capacity shall be 93 gallons. Solids capacity shall be 11 gallons. Cover shall provide water-tight seal and have a maximum 16,000 lbs. load capacity.

- THIRD PARTY STRUCTURAL ANALYSIS
- The OS-75 has been structurally analyzed in accordance with the requirements of IBC 2012 and ASCE/SEI 7 for direct burial. The maximum burial depth and backfill material are specified in separate installation instructions. The structural design has been reviewed and



TOP VIEW



SECTION A-A

|                                                     |                                                                                                                 |
|-----------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|
| MODEL NUMBER: OS-75                                 | SPECIFICATION SHEET                                                                                             |
| DESCRIPTION: 75 GPM POLYETHYLENE OIL/SAND SEPARATOR | STRIEM<br>Kansas City, KS<br>Tel: 913-222-1500<br>orders@striemco.com<br>www.striemco.com<br>Made in the U.S.A. |
| DWG BY: ENG                                         | DATE: 4/24/2023                                                                                                 |
| REV: 0                                              |                                                                                                                 |



| NO. | DATE | REVISION | BY | CHKD. | APVLD. |
|-----|------|----------|----|-------|--------|
|     |      |          |    |       |        |

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COSTICH ENGINEERING, D.P.C.

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PROJECT MANAGER  
E.R.G.  
DRAWN BY  
W.T.A.  
BOUNDARY  
BY OTHERS  
TOP/BASE  
BY OTHERS  
DATE  
06/30/2023  
SCALE  
N.T.S.



TITLE OF PROJECT  
TAKE 5 OIL CHANGE  
425 W. MAIN STREET, BATAVIA, NY

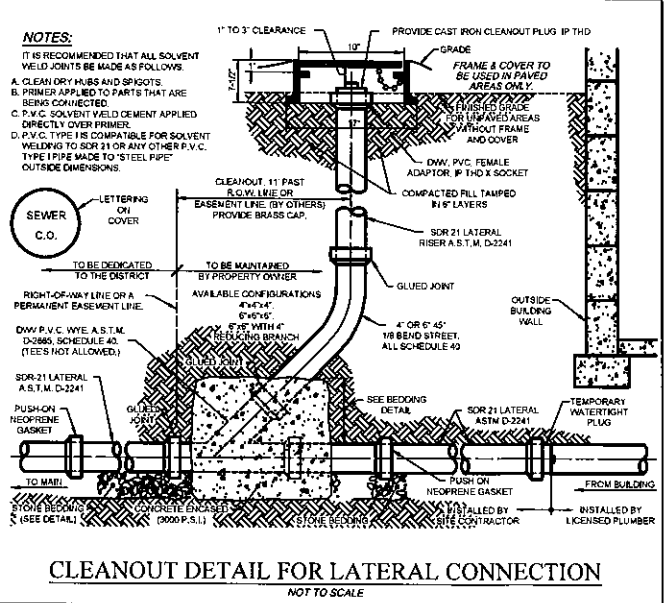
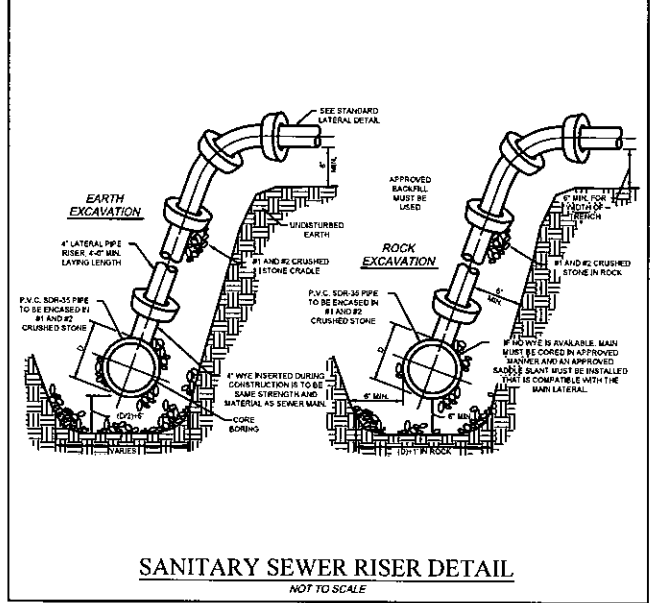
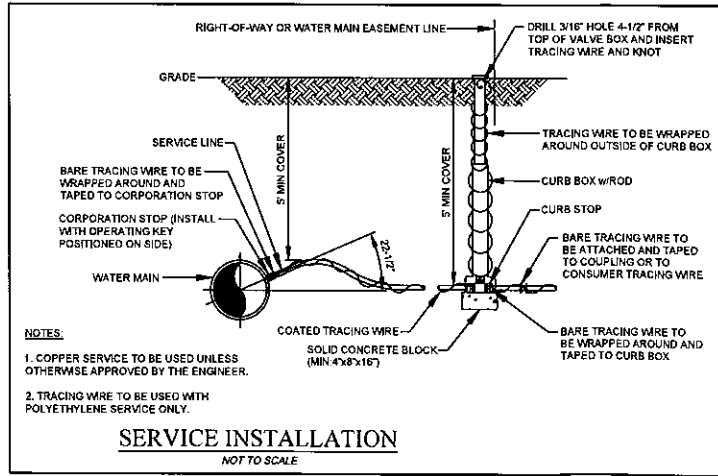
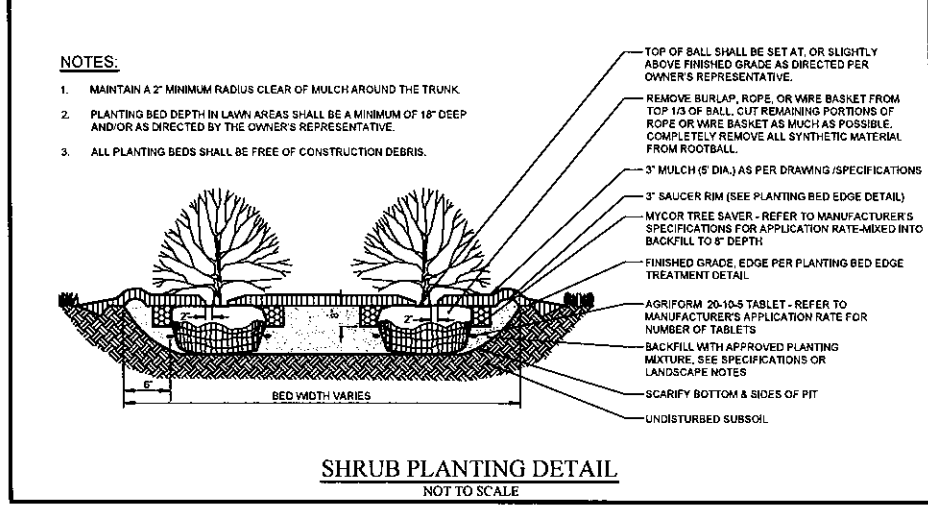
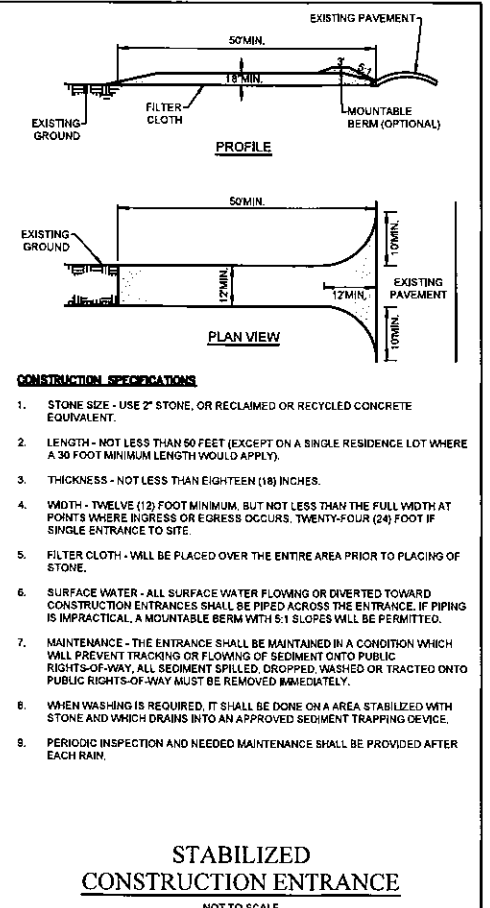
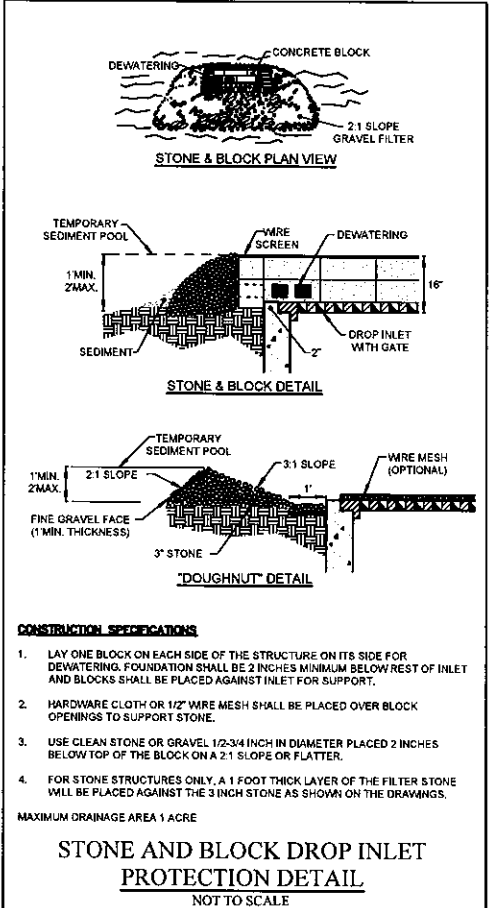
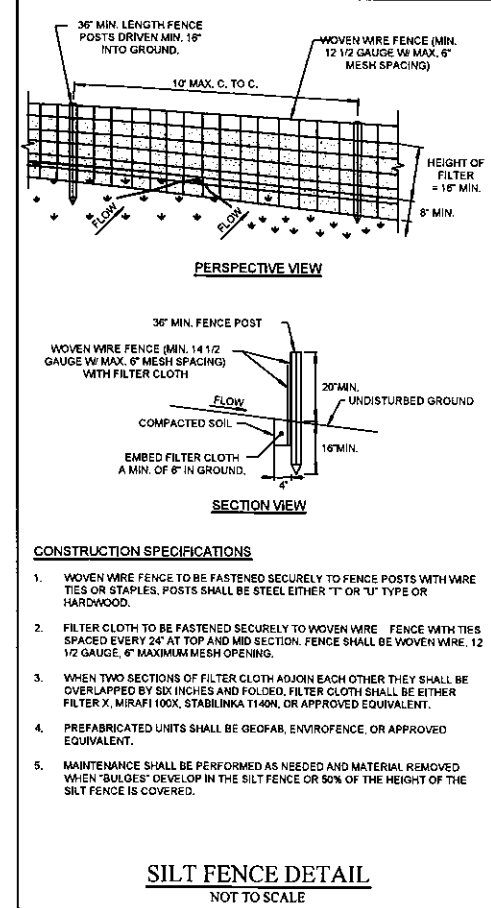
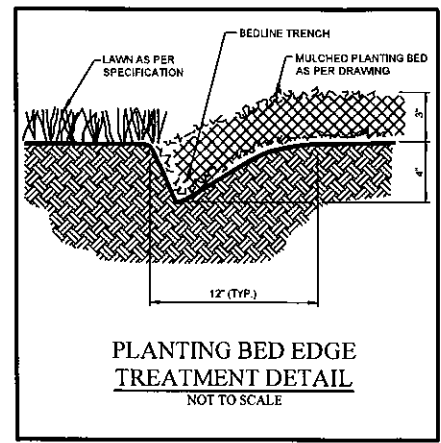
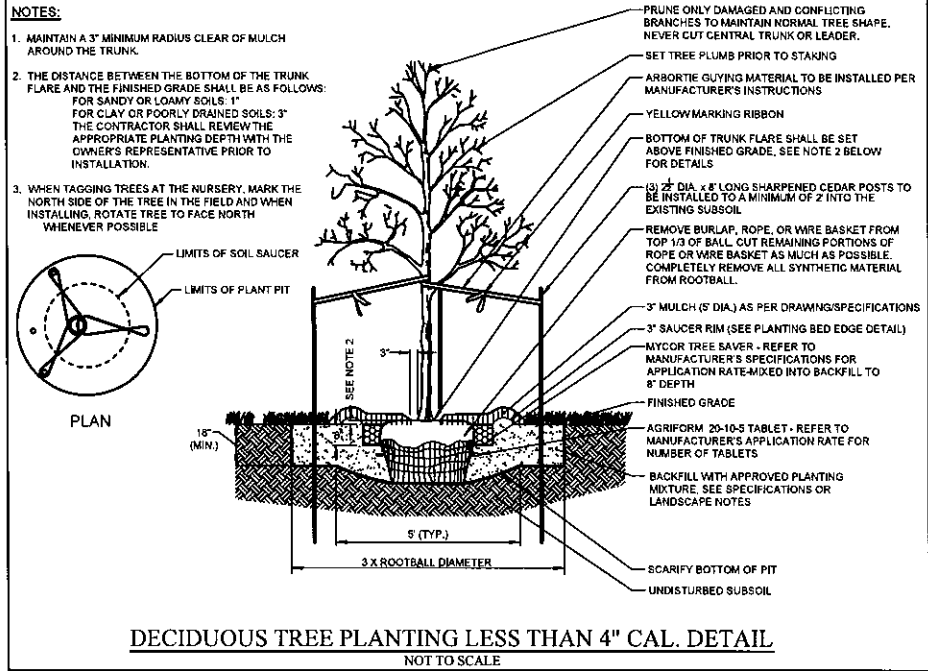
TITLE OF DRAWING  
SITE DETAILS

