

ZONING BOARD OF APPEALS

Thursday, May 23, 2019

6:00 pm

Council Board Room

One Batavia City Centre, Batavia, NY

AGENDA

- I. Roll Call
- II. Call to order
- III. Pledge of Allegiance
- IV. Approval of March 28, 2019 minutes
- V. Statement about the role of the Zoning Board of Appeals and the procedure it follows
- VI. Variance Requests

A. Request #1

172 Pearl St.

Heather Phillips, owner

Area Variance:

Placement of a one-story plastic shed in a yard (east side yard) other than a rear yard

- 1. Review application
- 2. Public hearing and discussion
- 3. Action by the board

B. Request #2

52 Cedar St.

Guy Clark, owner

Area Variance:

Construction of a 6,000 sq.' pole-style building on this undeveloped parcel. The uses will include an area of approximately 900 sq.' for retail sales and 5,100 sq.' for storage and service operations related to the Cedar Street Sales and Rentals business

- 1. Review application
- 2. Public hearing and discussion
- 3. Action by the board

C. Request #3

43 Vernon Ave.

Charles Kohorst, contractor/agent for owner

Area Variance:

Removal of an existing open porch and construction of a new enclosed front porch with stairs and landing under an existing roof. Portions of the new structure will be located within the front yard clear space

1. Review application
2. Public hearing and discussion
3. Action by the board

VII. Setting of Next Meeting: June 27, 2019

VIII. Adjournment

ZONING BOARD OF APPEALS
Draft Minutes
Thursday, March 28, 2019
6:00 pm
Council Board Room
One Batavia City Centre, Batavia, NY

Members present: *Deborah Kerr-Rosenbeck, Paul McCarthy,
Leslie Moma, Jim Russell*

Members absent: Bill Cox, Nick Harris

Others present: Meg Chilano – Recording Secretary, Ron Panek – Code
Enforcement Officer

I. Roll Call

Roll call of the members was conducted. Four members were present and Chairman McCarthy declared a quorum.

II. Call to Order

Mr. McCarthy called the meeting to order at 6:00 pm.

III. Pledge of Allegiance

IV. Approval of Minutes

There were no corrections to the minutes. Mr. McCarthy assumed the motion and the minutes were approved as written by unanimous consent.

RESULT: Approval of February 28, 2019 minutes.

V. Zoning Board of Appeals statement

Mr. McCarthy explained the role of the Zoning Board of Appeals and the procedures it follows.

VI. Variance Request

Area Variance: construction of a 6' x 10' pressure treated wood-frame deck at the front entry of this single-family dwelling to replace an existing 1.9' x 10' concrete patio and stair

Address: *219 East Main St.*

Applicant: Scott Neff, owner

Actions: 1. Review proposal
 2. Public hearing and discussion
 3. Action by the board

1. Review Application

Acting Vice Chair Deborah Kerr-Rosenbeck read the summary of the proposal. Mr. McCarthy reported that both the Genesee County Planning Board and the City of Batavia Planning and Development Committee recommended approval of the proposal.

2. Public Hearing and Discussion

MOTION: Mr. McCarthy moved to open the public hearing; the motion was seconded by Mr. Russell, and on roll call, was approved 4-0.

RESULT: Public hearing opened at 6:04 pm.

Mr. Schiavi told the board that the entrance is falling apart, and he wants to fix it and make it look good.

There was no one present who wished to speak about the project, and no phone calls, letters, or emails.

MOTION: Mr. McCarthy moved to close the public hearing; the motion was seconded by Mr. Russell, and on roll call, was approved 4-0.

RESULT: Public hearing closed at 6:06 pm.

3. Action by the Board

Mr. Panek explained that the Code says each entrance must have a level walking surface leading to the door as a minimum requirement. The board members agreed that there is not another option for dealing with the entrance.

Mr. McCarthy went through the list of supporting criteria for the variance:

- Undesirable change in neighborhood character: no
- Alternative cure sought: no
- Substantiality: no
- Adverse effect or impact on neighborhood/community: no
- Self-created: no

MOTION: Ms. Kerr-Rosenbeck moved to approve the proposal with 60 days to obtain the permit. The motion was seconded by Mr. McCarthy, and on roll call, was approved 4-0.

RESULT: Approval of Area Variance.

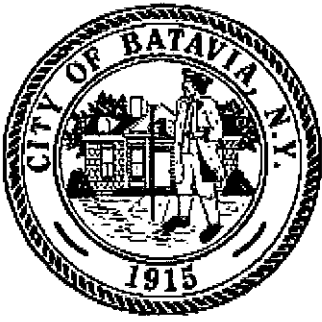
VII. New Business: none

VIII. Setting of Next Meeting: April 25, 2019

IX. Adjournment

Mr. McCarthy moved to adjourn the meeting at 6:11 pm; Mr. Russell seconded. All voted in favor.

Meg Chilano
Bureau of Inspection Secretary



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Zoning Board of Appeals
Genesee County Planning

From: Doug Randall, Code Enforcement Officer

Date: 4/24/18

Re: 172 Pearl St.
Tax Parcel No. 84.009-1-35

Zoning Use District: R-2

The applicant, Heather Phillips (owner), has filed an application to place a one story molded plastic shed in a yard (east side yard) other than a rear yard.

Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (10).

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

Zoning Board of Appeals- Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) **BMC 1990-35 D.** Accessory buildings are not permitted to occupy spaces other than a rear yard.



GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID **C-04-BAT-5-19**
Review Date **5/9/2019**

Municipality
Board Name
Applicant's Name
Referral Type
Variance(s)
Description:

BATAVIA, C.

ZONING BOARD OF APPEALS

Heather Phillips

Area Variance(s)

Area Variance to place a shed in a yard other than a rear yard.

Location
Zoning District

172 Pearl St. (NYS Rt. 33), Batavia

Residential (R-2) District

PLANNING BOARD DECISION

APPROVAL

EXPLANATION:

The proposed shed should pose no significant county-wide or inter-community impact. The applicant is limited in the shed's location due to the shape of the parcel and the adjacent powerline easement.

Director

May 9, 2019

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING

3837 West Main Street Road

Batavia, NY 14020-9404

Phone: (585) 344-2580 Ext. 5467

DEPARTMENT USE ONLY:

GCDP Referral # _____



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

Required According to:

GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N

(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATIONBoard(s) Zoning Board of AppealsAddress One Batavia City CentreCity, State, Zip Batavia, NY 14020Phone (585) 345 - 6347 Ext. _____**2. APPLICANT INFORMATION**Name Heather PhillipsAddress 172 Pearl St.City, State, Zip Batavia, NY 14020Phone (716) 474 - 4372 Ext. _____ Email _____MUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia**3. TYPE OF REFERRAL:** (Check all applicable items)☒ Area Variance☐ Use Variance☐ Special Use Permit☐ Site Plan Review☐ Zoning Map Change☐ Zoning Text Amendments☐ Comprehensive Plan/Update☐ Other: _____

Subdivision Proposal

☐ Preliminary☐ Final**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**A. Full Address 172 Pearl StB. Nearest intersecting road IndustrialC. Tax Map Parcel Number 84.009-1-35

D. Total area of the property _____ Area of property to be disturbed _____

E. Present zoning district(s) R-2**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☒ NO ☐ YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

BMC 190-35 DC. Please describe the nature of this request Approval to place a shed in a yard other than a rear yard**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral☒ Local application☐ Site plan☐ Subdivision plot plans☐ SEQ forms☐ Zoning text/map amendments☐ Location map or tax maps☐ Elevation drawings☐ Agricultural data statement☐ New or updated comprehensive plan☒ Photos☒ Other: Cover letter

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.

Email to planning@co.genesee.ny.us**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com



CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

PAID

MAY 20 2019

Application No.: 19-06

Hearing Date/Time: _____

APPLICANT: Heather Phillips
Name

hlp9924@yahoo.com
E-Mail Address

172 Pearl St.
Street Address

716-474-4372
Phone

Batavia
City

NY
State

14020
Zip

STATUS: ☒ Owner ☐ Agent for Owner ☐ Contractor

OWNER: Heather Phillips

Name

E-Mail Address

172 Pearl St.
Street Address

Batavia
City

NY
State

14020
Zip

LOCATION OF PROPERTY: 172 Pearl St. Batavia NY 14020

DETAILED DESCRIPTION OF REQUEST: To allow a plastic molded shed to remain on side of house where currently placed due to backyard's lack of size due to power line easement.

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Heather Phillips
Applicant's Signature

4/6/19
Date

Heather Phillips
Owner's Signature

4/6/19
Date

To be Filled out by Zoning Officer

TAX PARCEL: 84.009-1-35 ZONING DISTRICT: R-2 FLOOD PLAIN: C

TYPE OF APPEAL: ☒ Area Variance ☐ Use Variance ☐ Interpretation ☐ Decision of Planning Committee
FEE: ☒ \$50 (One or Two Family Use) ☐ \$100 (All other Uses)

Provision(s) of the Zoning Ordinance Appealed: BMC 190-35 D Accessory buildings are not permitted to occupy space other than a rear yard.

Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.
On side of house with no immediate neighbors
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. Backyard is small due to power line easement.
3. **Substantiality.** The requested area variance is not substantial. Small shed 10x8x8.
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.
On the side of the house with no immediate neighbors.
Does not block any views.
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title. Power easement does not allow room for ~~an~~ a structure behind the house.

Neathu Pheer
Applicant's Signature

4/6/19
Date

DATE: 4/6/19APPLICANT NAME & PHONE: Heather Phillips 716-474-4372**Project Location and Information**

Permit #: _____ Fee: _____

Address of Project: 172 Pearl Street Batavia, NY 14020Owner & Address: Heather Phillips 172 Pearl St. Batavia, NY, 14020Phone: 716-474-4372**Project Type/Describe Work**Estimated cost of work: \$ 450. — Start date: 9/1/17

Describe project:

Premade plastic shed**Contractor Information** – Insurance certificates (liability & workers comp) required being on file**GENERAL**

Name/Address: _____

Phone: _____

PLUMBING (City of Batavia Licensed Plumber Required)

Name/Address: _____

Phone: _____

HEATING

Name/Address: _____

Phone: _____

ELECTRICAL (Third Party Electrical Inspection Required)

Name/Address: _____

Phone: _____

FOR OFFICE USE ONLY

Zoning District: _____ Flood Zone: _____ Corner Lot: _____ Historic District/Landmark: _____

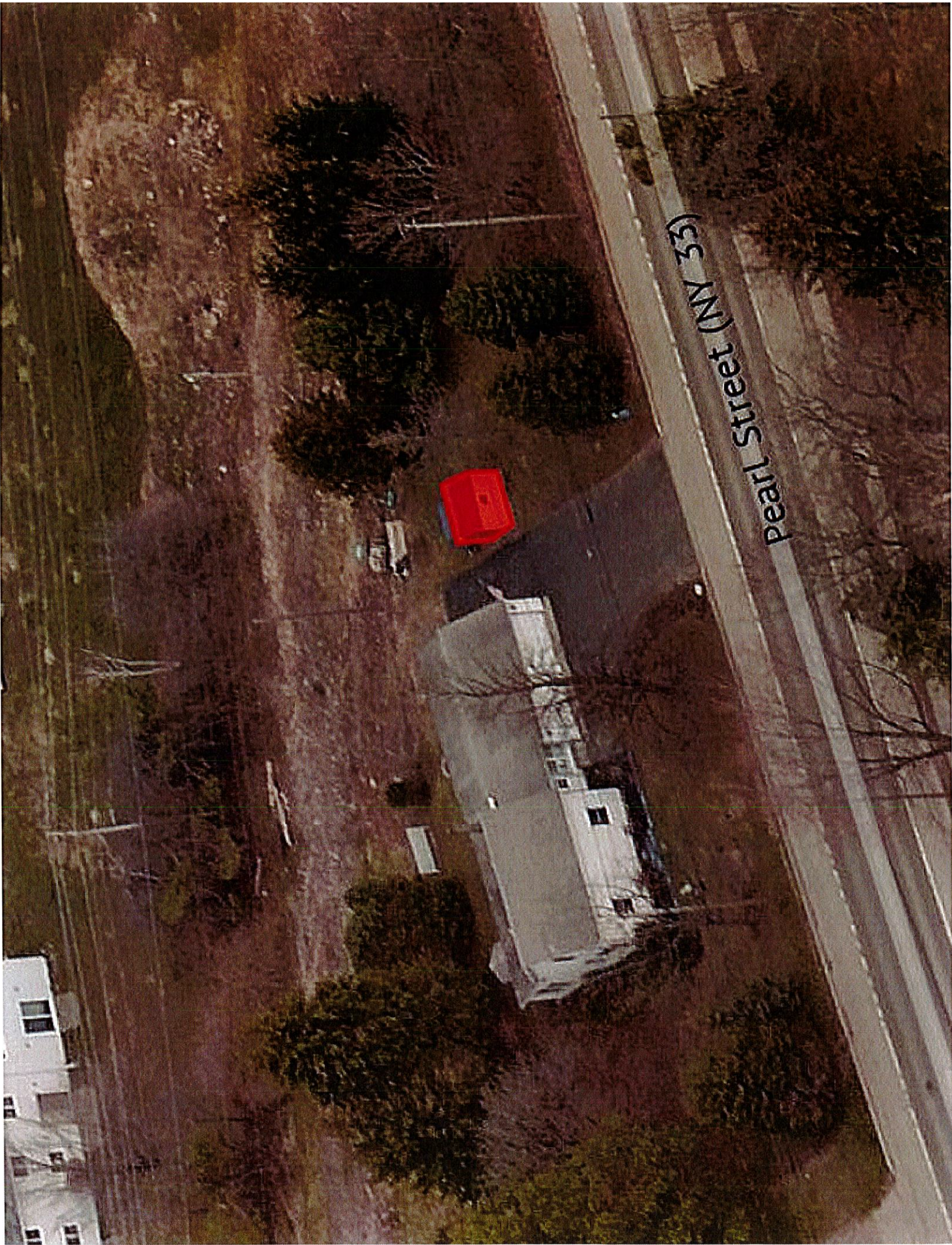
Zoning Review: _____ Variance Required: _____ Site Plan Review: _____ Other: _____