LOCATION OF PROJECT  
TAX PARCEL NO. 84-005-2-1-2  
TOWN LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3,  
COUNTY OF GENESSE, STATE OF NEW YORK

CLIENT  
QUATTRO DEVELOPMENT LLC  
110 JORIE BLVD SUITE 140  
OAKBROOK, ILLINOIS 60523

DWG # 9106  
CA501  
SHEET # OF 10





| NO. | DATE | REVISION | BY | CRD. | APPLS. |
|-----|------|----------|----|------|--------|
|     |      |          |    |      |        |
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STATE OF NEW YORK  
MICHAEL G. RITVO  
REGISTERED PROFESSIONAL ENGINEER  
096184

PROJECT MANAGER: E.R.G.  
DRAWN BY: W.T.A.  
CHECKED BY: BY OTHERS  
DATE: 06/30/2023  
SCALE: N.T.S.



TITLE OF PROJECT: TAKE 5 OIL CHANGE  
425 W. MAIN STREET, BATAVIA, NY

TITLE OF DRAWING: SITE DETAILS

LOCATION OF PROJECT: TAX PARCEL NO. 84.005-2-1-2  
TOWN LOT 3, TOWNSHIP 13, RANGE 2, SECTION 3,  
COUNTY OF GENESSEE, STATE OF NEW YORK