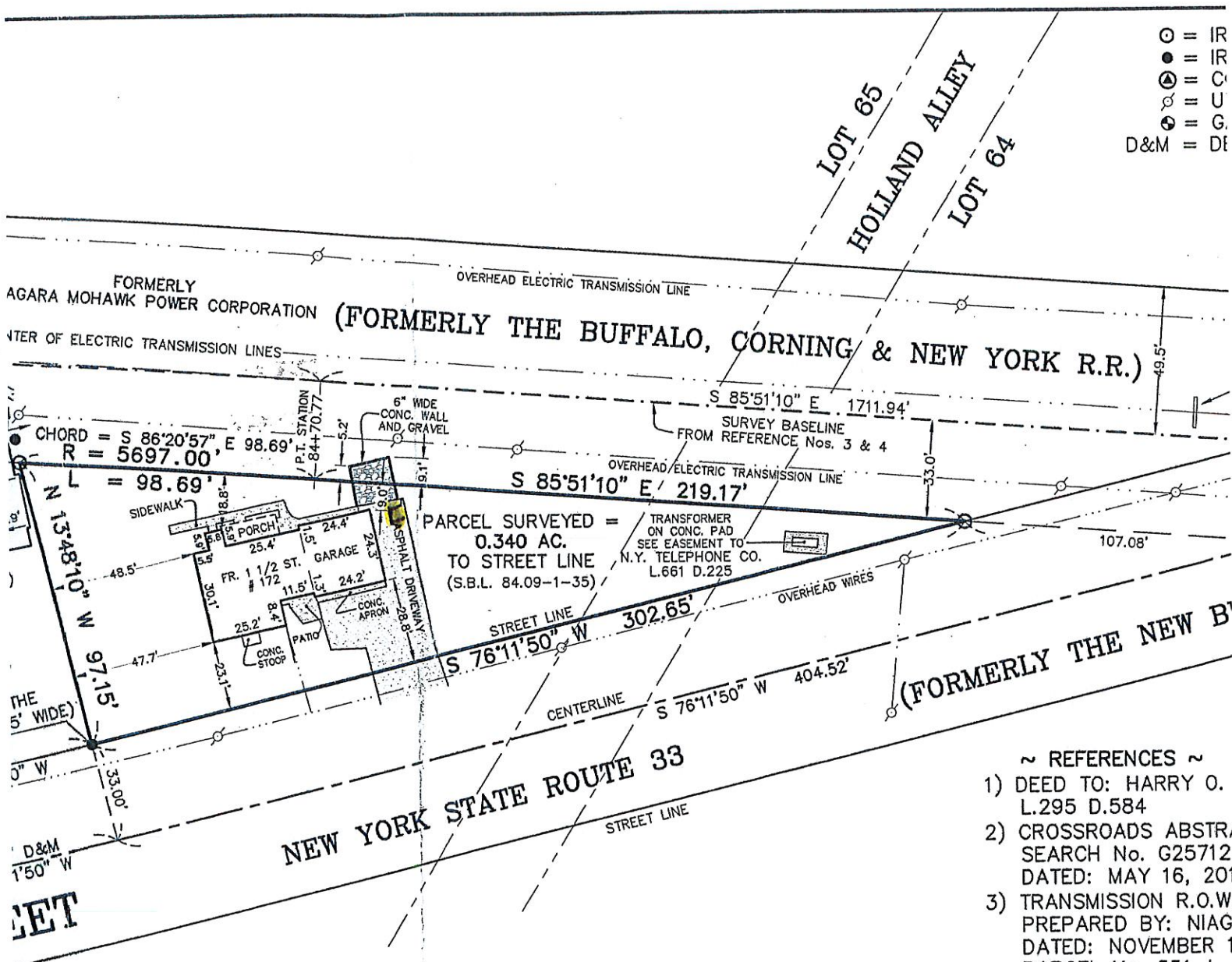
National Grid Sign Off (Pools): _____ Lot Size: _____

Existing Use: _____ NYS Building Code Occupancy Class: _____

Proposed Use: _____ NYS Building Code Occupancy Class: _____

pearl Street (NY 33)

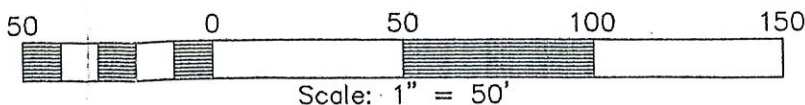




○ = IR
● = IR
⊙ = C
⊗ = U
⊕ = G
D&M = DE

- ~ REFERENCES ~
- 1) DEED TO: HARRY O. L.295 D.584
 - 2) CROSSROADS ABSTRACT SEARCH No. G25712 DATED: MAY 16, 201
 - 3) TRANSMISSION R.O.W. PREPARED BY: NIAG DATED: NOVEMBER 1 PARCEL No. 551-L-
 - 4) TRANSMISSION R.O.W. PREPARED BY: NIAG DATED: APRIL 13, 19 PARCEL No. 551-L-

MAP OF A SURVEY
OF LAND BELONGING TO
HARRY O. PASK & DORIS L. PASK
BEING PART OF ORIGINAL VILLAGE LOTS 64 & 65 & A HOLLAND ALLEY
SITUATE IN THE
CITY OF BATAVIA
GENESEE COUNTY, NEW YORK
1" = 50' JUNE 15, 2011



NOTE:



GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID C-03-BAT-5-19
Review Date 5/9/2019

Municipality BATAVIA, C.
Board Name CITY PLANNING AND DEVELOPMENT/ZBA COMM.
Applicant's Name Guy Clark
Referral Type Site Plan Review
Variance(s) Area Variance(s)
Description: Site Plan Review and Area Variance to construct a 6,000 sq. ft. (60 x 100 ft.) building for retail sales and inventory for an adjacent business (Cedar Street Sales and Rentals).
Parking in front of the building is not allowed.

Location 52 Cedar St., Batavia
Zoning District Industrial (I-2) District

PLANNING BOARD DECISION

APPROVAL

EXPLANATION:

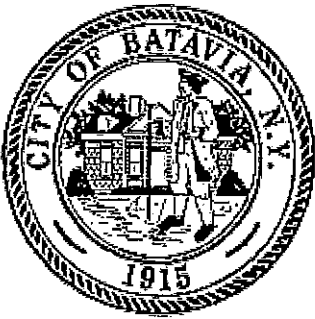
Given that there is existing parking in the front of the property and that adjacent businesses exhibit similar parking patterns, the proposed building and variance should pose no significant county-wide or inter-community impact. The proposed vegetative buffer should mitigate any impacts on the adjacent residence.

Director

May 9, 2019

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020

(585)-345-6345

(585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 4/29/19

Re: 52 Cedar St.
Tax Parcel No. 84.020-1-9

Zoning Use District: I-2

The applicant, Guy Clark (owner), has filed an application to construct a 6,000 square foot pole style building on this undeveloped parcel. The uses will include an area of approximately 900 square feet for retail sales and 5,100 square feet for storage and service operations related to the Cedar Street Sales and Rentals business.

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the boundary of a County or State park or other recreation area.

City Planning and Development Committee- Pursuant to section 190-44 C. (1)(a) of the zoning ordinance, the Planning and Development Committee shall perform a site plan review of applications for new buildings that increase the lot coverage by more than 1,300 square feet.

Zoning Board of Appeals- Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) BMC 190-39 B(a) Parking shall be located behind or to the side of the principal building. The plan indicates parking across the front of the building.

The PDC will conduct the uncoordinated review of SEQR.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 344-2580 Ext. 5467

DEPARTMENT USE ONLY:

GCDP Referral # _____



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

Required According to:

GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N

(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATIONBoard(s) PDC and ZBAAddress One Batavia City CentreCity, State, Zip Batavia, NY 14020Phone (585) 345 - 6347 Ext. _____**2. APPLICANT INFORMATION**Name Guy ClarkAddress 111 Cedar St.City, State, Zip Batavia, NY 14020Phone (585) 343 - 4899 Ext. _____ Email _____MUNICIPALITY: ☒ City ☐ Town ☐ Village of Batavia**3. TYPE OF REFERRAL:** (Check all applicable items)☒ Area Variance☐ Use Variance☐ Special Use Permit☒ Site Plan Review☐ Zoning Map Change☐ Zoning Text Amendments☐ Comprehensive Plan/Update☐ Other: _____

Subdivision Proposal

☐ Preliminary☐ Final**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**A. Full Address 52 Cedar St.B. Nearest intersecting road FlorenceC. Tax Map Parcel Number 84.020-1-9D. Total area of the property .98 acres Area of property to be disturbed _____E. Present zoning district(s) I-2**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☒ NO ☐ YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

BMC 190-39 B (a) ParkingC. Please describe the nature of this request Approval to construct a 6,000 sq.' building for retails sales and storage**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral☒ Local application☒ Site plan☐ Subdivision plot plans☒ SEQR forms☐ Zoning text/map amendments☐ Location map or tax maps☒ Elevation drawings☐ Agricultural data statement☐ New or updated comprehensive plan☒ Photos☒ Other: Cover letter

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.

Email to planning@co.genesee.ny.us**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext. _____Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com



CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.:

19-05

Hearing Date/Time:

APPLICANT:

Guy Clark

Name

111 Cedar St.

Street Address

Batavia

City

NY

State

E-Mail Address

343-4899

Phone

Fax

14050

Zip

STATUS:

☒ Owner

☐ Agent for Owner

☐ Contractor

OWNER:

Same

Name

E-Mail Address

Street Address

Phone

Fax

City

State

Zip

LOCATION OF PROPERTY:

52 Cedar St.

DETAILED DESCRIPTION OF REQUEST:

Approval for parking at the front of
the new building.

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Applicant's Signature

Date

4/29/19

Owner's Signature

Date

4/29/19

To be Filled out by Zoning Officer

TAX PARCEL:

84.050-1-9

ZONING DISTRICT:

I-2

FLOOD PLAIN:

C

TYPE OF APPEAL:

☒ Area Variance

☐ Use Variance

☐ Interpretation

☐ Decision of Planning Committee

FEE:

☐ \$50 (One or Two Family Use)

☒ \$100 (All other Uses)

Provision(s) of the Zoning Ordinance Appealed:

BMC 190-39 B(a) Parking shall be located
behind or to the side of the principal building.

PAID

APR 30 2019

CITY OF BATAVIA
CLERK-TREASURER

Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.
The requested four parking spaces to be located in front of the building will be located approximately 100' from road and should not have negative impact on neighborhood.
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance.
Due to site configuration, we are limited in where we can locate parking and still maintain room for truck deliveries
3. **Substantiality.** The requested area variance is not substantial.
Parking is for only four spaces, and is located 100' from road and behind fence
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.
The four parking spaces located in front of building should not have any impact on environment or neighborhood
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title.
Requested change is result of property configuration, which limits alternatives