CLIENT: QUATTRO DEVELOPMENT LLC  
110 JORIE BLVD. SUITE 110  
OAKBROOK, ILLINOIS 60533

DWG. # 9106  
CA502  
SHEET 9 OF 10



PROJECT INFORMATION

PROPOSED BUILDING FOR  
**QUATTRO DEVELOPMENTS - TAKE 5**  
BATAVIA • NY

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE JUNE 29, 2023

REVISIONS

JOB NUMBER

230062700

SHEET NUMBER

**A-200**

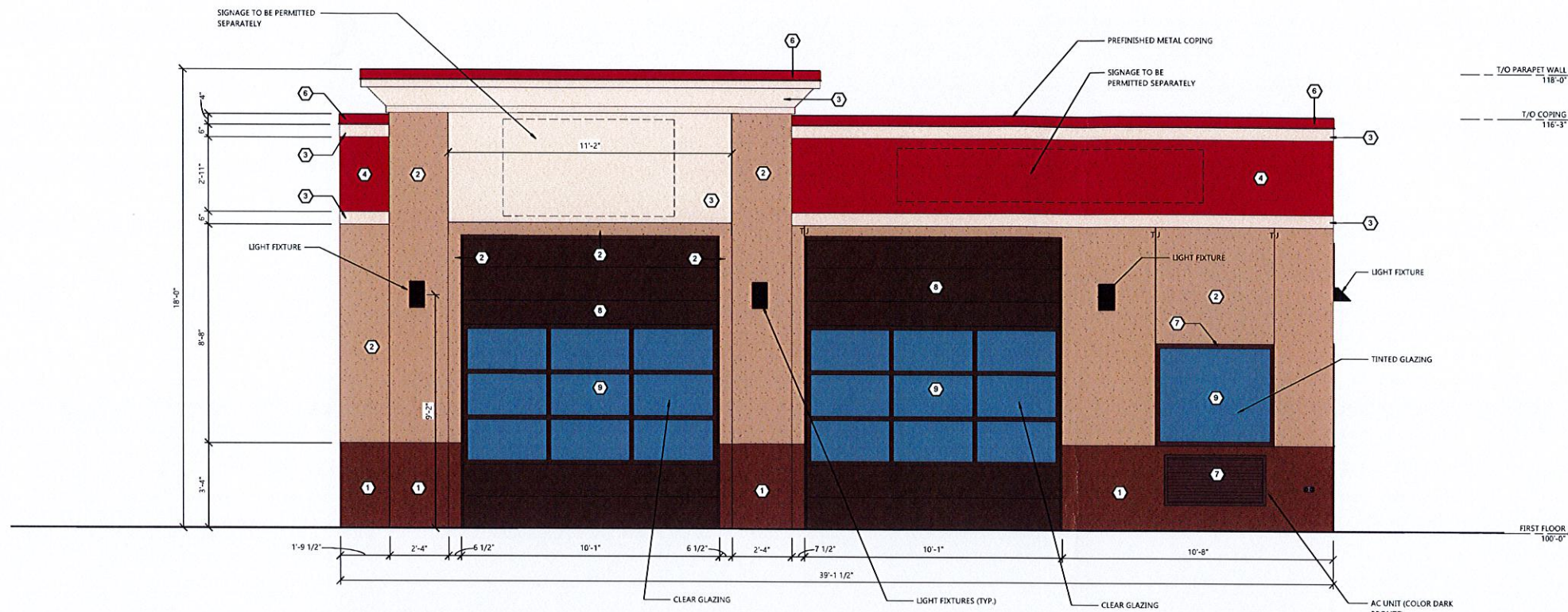
EXTERIOR FINISH KEY

NOT TO SCALE

- 10 HOLLOW METAL DOOR AND FRAME  
COLOR: TO MATCH SW 6076  
TURKISH COFFEE
- 9 GLAZED ALUMINUM  
STOREFRONT FRAME
- 8 OVERHEAD DOORS  
MFR: CLOPAY  
COLOR: CHOCOLATE BROWN
- 7 DOWNSPOUT, SCUPPER, WINDOW FRAME & A/C UNIT  
COLOR: DARK BRONZE
- 6 METAL COPING AND BOLLARDS  
TEXTURE: KYNAR 500 PREFINISHED  
COLOR: TO MATCH SW #6871 POSITIVE RED
- 5 NOT USED
- 4 EIFS OR STUCCO SECONDARY COLOR  
MFR: SHERWIN WILLIAMS  
COLOR: TO MATCH SW #6871 POSITIVE RED
- 3 EIFS OR STUCCO ACCENT BAND, AND FACE EIFS OR  
STUCCO CORNICE  
MFR: SHERWIN WILLIAMS  
COLOR: TO MATCH SW #7678 COTTAGE CREAM
- 2 EIFS OR STUCCO MAIN COLOR  
MFR: SHERWIN WILLIAMS  
COLOR: TO MATCH SW #7693 STONEBRIAR
- 1 EIFS OR STUCCO WAINSCOT  
MFR: SHERWIN WILLIAMS  
COLOR: TO MATCH SW #6097 STURDY BROWN

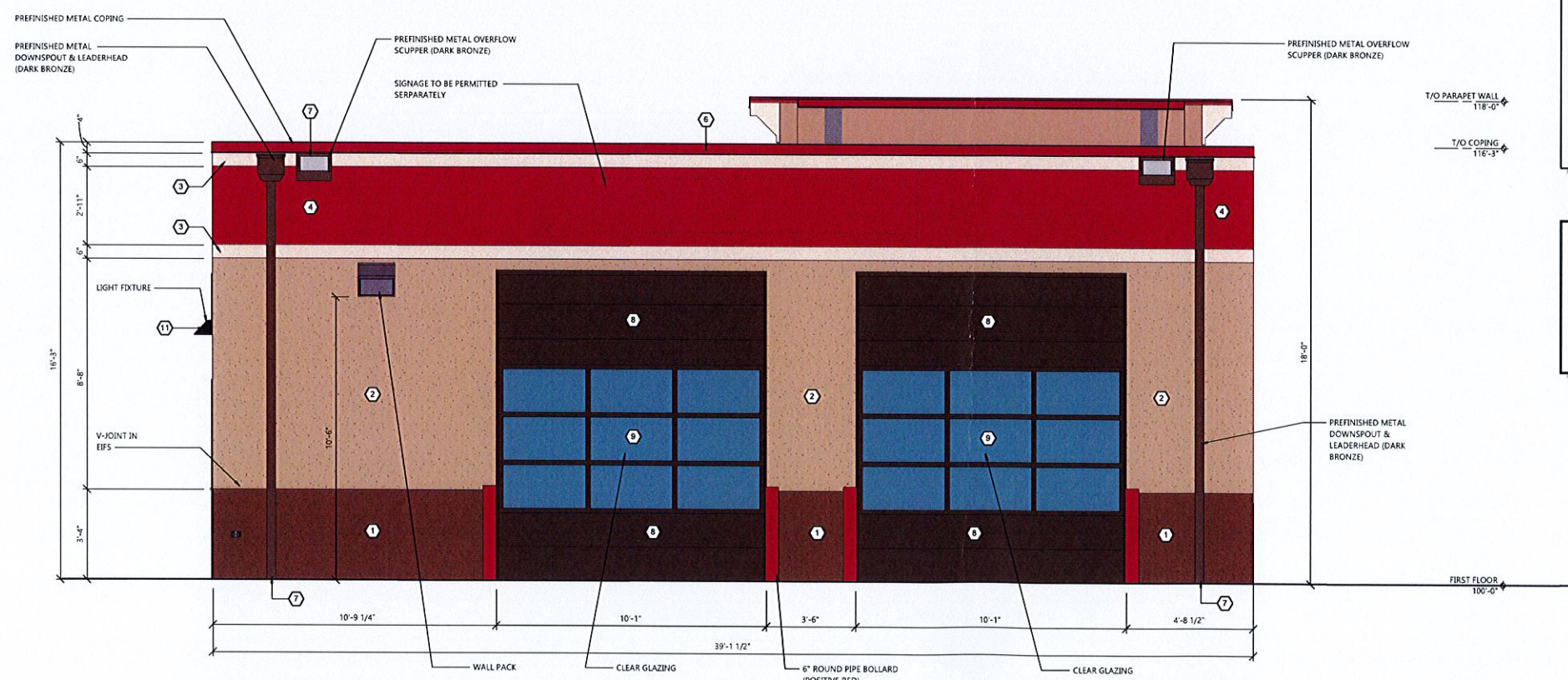
EXTERIOR FINISH NOTES:

1. EIFS TO BE STO THERM CI CLASSIC, DRIVIT INSULATION PLUS MD OR APPROVED EQUAL
2. EIFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF.
3. EIFS TO HAVE HIGH IMPACT MESH FROM 4'-0" AFF TO 8'-0" AFF.
4. EIFS TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" AFF.
5. METAL ROOF TO BE ATAS DUTCH SEAM OR BERRIDGE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS.
6. METAL ROOF PANELS TO BE 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.
7. METAL COPING TO BE PREFINISHED, 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.



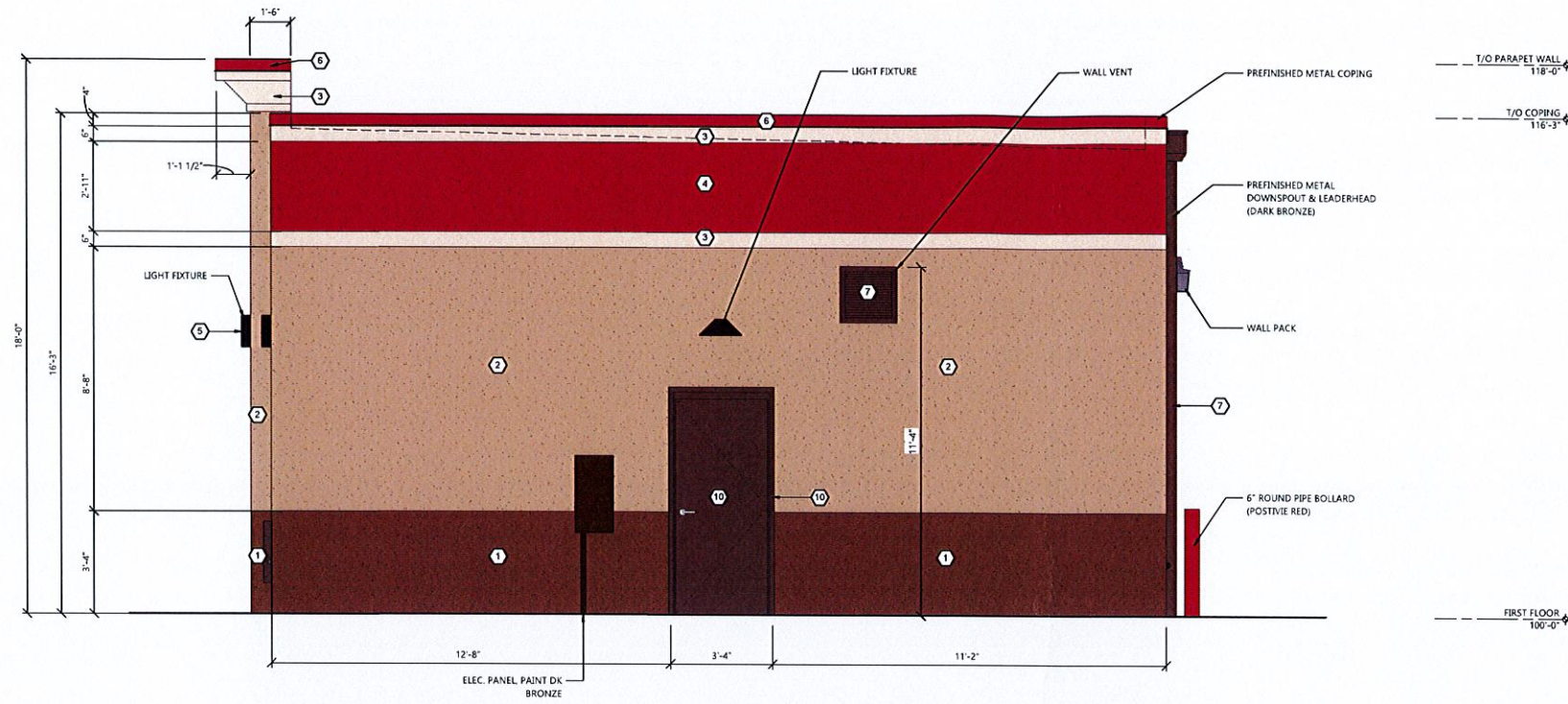
**SOUTH ELEVATION**

SCALE: 3/8" = 1'-0"