Andrew Schumacher
Applicant's Signature

4/29/19
Date

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

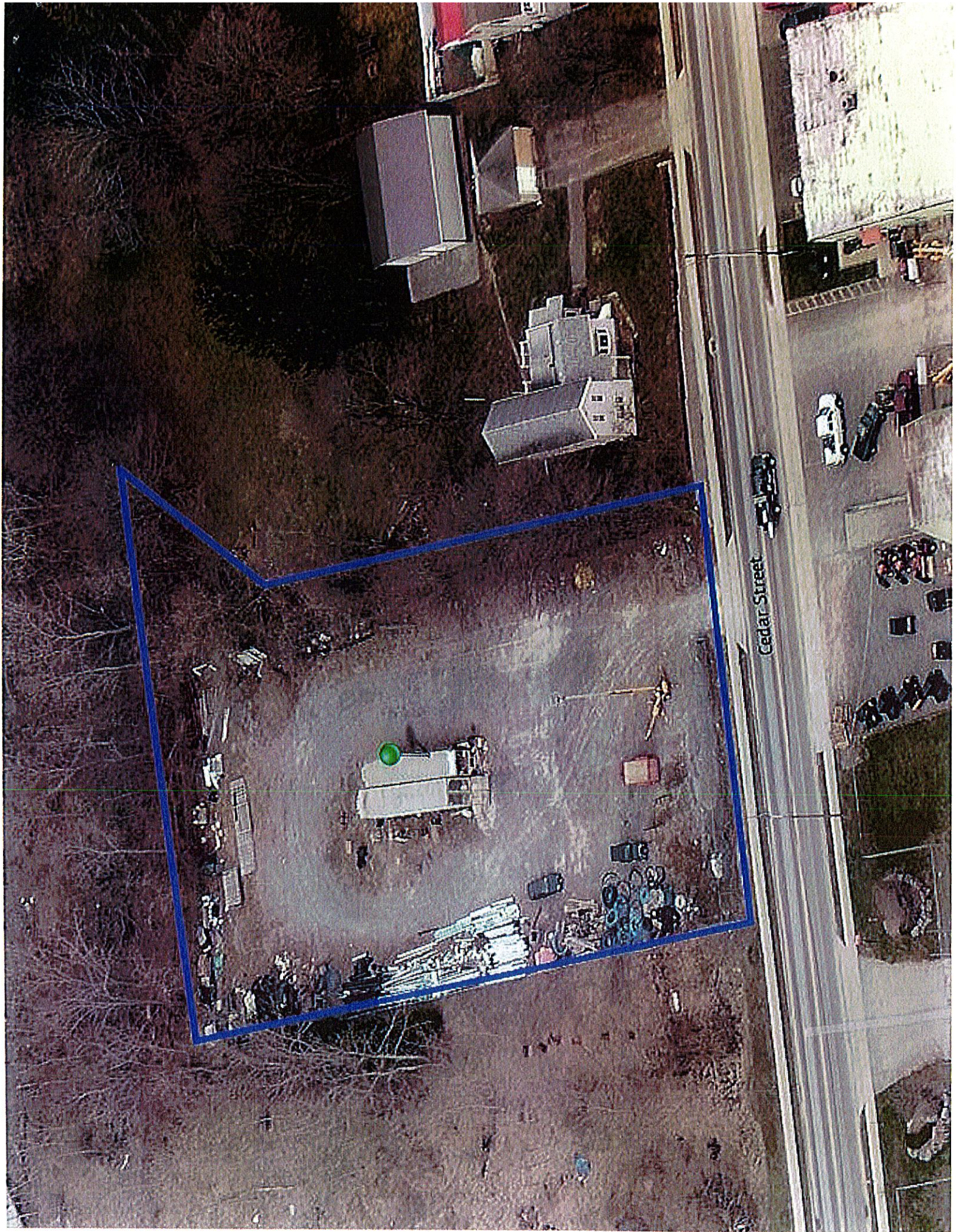
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Cedar Street Sales Retail/storage Building			
Project Location (describe, and attach a location map): 52 151 Cedar Street, City of Batavia, location map provided in submitted plans			
Brief Description of Proposed Action: Proposal is to construct 60ft x 100ft pole barn type building for use as retail sales and inventory storage. Project will include concrete loading dock. Majority of building will not be conditioned, only restroom is proposed to be conditioned at this time.			
Name of Applicant or Sponsor: Andrew Schmieder		Telephone: (585) 297 - 3552 E-Mail: ads60@verizon.net	
Address: 11142 Alexander Road			
City/PO: Attica		State: NY	Zip Code: 14011
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.98 acres	
b. Total acreage to be physically disturbed?		0.30 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		2.28 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Roof runoff will be directed to drainage swale located west of property		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Andrew Schmieder</u> Date: <u>4/26/19</u>		
Signature: <u>Andrew Schmieder</u> Title: <u>Eng.</u>		