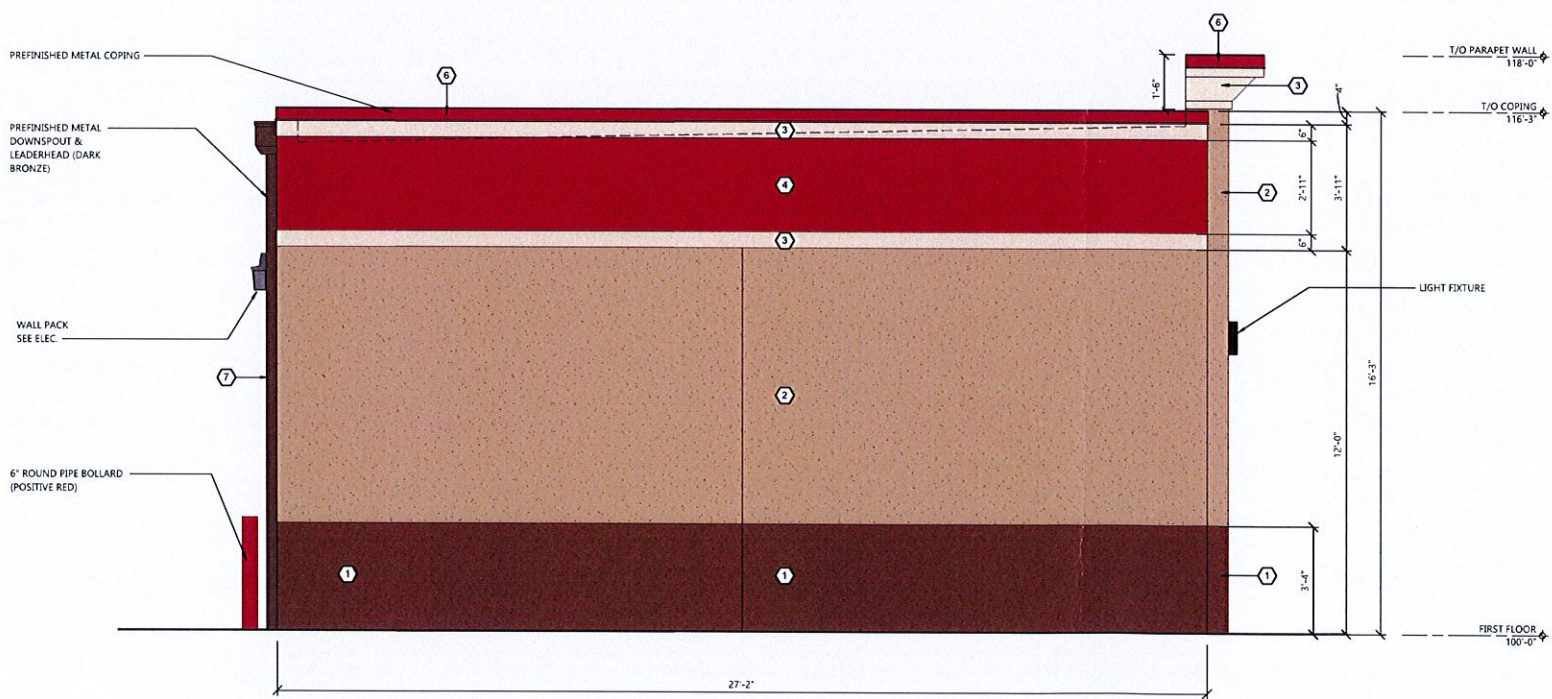


**NORTH ELEVATION**

SCALE: 3/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 3/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 3/8" = 1'-0"

**EXTERIOR FINISH KEY**  
NOT TO SCALE

|    |                                                                                                                                       |
|----|---------------------------------------------------------------------------------------------------------------------------------------|
| 10 | <b>HOLLOW METAL DOOR AND FRAME</b><br>COLOR: TO MATCH SW 6076<br>TURKISH COFFEE                                                       |
| 9  | <b>GLAZED ALUMINUM STOREFRONT FRAME</b>                                                                                               |
| 8  | <b>OVERHEAD DOORS</b><br>MFR: CLOPAY<br>COLOR: CHOCOLATE BROWN                                                                        |
| 7  | <b>DOWNSPOUT, SCUPPER, WINDOW FRAME &amp; A/C UNIT</b><br>COLOR: DARK BRONZE                                                          |
| 6  | <b>METAL COPING AND BOLLARDS</b><br>TEXTURE: KYNAR 500 PREFINISHED<br>COLOR: TO MATCH SW #6871 POSITIVE RED                           |
| 5  | NOT USED                                                                                                                              |
| 4  | <b>EIFS OR STUCCO SECONDARY COLOR</b><br>MFR: SHERWIN WILLIAMS<br>COLOR: TO MATCH SW #6871 POSITIVE RED                               |
| 3  | <b>EIFS OR STUCCO ACCENT BAND, AND FACE EIFS OR STUCCO CORNICE</b><br>MFR: SHERWIN WILLIAMS<br>COLOR: TO MATCH SW #7678 COTTAGE CREAM |
| 2  | <b>EIFS OR STUCCO MAIN COLOR</b><br>MFR: SHERWIN WILLIAMS<br>COLOR: TO MATCH SW #7693 STONEBRIAR                                      |
| 1  | <b>EIFS OR STUCCO WAINSCOT</b><br>MFR: SHERWIN WILLIAMS<br>COLOR: TO MATCH SW #6097 STURDY BROWN                                      |

**EXTERIOR FINISH NOTES:**

- EIFS TO BE STO THERM CI CLASSIC, DRYVIT INSULATION PLUS MD OR APPROVED EQUAL
- EIFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF.
- EIFS TO HAVE HIGH IMPACT MESH FROM 4'-0" AFF TO 8'-0" AFF
- EIFS TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" AFF.
- METAL ROOF TO BE ATAS DUTCH SEAM OR BERKIDGE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS
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- METAL COPING TO BE PREFINISHED, 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.



**PROJECT INFORMATION**

PROPOSED BUILDING FOR  
**QUATTRO DEVELOPMET - TAKE 5**  
BATAVIA • NY

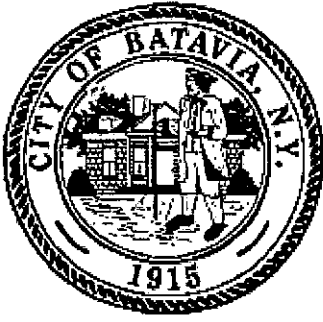
PROFESSIONAL SEAL

**SHEET DATES**

|             |               |
|-------------|---------------|
| SHEET ISSUE | JUNE 29, 2023 |
| REVISIONS   |               |
|             |               |
|             |               |
|             |               |
|             |               |
|             |               |
|             |               |
|             |               |