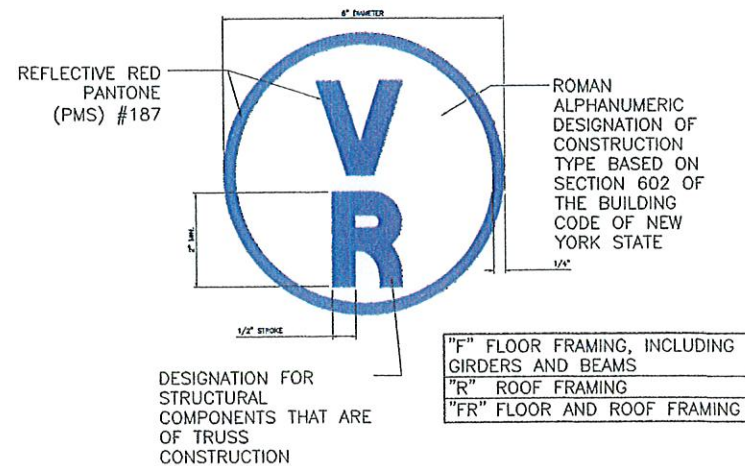


STORAGE BUILDING CODE COMPLIANCE							
ITEM	SECTION	REQ'D/ALLOW'D	PROPOSED	ITEM	SECTION	REQ'D/ALLOW'D	PROPOSED
CLASSIFICATION & DESIGN				STRUCTURAL REQUIREMENTS			
OCCUPANCY GROUP	CHAPTER 3	M	M	BLDG CLASS/SEISMIC USE GRP	TABLE 1604.5	II	II
ACCESSORY USE AREAS	SECTION 302.2	< %10	< %10	MAXIMUM FLOOR LIVE LOAD	TABLE 1607.1	VEH.WT.	VEH WT
SPECIAL USE & OCCUPANCY	CHAPTER 4	NA/MINOR SERVICE	NA	ROOF LIVE LOAD	SECTION 1607.12	20 PSF	20 PSF
BUILDING AREA	CHAPTER 5			GROUND SNOW LOAD	FIGURE 1608.1	50 PSF	50 PSF
SPRINKLER INCREASE	SECTION 506	NA	NA	ROOF SNOW LOAD (Pf)	SECTIONS 1608.1	40 PSF	40 PSF
FRONTAGE INCREASE	SECTION 506	NA	NA	SNOW LOAD IMP. FACTOR	ASCE-7	1.0	1.0
BUILDING HEIGHT	TABLE 504.3	65'	25'	SNOW EXPOSURE FACTOR	ASCE 7	0.9	0.9
ALLOW AREA	SECTION 506.2	9,000	6,000	THERMAL FACTOR FACTOR	ASCE-7	1.2	1.2
NUMBER OF STORIES	TABLE 504.4	1	1	BASIC WIND SPEED	FIGURE 1609	115 MPH	115 MPH
				EQUIVALENT WIND SPEED	TABLE 1609.3.1	89 MPH	89 MPH
CONSTRUCTION TYPE	CHAPTER 6	ANY	TYPE VB	MAX. WIND LOAD	TABLE 1609.6	18 PSF	18 PSF
FIRE RESISTANCE RATING	TABLE 602	0	0	FLOOD LOAD	SECTION 1612	NA	NA
FIRE SAFETY FEATURES				SITE CLASS	ASCE 7	D	D
FIRE WALLS	SECTION 706	NA	NA	SEISMIC DESIGN CATEGORY	ASCE 7	B	B
FIRE BARRIERS	SECTION 706	NA	1HR	SEISMIC MAPPING FACTORS			
FIRE PARTITIONS	SECTION 708/1004.3.2.1	NA	NA	S ₂	FIGURE 1613 (1)	0.204	
AUTOMATIC SPRINKLER SYSTEM	SECTION 903.2.9	NA	NA	S ₁	FIGURE 1613 (2)	0.062	
				FIRE RESISTANCE RATINGS			
FIRE EXTINGUISHERS	NYSFC SECTION 906	3	3	STRUCTURAL FRAME	TABLE 601	0	0
FIRE & SMOKE DETECTION	SECTION 907	NR	Y	INTERIOR BEARING WALLS	TABLE 601	0	0
FIRE ALARM SYSTEM	SECTION 907	NR	Y	EXTERIOR BEARING WALLS	TABLE 601	0	0
				INTERIOR NON-BEARING WALLS	TABLE 602	0	0
MEANS OF EGRESS				EXTERIOR NON-BEARING WALLS	TABLE 602	0	0
TOTAL OCCUPANT LOAD	TABLE 1004.1.1	20	2	FLOOR CONSTRUCTION	TABLE 601	0	0
MIN. TTL. EGRESS WIDTH-STAIR	SECTION 1011	NA	NA	ROOF CONSTRUCTION	TABLE 601	0	0
MIN. TTL. EGRESS WIDTH-OTHER	SECTION 1005.1	0.2X12 = 4"	36"	FIRE WALLS	TABLE 706.4	NA	NA
ACCESSIBLE MEANS OF EGRESS	SECTION 1007	YES - 2	YES - 1	VERTICAL EXIT ENCLOSURE	SECTION 1020	NA	NA
MIN. EGRESS DOOR WIDTH	SECTION 1010	32" CLEAR	36" CLEAR	EXIT PASSAGEWAY	SECTION 1021	NA	NA
MIN. EGRESS STAIR WIDTH	SECTION 1011	NA	NA	INCIDENTAL USE AREAS	TABLE 508.2	N/A	N/A
MIN. EGRESS RAMP WIDTH	SECTION 1012	NA	NA	OCCUPANCY SEPARATION	TABLE 508.3.3	NA	NA
MAX. EXIT ACCESS TRAVEL	TABLE 1017	200'	60'	CORRIDORS	SECTION 1017	NA	NA
MIN. EGRESS CORRIDOR WIDTH	SECTION 1020	NA	NA	ACCESSIBILITY			
MIN. NUMBER OF EXITS	SECTION 1022	2	2	VERTICAL ACCESS	SECTION 1104.4	NA	NA
				PARKING	TABLE 1106.1	4	4

NA - NOT APPLICABLE // NC - NON-COMBUSTIBLE // C - COMBUSTIBLE // NR - NOT REQUIRED

ENERGY CONSERVATION CODE			
THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS, R-VALUE METHOD			
TABLE C402.1.3			
LABEL	DESCRIPTION	VALUE	COMMENTS
1	CLIMATE ZONE	5A	
2	ATTIC AND OTHER	R-38	
3	WALLS ABOVE GRADE—WOOD FRAMED AND OTHER	R-13 + R-3.8CI OR, R-20	
4	WALLS BELOW GRADE	R-7.5CI	
5	FLOORS—JOIST FRAMING	R-30	
6	SLAB ON GRADE — UNHEATED SLAB	R-10 FOR 24" BELOW	

(PRESCRIPTIVE VALUES HAVE BEEN USED TO MEET THE 2015 IECC REQUIREMENTS)
ONLY THE BATHROOM AREA IS TO BE CONDITIONED



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NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209



DATE _____

ANDREW SCHMIEDER, PE
11142 ALEXANDER ROAD, ATTICA, NY
(585) 297-3552

CODE COMPLIANCE

STORAGE / RETAIL BUILDING

CEDAR STREET SALES
151 CEDAR STREET, BATAVIA, NY

PROJECT NO.:	PROJ. MGR.
005-2010	ADS

DATE:	DRWN. BY:
4-3-19	

SCALE: AS NOTED	CHKD. BY: ADS
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DRAWING NO:
N-1

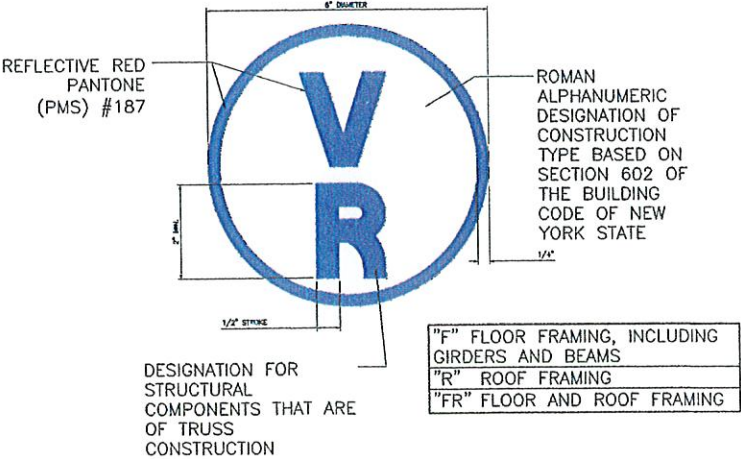
SHEET NO.
2 of 16

STORAGE BUILDING CODE COMPLIANCE							
ITEM	SECTION	REQ'D/ALLOW'D	PROPOSED	ITEM	SECTION	REQ'D/ALLOW'D	PROPOSED
CLASSIFICATION & DESIGN				STRUCTURAL REQUIREMENTS			
OCCUPANY GROUP	CHAPTER 3	M	M	BLDG CLASS/SEISMIC USE GRP	TABLE 1604.5	II	II
ACCESSORY USE AREAS	SECTION 302.2	< %10	< %10	MAXIMUM FLOOR LIVE LOAD	TABLE 1607.1	VEH.WT.	VEH WT
SPECIAL USE & OCCUPANCY	CHAPTER 4	NA/MINOR SERVICE	NA	ROOF LIVE LOAD	SECTION 1607.12	20 PSF	20 PSF
BUILDING AREA	CHAPTER 5			GROUND SNOW LOAD	FIGURE 1608.1	50 PSF	50 PSF
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BUILDING HEIGHT	TABLE 504.3	65'	25'	SNOW EXPOSURE FACTOR	ASCE 7	0.9	0.9
ALLOW AREA	SECTION 506.2	9,000	6,000	THERMAL FACTOR FACTOR	ASCE-7	1.2	1.2
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CONSTRUCTION TYPE	CHAPTER 6	ANY	TYPE VB	MAX. WIND LOAD	TABLE 1609.6	18 PSF	18 PSF
FIRE RESISTANCE RATING	TABLE 602	0	0	FLOOD LOAD	SECTION 1612	NA	NA
FIRE SAFETY FEATURES				SITE CLASS			
FIRE WALLS	SECTION 706	NA	NA	SEISMIC DESIGN CATEGORY	ASCE 7	B	B
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				FIRE RESISTANCE RATINGS			
FIRE EXTINGUISHERS	NYSFC SECTION 906	3	3	STRUCTURAL FRAME	TABLE 601	0	0
FIRE & SMOKE DETECTION	SECTION 907	NR	Y	INTERIOR BEARING WALLS	TABLE 601	0	0
FIRE ALARM SYSTEM	SECTION 907	NR	Y	EXTERIOR BEARING WALLS	TABLE 601	0	0
				INTERIOR NON-BEARING WALLS	TABLE 602	0	0
				EXTERIOR NON-BEARING WALLS	TABLE 602	0	0
MEANS OF EGRESS				FLOOR CONSTRUCTION			
TOTAL OCCUPANT LOAD	TABLE 1004.1.1	20	2	ROOF CONSTRUCTION	TABLE 601	0	0
MIN. TTL. EGRESS WIDTH-STAIR	SECTION 1011	NA	NA	FIRE WALLS	TABLE 706.4	NA	NA
MIN. TTL. EGRESS WIDTH-OTHER	SECTION 1005.1	0.2X12 = 4"	36"	VERTICAL EXIT ENCLOSURE	SECTION 1020	NA	NA
ACCESSIBLE MEANS OF EGRESS	SECTION 1007	YES - 2	YES - 1	EXIT PASSAGEWAY	SECTION 1021	NA	NA
MIN. EGRESS DOOR WIDTH	SECTION 1010	32" CLEAR	36" CLEAR	INCIDENTAL USE AREAS	TABLE 508.2	N/A	N/A
MIN. EGRESS STAIR WIDTH	SECTION 1011	NA	NA	OCCUPANCY SEPARATION	TABLE 508.3.3	NA	NA
MIN. EGRESS RAMP WIDTH	SECTION 1012	NA	NA	CORRIDORS	SECTION 1017	NA	NA
MAX. EXIT ACCESS TRAVEL	TABLE 1017	200'	60'	ACCESSIBILITY			
MIN. EGRESS CORRIDOR WIDTH	SECTION 1020	NA	NA	VERTICAL ACCESS	SECTION 1104.4	NA	NA
MIN. NUMBER OF EXITS	SECTION 1022	2	2	PARKING	TABLE 1106.1	4	4

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3	2	1	NO. DATE:
DESCRIPTION		REVISIONS	



ANDREW SCHMIEDER, PE
11142 ALEXANDER ROAD, ATTICA, NY
(585) 297-3552

DRAWING TITLE:	CODE COMPLIANCE
PROJECT NAME:	STORAGE/RETAIL BUILDING
CLIENT:	111 CEDAR ST., BATAVIA, NY CEDAR STREET SALES 151 CEDAR STREET, BATAVIA, NY

PROJECT NO.:	005-2019	PROJ. MGR.	ADS
DATE:	4-3-19	DRWN. BY:	
SCALE:	AS NOTED	CHKD. BY:	ADS
DRAWING NO.:	N-1		
SHEET NO.	2	of 16	

GENERAL NOTES

- STRUCTURE IS TO BE 60FT X 100FT POLE BARN TYPE CONSTRUCTION. BUILDING IS TO BE USED PRIMARILY FOR MATERIAL STORAGE, WITH PERIODIC RETAIL SALES. BUILDING WILL HAVE CONDITION BATHROOM.
- DESIGN, CONSTRUCTION AND SAFETY SHALL CONFORM TO ALL LOCAL, STATE AND OWNER SPECIFIC CODES, INCLUDING (BUT NOT LIMITED TO) THE "NEW YORK STATE UNIFORM FIRE PROTECTION AND BUILDING CODE", LATEST REVISION, THE NFPA 101 LIFE SAFETY CODE, LATEST REVISION, ANSI A117.1 - LATEST REVISION, OSHA, AND ANY OTHER CODES GOVERNED BY THE JURISDICTION IN WHICH THIS PROJECT IS BEING CONSTRUCTED.
- THIS CONTRACT REQUIRES COMPLETE, FINISHED WORKABLE PROJECT OF THE AREAS INDICATED BY THE CONTRACT DOCUMENTS, AND SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY TO COMPLETE, REGARDLESS OF WHETHER OR NOT ALL WORK OR EACH ITEM IS SPECIFICALLY INDICATED ON ANY OTHER PORTION OF THE DRAWINGS AND/OR NOTES.
- CONTRACTOR SHALL OBTAIN FROM OWNER ALL REQUIREMENTS FOR INSTALLATION OF OWNER PROVIDED EQUIPMENT INCLUDING ROUGHING DIAGRAMS, INSTALLATION INSTRUCTIONS, ELECTRICAL SCHEMATICS, TEMPLATES, LAYOUTS AND DIMENSIONS AND ALL OTHER INFORMATION NECESSARY FOR A PROPER, WELL COORDINATED INSTALLATION. PRIOR TO ROUGH-IN OF SERVICES, CONFER WITH OWNER EXACT LOCATION OF ALL ITEMS.
- WOOD USED FOR BLOCKING OR OTHER PURPOSES ON OR ABOVE THE ROOF DECK, WITHIN 2'-0" OF GRADE AND OTHER LOCATIONS OUTSIDE THE BUILDING ENVELOPE WHERE EXPOSED TO THE WEATHER, SHALL BE PRESSURE TREATED TYPE.
- FINISHED DOOR OPENINGS SHALL BE NOMINAL 6" FROM FINISHED CORNER OF ROOM AT HINGE SIDE, EXCEPT WHERE DIMENSIONED OTHERWISE. ON THE 'PULL' SIDE OF A DOOR OPENING, THE STRIKE SIDE SHALL BE NOMINAL 18" FROM A PERPENDICULAR WALL. ON THE 'PUSH' SIDE OF A DOOR OPENING EQUIPPED WITH BOTH A CLOSER AND LATCH, THE STRIKE SIDE SHALL BE NOMINAL 12" FROM A PERPENDICULAR WALL.
- REFER TO ELECTRICAL DRAWINGS FOR NOTES RELATED TO ELECTRICAL WORK.