**JOB NUMBER**  
230062700

**SHEET NUMBER**  
**A-201**



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

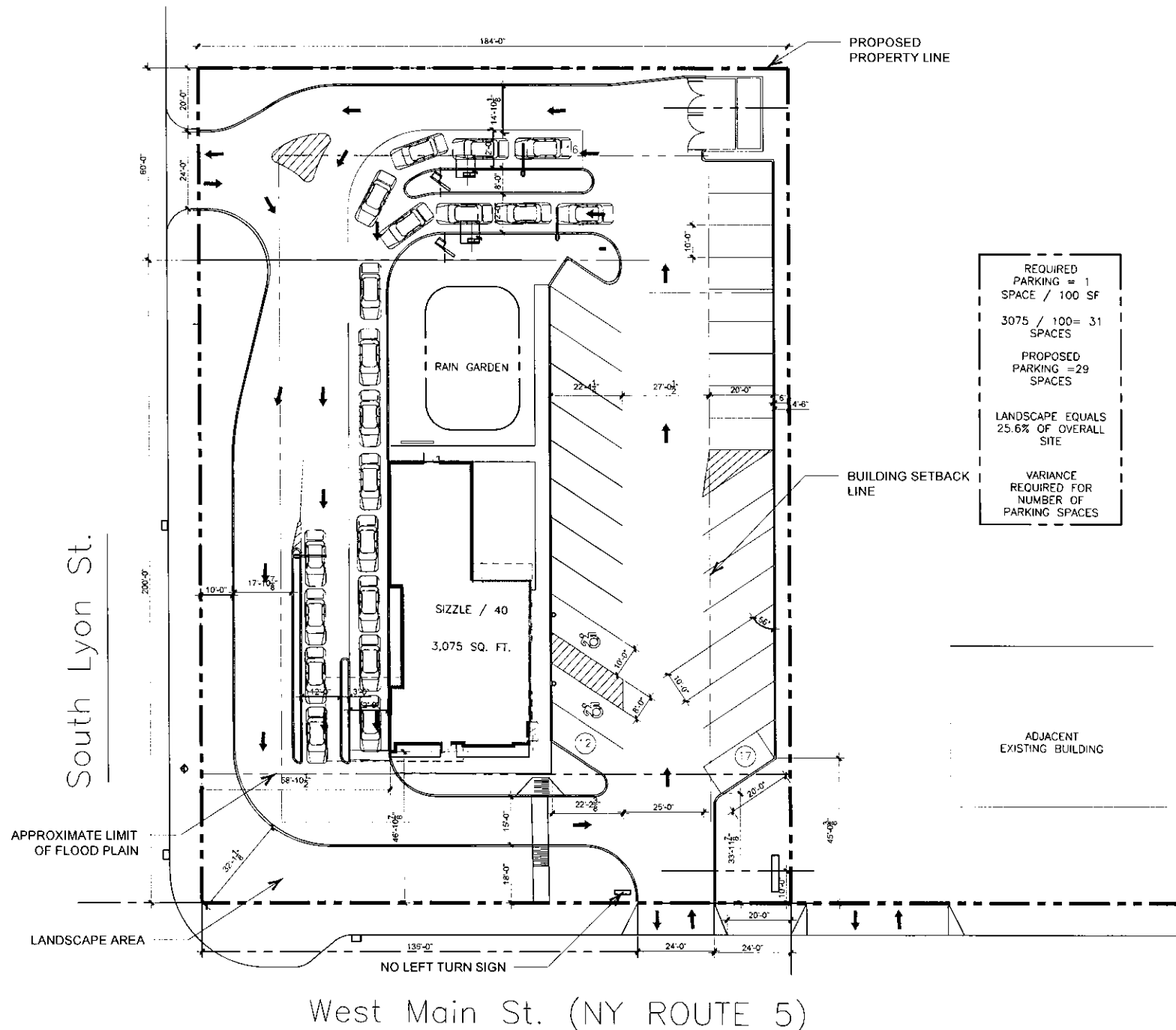
To: Planning and Development Committee  
From: Doug Randall, Code Enforcement Officer  
Date: 6/30/23  
Re: 301-305 West Main, 307 West Main, 4 South Lyon, and a portion of 6 South Lyon.  
Tax Parcel No. Multiple

Zoning Use District: C-2

The applicant Peter Sorgi, Esq., has submitted a second set of renderings of a proposed project that will result in the merging of several parcels, a minor subdivision, demolition of existing buildings, and construction of a Burger King restaurant with drive-through service. The purpose of this "sketch plan review" submittal is to provide the applicant with the opportunity to familiarize the PDC with the proposal and to obtain direction prior to final site plan submission.

**Review and Approval Procedures:**

**City Planning and Development Committee-** Pursuant to section 190-44 B(1) and 190-44 D(1) of the zoning ordinance, the Planning and Development Committee is authorized to conduct "sketch plan reviews".



REQUIRED PARKING = 1 SPACE / 100 SF  
 3075 / 100 = 31 SPACES  
 PROPOSED PARKING = 29 SPACES  
 LANDSCAPE EQUALS 25.6% OF OVERALL SITE  
 VARIANCE REQUIRED FOR NUMBER OF PARKING SPACES

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

ISSUED FOR SKETCH PLAN REVIEW 6/29/23

| No. | Description | Date |
|-----|-------------|------|
| △   | REVISIONS   |      |

**BURGER KING**  
 301-307 W MAIN STREET  
 BATAVIA, NEW YORK

CARROLS, LLC  
 SYRACUSE, NEW YORK

**CONCEPT  
 SITE PLAN**

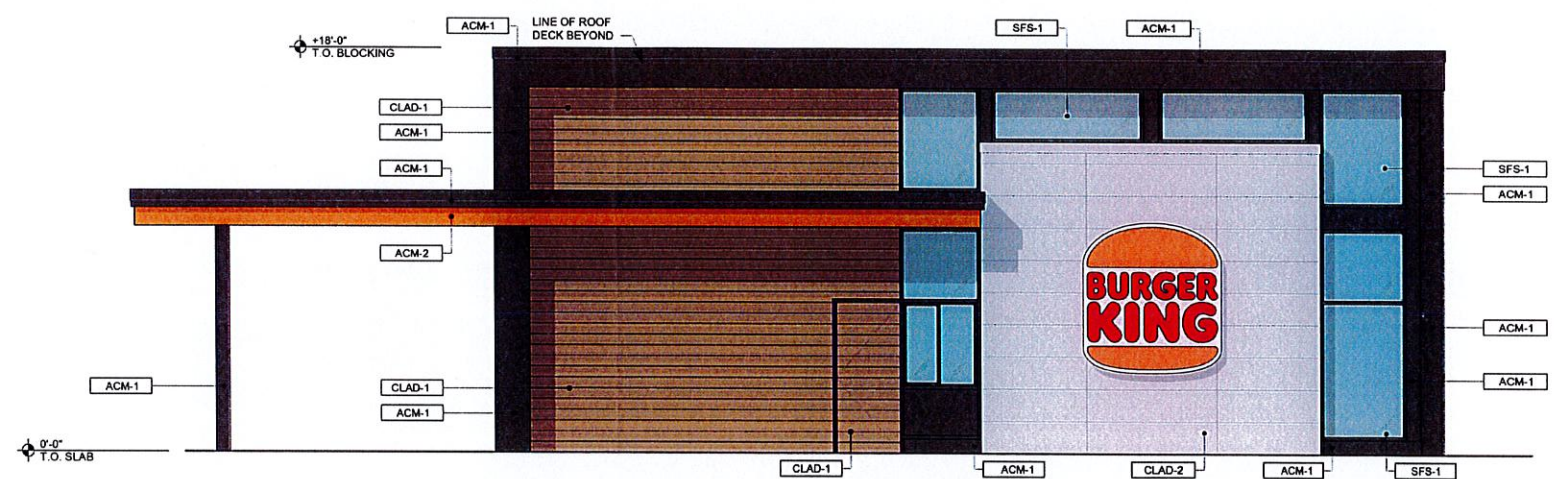
**ISSUE**  
 6/29/23  
 LAUER-MANGUSO  
 ASSOCIATES ARCHITECTS

**LAUER-MANGUSO & ASSOCIATES ARCHITECTS**  
 4080 Ridge Lea Road  
 Buffalo N.Y. 14228  
 (716) 837-0833

Date: 1/22/20  
 Drawn By: KJP, RJB  
 Checked By: PJM  
 Job Number: 22024  
 Drawing No: **C-1.0**

**PROPOSED SITE PLAN** ①  
 SCALE: 1" = 20'-0"





**ELEVATION 1**  
SCALE: 1/4"=1'-0"



**ELEVATION 2**  
SCALE: 1/4"=1'-0"

NOTE: DUE TO VARIATIONS IN MONITOR AND PLOT SETTING, ACTUAL COLORS MAY VARY FROM THOSE SHOWN ON RENDERED ELEVATIONS. FINAL MATERIAL SELECTIONS SHOULD BE VERIFIED WITH PHYSICAL SAMPLES

**PRELIMINARY**  
NOT FOR CONSTRUCTION

| No. | Description                   | Date    |
|-----|-------------------------------|---------|
|     | ISSUED FOR SKETCH PLAN REVIEW | 5/25/23 |
|     | REVISIONS                     |         |

**BURGER KING**  
301-307 W MAIN STREET  
BATAVIA, NEW YORK

CARROLS, LLC  
SYRACUSE, NEW YORK

**ELEVATIONS**

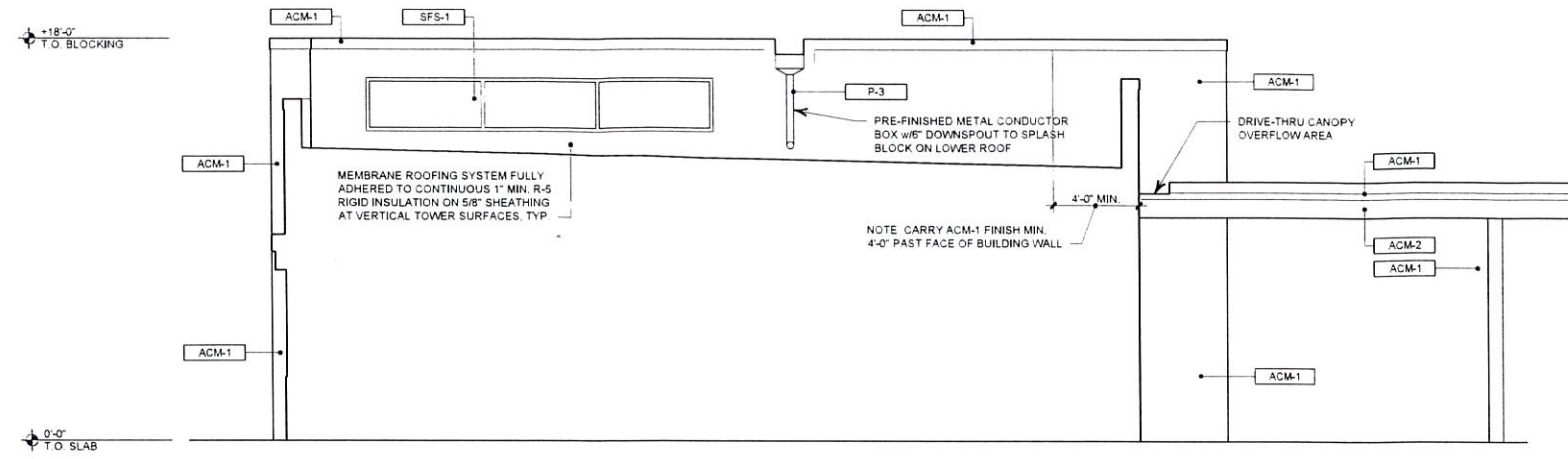
**ISSUE**  
5/25/23  
LAUER-MANGUSO  
ASSOCIATES ARCHITECTS



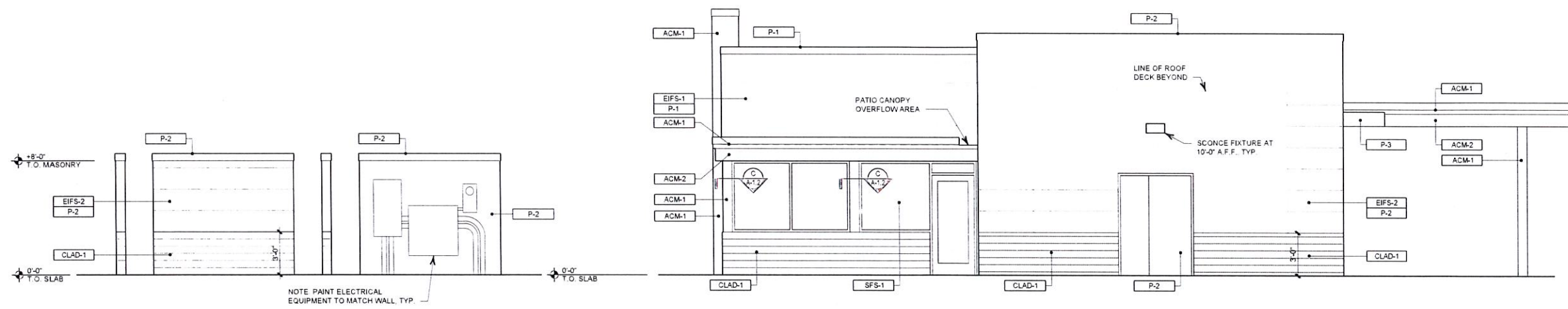
**LAUER-MANGUSO & ASSOCIATES ARCHITECTS**  
4080 Ridge Lea Road  
Buffalo, N.Y. 14228  
(716) 837-0833

Date: \_\_\_\_\_  
Drawn By: \_\_\_\_\_  
Checked By: \_\_\_\_\_  
Job Number: \_\_\_\_\_

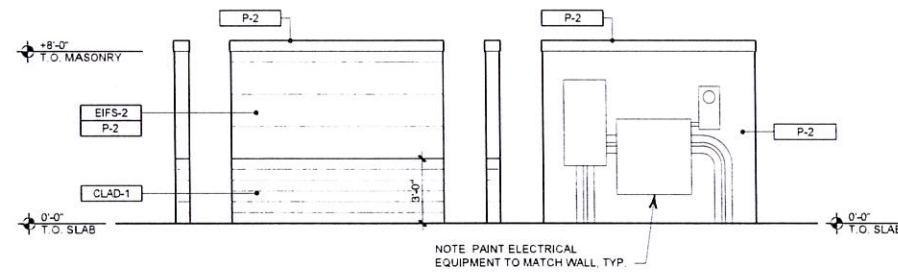
Drawing No. **A-2.0**



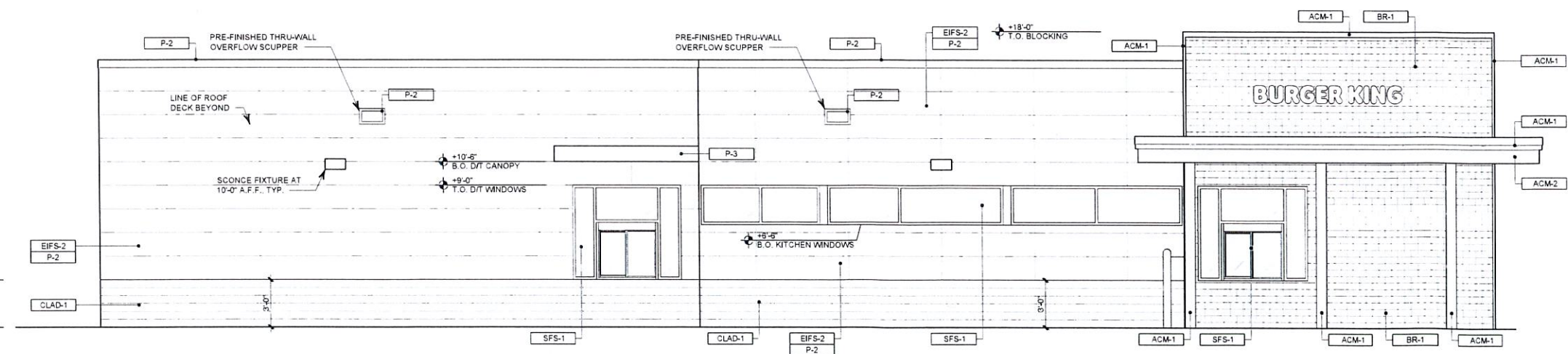
**ELEVATION**  
SCALE: 1/4"=1'-0" 5



**ELEVATION**  
SCALE: 1/4"=1'-0" 3



**SCREEN WALL ELEVATIONS**  
SCALE: 1/4"=1'-0" 6



**ELEVATION**  
SCALE: 1/4"=1'-0" 4

**PRELIMINARY**  
NOT FOR CONSTRUCTION

| No. | Description                   | Date    |
|-----|-------------------------------|---------|
| -   | ISSUED FOR SKETCH PLAN REVIEW | 5/25/23 |

△ - REVISIONS

**BURGER KING**  
301-307 W MAIN STREET  
BATAVIA, NEW YORK

CARROLS, LLC  
SYRACUSE, NEW YORK

**ELEVATIONS**

**ISSUE**  
5/25/23  
LAUER-MANGUSO  
ASSOCIATES ARCHITECTS



**LAUER-MANGUSO & ASSOCIATES ARCHITECTS**  
4080 Ridge Lea Road  
Buffalo, N.Y. 14228  
(716) 837-0833

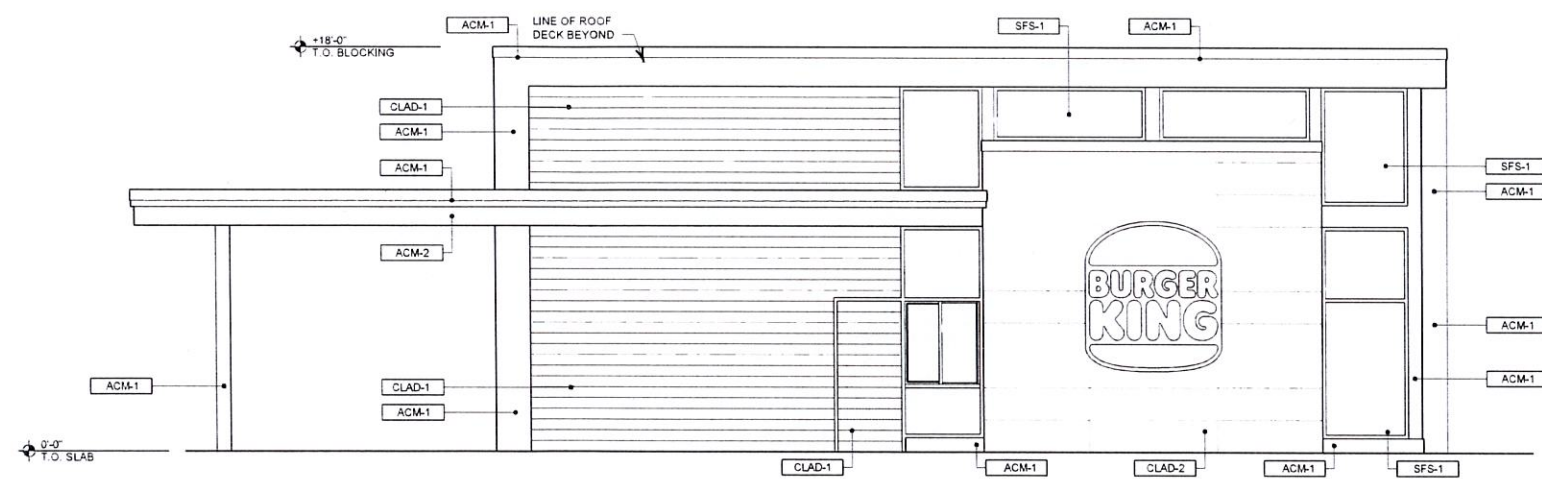
Date \_\_\_\_\_  
Drawn By \_\_\_\_\_  
Checked By \_\_\_\_\_  
Job Number \_\_\_\_\_

**A-2.1**

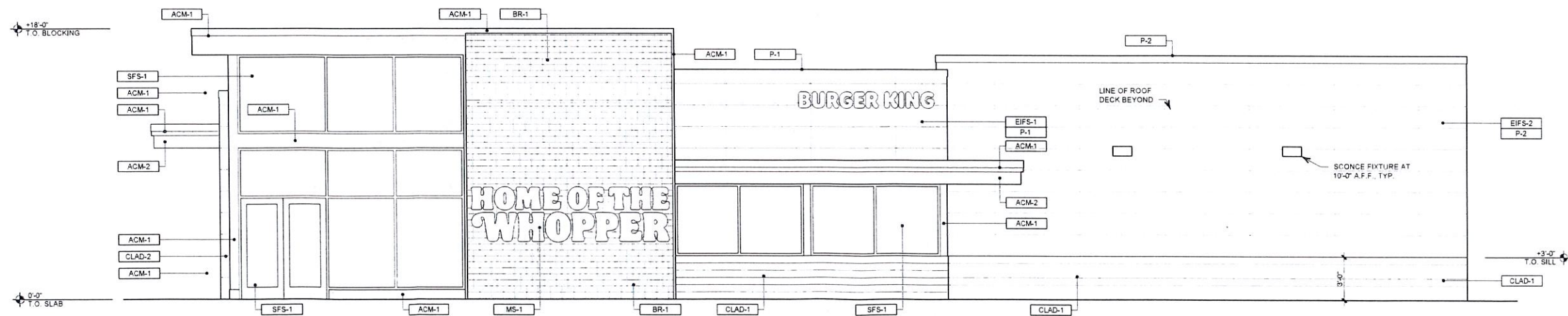
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**ELEVATION 1**  
SCALE: 1/4"=1'-0"



**ELEVATION 2**  
SCALE: 1/4"=1'-0"

**PRELIMINARY**  
NOT FOR CONSTRUCTION

| No.           | Description                   | Date    |
|---------------|-------------------------------|---------|
| -             | ISSUED FOR SKETCH PLAN REVIEW | 5/25/23 |
| △ - REVISIONS |                               |         |

**BURGER KING**  
301-307 W MAIN STREET  
BATAVIA, NEW YORK

CARROLS, LLC  
SYRACUSE, NEW YORK











**ELEVATIONS**

**ISSUED**  
5/25/23  
LAUER-MANGUSO  
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**LAUER-MANGUSO & ASSOCIATES ARCHITECTS**  
4080 Ridge Lea Road  
Buffalo, N.Y. 14228  
(716) 837-0833

Date \_\_\_\_\_ Drawing No. **A-2.0**  
Drawn By \_\_\_\_\_  
Checked By \_\_\_\_\_  
Job Number \_\_\_\_\_

| BURGER KING PROTOTYPE MATERIALS & FINISH SCHEDULE |                                                                                                              |                                    |                                     |                       |                            |                                                                              |                                              |                                                 |  |
|---------------------------------------------------|--------------------------------------------------------------------------------------------------------------|------------------------------------|-------------------------------------|-----------------------|----------------------------|------------------------------------------------------------------------------|----------------------------------------------|-------------------------------------------------|--|
| TAG                                               | MATERIAL                                                                                                     | LOCATION                           | MATERIAL DESCRIPTION                | PROSPECT MANUFACTURER | PRODUCT                    |                                                                              |                                              | MANUFACTURER REPRESENTATIVE CONTACT INFORMATION |  |
|                                                   |                                                                                                              |                                    |                                     |                       | PRODUCT                    | FINISH/COLOR                                                                 | DIMENSION                                    |                                                 |  |
| ACH-1                                             |  ALUMINUM COMPOSITE METAL   | CANOPIES                           | BLACK MATTE FRAME                   | LOCAL SUPPLIER        | ACH                        | TO MATCH P-3                                                                 | REFERENCE DESIGN DOCUMENTS<br>4/14 THICKNESS |                                                 |  |
| ACH-2                                             |  ALUMINUM COMPOSITE METAL   | BOTTOM CANOPIES                    | ORANGE UNDER CANOPY                 | ALLEN INDUSTRIES      | ACH                        | SHERWIN WILLIAMS LIGHT BROWN 6348                                            | REFERENCE DESIGN DOCUMENTS<br>4/14 THICKNESS |                                                 |  |
| BR-1                                              |  BRICK                      | MAIN ENTRANCE                      | WHOPPER BRICK WALL                  | NICHIHA               | TBD                        | TBD                                                                          | TBD                                          |                                                 |  |
| MS-1                                              |  METAL                      | MAIN ENTRANCE                      | WHOPPER SCREEN WALL                 | ALLEN INDUSTRIES      | COSTUME LIGHTBOX SCREEN    | SHERWIN WILLIAMS LIGHT BROWN 6348<br>BACKGROUND: SHERWIN WILLIAMS BROWN 6342 | TBD                                          |                                                 |  |
| CLAD-1                                            |  CLADDING (WOOD)            | MAIN ELEVATION, WAINSCOT & CEILING | FIBER CEMENT TEXTURED PANELS        | NICHIHA               | NEW VINTAGE WOOD           | TBD                                                                          | 18" x 10'-0"                                 |                                                 |  |
| TR-1                                              |  NICHHA OPEN OUTSIDE CORNER | NICHHA OPEN OUTSIDE CORNER         | METAL TRIM                          | NICHHA                | METAL TRIM                 | BLACK MATTE                                                                  | 2.96" x 10'-0"                               |                                                 |  |
| CLAD-2                                            |  CLADDING (CONCRETE)        | MAIN FAÇADE                        | FIBER CEMENT TEXTURED PANELS        | NICHIHA               | INDUSTRIALBLOCK            | GRAY                                                                         | 18" x 10'-0"                                 |                                                 |  |
| EIFS-1                                            |  NICHHA FIBER CEMENT       | DINING EXTERIOR                    | NICHHA FIBER CEMENT                 | NICHIHA               | NICHHA TUFFBLOCK           | TO MATCH P-1                                                                 | 18" x 10'-0"                                 |                                                 |  |
| EIFS-2                                            |  NICHHA FIBER CEMENT      | BOH                                | NICHHA FIBER CEMENT                 | NICHIHA               | NICHHA TUFFBLOCK           | TO MATCH P-2                                                                 | 18" x 10'-0"                                 |                                                 |  |
| ST-1                                              | STUCCO                                                                                                       | DINING EXTERIOR & BOH              | EXTERIOR SMOOTH STUCCO FINISH       | STO OR APPROVED EQUAL | TEXTURE: FINE SAND         | WHITE OR GRAY. MATCH PAINT COLOR DEPENDING ON LOCATION                       | N/A                                          |                                                 |  |
| P-1                                               | PAINT                                                                                                        | DINING EXTERIOR                    | EXTERIOR PAINT                      | BENJAMIN HOORE        | TO MATCH EIFS-1            | BH 2111-50 STONE HARBOR                                                      | N/A                                          |                                                 |  |
| P-2                                               | PAINT                                                                                                        | BOH                                | EXTERIOR PAINT                      | BENJAMIN HOORE        | TO MATCH EIFS-2            | BH 2111-40 TAOS TAUPE                                                        | N/A                                          |                                                 |  |
| P-3                                               | PAINT                                                                                                        | METAL COLUMNS                      | EXTERIOR PAINT                      | BENJAMIN HOORE        | TO MATCH ACH-1             | 2133-10 ONYX SEMI-GLOSS                                                      | N/A                                          |                                                 |  |
| SFS-1                                             |  STOREFRONT SYSTEM        | ALUMINUM STOREFRONT SYSTEM         | HOME OF THE WHOPPER RELIEF IN BRICK | LOCAL SUPPLIER        | ALUMINUM STOREFRONT SYSTEM | BLACK MATTE                                                                  | VARIES                                       |                                                 |  |

**PRELIMINARY**  
NOT FOR CONSTRUCTION

ISSUED FOR SKETCH PLAN REVIEW 5/25/23

| No. | Description   | Date |
|-----|---------------|------|
|     | △ - REVISIONS |      |

**BURGER KING**  
301-307 W MAIN STREET  
BATAVIA, NEW YORK

CARROLS, LLC  
SYRACUSE, NEW YORK

**EXTERIOR  
FINISH SCHEDULE**

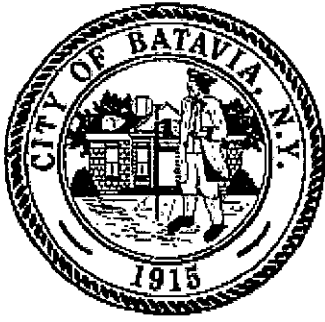
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4080 Ridge Lea Road  
Buffalo, N.Y. 14228  
(716) 837-0833

Date  
Drawn By  
Checked By  
Job Number

Drawing No.  
**A-2.2**



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Planning and Development Committee  
From: Doug Randall, Code Enforcement Officer  
Date: 5/30/23  
Re: 99 Main St.  
Tax Parcel No. 84.049-1-21

Zoning Use District: C-3

The applicant, Todd Audsley (Project Manager), is requesting an appearance before the PDC to review the Committee's previous approval process for the façade design. He would like the opportunity to present the installed stone veneer as the application pattern differs from the originally proposed uniform running bond pattern. They would like to discuss options to modify the in-place materials and satisfy the Committee's concerns.

**Note:** This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (13).

**Review and Approval Procedures:**

**City Planning and Development Committee-** Pursuant to section 190-14 D (2)(a) of the zoning ordinance, any action involving exterior changes requiring issuance of a building permit shall be approved by the PDC.

Project Name: 99 Main Street – Batavia, New York  
Project Number: 17-038C  
Description: Façade Renovation: UPDATE for 06-20-23 Planning Board Meeting

To: Planning and Development Committee  
Attn: Doug Randall, Code Enforcement - Officer Bureau of Inspection  
One Batavia City Centre  
Batavia, New York 14020  
Phone: 585-345-6300  
Email: DRandall@batvianewyork.com

From: Todd Audsley – smartDESIGN Architecture, pllc

Date: May 24, 2023

Please Reply       For your use       As per request / our       For review / comments  
 For your approval       Other      conversation

Mr. Randall:

This is to request an appearance before the Planning Board at the meeting scheduled for June 20, 2023.

The building owners would like to review the board's previous approvals process for the façade design, and address any concerns the board has about the appearance of the stone veneer as installed.

The owners acknowledge the board's concerns, and will discuss options to modify the veneer stone in place, or, if necessary, to replace it or cover it with another material. The owners are in the process of sourcing a color-matched grout for the existing veneer, as well as alternate cladding materials to present to the board. They will have samples in hand at the time of the meeting.



---

As a means of updating all parties on the history of the project and its current status, please refer to the attached files, which show the approved façade design and communication with regard to submissions and approvals.

Thank you.

A handwritten signature in black ink, appearing to read 'D. Randall', is written over a horizontal line.

DESIGN Architecture, PLLC

Attachments:

1. 99 Main Street – FAÇADE DESIGN – (RENDERING) 11-19-21.pdf
2. 99 Main Street – FAÇADE DESIGN – (REVISED) 09-02-22.pdf
3. e – SDA – D. Randall – Façade Design 09-08-22
  - a. Screenshot: Final Submittal 09-08-22
4. e – D. Randall – SD – approved masonry veneer 09-16-22
5. Response to Panning Board 01-25-23.pdf
  - a. Screenshot: Response to Planning Board
6. Photos:
  - a. 99 Main Street façade current conditions (05-24-23)

### 99 Main street Facade - Planning and Development Committee concerns

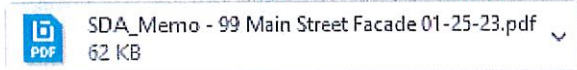


Todd Audsley

To: Douglas E. Randall  
Cc: Kumar Neppalli; vishala neppalli; allaccessbuildersllc@gmail.com

☺ Reply Reply All Forward

Wed 1/25/2023 3:01 PM



Doug:

Please see the attached memo as a written response to the Planning and Development committee's concerns regarding the 99 Main Street façade.

The building owners want the committee to understand that they recognize the issue, and are committed to working with you and the committee to bring the façade into compliance. They will need some time due to weather and contractor availability. They also ask that the committee understand that on a parallel track, they need continue working with you to finish the build-out and gain a certificate of occupancy to begin using the building productively.

I left a voice message for you at your office earlier today. Please let me know if I and/or the owners need to be at the meeting to address the committee, or if the attached memo will suffice.

Thanks.

Todd

**Cyber-crime and wire fraud are real.** If ever contacted by us to wire transfer payment, please telephone our main office (585-345-4067) for confirmation before sending.

This e-mail message is from an architecture firm and may contain information that is confidential, proprietary, or privileged. If you are not the authorized recipient or have received this electronic mail transmission in error, do not read it and delete it from your system without printing or copying the content or any attachments. Please notify the sender by reply e-mail so that we can correct our address record.

#### Todd Audsley

Project Manager  
smartDESIGN Architecture, PLLC

a: 56 Harvester Ave. Batavia, NY  
c: 585-797-3794  
p: 585.345.4067 x115 | f: 585.345.4068  
w: [smartDESIGNArchitecture.com](http://smartDESIGNArchitecture.com)



Project Name: 99 Main Street – Batavia, New York  
Project Number: 17-038C  
Description: Façade Renovation

To: Planning and Development Committee  
Attn: Doug Randall, Code Enforcement - Officer - Bureau of Inspection  
One Batavia City Centre  
Batavia, New York 14020  
Phone: 585-345-6300  
Email: DRandall@batvianewyork.com

From: Todd Audsley – smartDESIGN Architecture, pllc  
Date: January 25, 2023

Please Reply       For your use       As per request / our       For review / comments  
 For your approval       Other      conversation


Mr. Randall:

Thank you for your recent notification that the Planning and Development Committee has concerns about the façade at the storefront level. The building owners acknowledge that the current installation does not closely match the previously approved renderings. The veneer stone originally specified is not currently in production.

As is the case throughout the construction industry, this project is experiencing significant delays due to supply chain issues, labor shortages, and inclement weather. Despite these challenges, the owners are committed to completing the project, and construction and fit-out of the building interior is ongoing, as you know.

The goal of the owners and the contractor is to finish the first floor dental office and the third floor apartments in order to gain a certificate of occupancy and open the building for its intended use. On a parallel path, the project team will coordinate with you to bring the façade into compliance with the committee's requirements.

Thank you.



smartDESIGN Architecture, pllc







NEW PRE-CAST SILL/WALL CAP

METAL STANDING SEAM ROOF IN DARK BRONZE FINISH TO MATCH WINDOWS BELOW - MAXIMUM PROJECTION FROM FACADE = 2'-0"

EXISTING CONCRETE CORBEL, TYPICAL

NEW 4'-8"X24" CONCRETE VENEER PANEL. LIGHT GRAY TO MATCH COLOR AT CAST WINDOW SILLS AND HEADERS, ABOVE

INTERIOR: WOOD CASING AND GLAZING STOPS (CAULKED SEAL) OVER MICROLLAM HEADER AND SUPPORT COLUMN, TYPICAL. - PRIMER/PAIN FINISH EXTERIOR: BREAK METAL IN DARK BRONZE FINISH

NEW DOUBLE-PANE LOW-E INSULATED GLASS PANEL IN THERMALLY BROKEN FRAME

EXISTING SIDEWALK

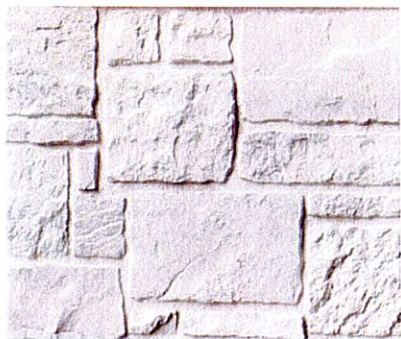
VENEER MATERIAL SELECTION: CASA DI SASSI: "NOVEO VOLTERRA"

1 FRONT ELEVATION - PROPOSED 11-19-21  
1/4" = 1'-0"

# BUFFALO IMPLANTS AND PERIODONTICS BATAVIA



## VOLTERRA



Casa di Sassi's Volterra has a historically classic appearance and consists of stones hewed in rectangular shapes with unique bed face textures and ruggedness. This stone's heights enable ease of installation and coursing. Stones are figured for a 1/2" grout joint.

### PROFILE COLOR



### PROFILE TYPE

Flat

### QUANTITY

1

### Quantity Calculator

#### SHORT DESCRIPTION

Unique textures and rectangular shapes bring a classic look.

NEW ITEM | WEIGHT: 100 lb | COVERS: 10.5 sq ft

ADD TO CART















B

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