DOOR SCHEDULE							
LABEL	DESCRIPTION	GLASS	HARDWARE PACKAGE	SIZE	FIRE RATING	TYPE	COMMENTS
D-1	INSULATED STEEL WITH HALF GLASS	28"x36"±	1	3'-0"x6'-8"	-	A	
D-2	ROLL-UP OVERHEAD DOOR		2	10'-0"x14'-0"	--	--	
D-3	ROLL-UP OVERHEAD DOOR		2	14'-0"x14'-0"	--	--	INSULATED
D-4	SOLID CORE WOOD		3	3'-0"x6'-8"	-	B	1" UNDERCUT

NOTES:

- ALL INTERIOR FRAMES TO BE WOOD FRAME
- ALL GLASS IN DOORS SHALL BE CLEAR LAMINATED SAFETY GLASS.
- EXTERIOR DOORS SHALL BE THERMA TRU CONSTRUCTION SERIES STEEL DOOR SYSTEM W/ ¾ FRAME & MOULDING GASKETED WITH ½" INSULATED, CLEAR LAMINATED SAFETY GLASS.

HARDWARE PACKAGE:

- ENTRY LOCKSET W/ CLOSER, WEATHER PACKAGE.
- PROVIDE MOTOR OPERATORS SUITABLE FOR DOOR SIZES

CONCRETE/FOUNDATION NOTES

- ALL FOOTINGS SHALL BE PLACED ON CLEAN, DRY, LEVEL, UNDISTURBED SOIL. DO NOT PLACE FOUNDATIONS ON FILL MATERIAL UNLESS ORDERED OTHERWISE BY THE ENGINEER.
- CONTROLLED COMPACTED FILL SHALL BE IMPORTED GRANULAR MATERIAL, SIMILAR IN GRADATION TO NYS DOT ITEM 304.02 OR 304.03. FILL SHALL BE SPREAD IN 8" THICK LAYERS AND UNIFORMLY COMPACTED WITH A MIN 4,000 lb ROLLER.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE EXCAVATIONS ARE DRY PRIOR TO PLACING CONCRETE.
- THE CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE THE REMOVAL AND REPLACEMENT OF ANY UNSUITABLE OR UNSTABLE SUB GRADE SOILS ENCOUNTERED DURING CONSTRUCTION.
- FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,500 PSF. CONTRACTOR TO NOTIFY PROJECT ENGINEER FOR VERIFICATION OF SOIL CONDITIONS PRIOR TO PLACING FOUNDATIONS.
- 28 DAY COMPRESSIVE STRENGTH FOR ALL FOUNDATION CONCRETE SHALL BE 4000 PSI.
- ALL REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60.
- PROVIDE CONCRETE COVER OVER REINFORCING IN ACCORDANCE WITH THE REQUIREMENTS OF A.C.I. 318-83.
- ALL REINFORCING SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF A.C.I. 315-74.
- ALL SLABS-ON-GRADE SHALL BE PLACED OVER A 6" LAYER OF CLEAN, WELL-GRADED TYPE 1 & 2 CRUSHED STONE (CRUSHER RUN).
- CONTROL JOINTS SHOWN ON DRAWINGS, SHALL BE CUT AS SOON AS SLAB HAS HARDENED SUFFICIENTLY TO SUPPORT MEN AND EQUIPMENT (USUALLY WITHIN 4 TO 12 HOURS).
- ALL WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO ASTM A185, WITH AN ULTIMATE TENSILE STRENGTH OF 70,000 PSI AND SHALL BE PROVIDED IN SHEETS.
- MESH REINFORCING IN ALL SLABS-ON-GRADE SHALL BE PLACED IN THE UPPER THIRD OF THE SLAB.

CARPENTRY NOTES

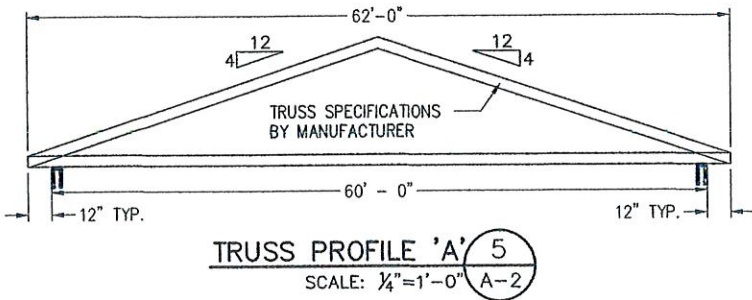
- PROVIDE ALL ROUGH FRAMING AND SHEATHING AS SHOWN INCLUDING ANCHORS. SURFACE LUMBER 4 SIDES TO COMPLY WITH SR-16 RECOMMENDATIONS, KILN DRIED TO A MOISTURE CONTENT NOT TO EXCEED 15%.
- LAYOUT, CUT, FIT AND ERECT FRAMING FOR ROUGH CARPENTRY WORK. BRACE, PLUMB AND LEVEL ALL MEMBERS, AND IN TRUE ALIGNMENT, RIGIDLY SECURE IN PLACE WITH SUFFICIENT FASTENERS.
- WOOD TRUSSES SHALL BE DESIGNED TO MEET NYS BUILDING CODE AND SHALL BE MANUFACTURED BY A RECOGNIZED SUPPLIER. SUPPLIER SHALL PROVIDE NYS PE STAMPED WORK DRAWINGS PRIOR TO FABRICATION. INSTALLATION OF THE WOOD TRUSSES SHALL BE IN STRICT COMPLIANCE WITH THE RECOMMENDATIONS OF THE TRUSS SUPPLIER INCLUDING, BUT NOT LIMITED TO BRACING, BRIDGING, AND SEQUENCING.
- MINIMUM STRUCTURAL & FRAMING LUMBER SHALL HAVE A MINIMUM FB=1000 PSI, FV=95 PSI, Ft=450 PSI, Fc=1150 PSI & E=1,300,000.
- ALL LUMBER IN CONTACT WITH GRADE SHALL BE PRESSURE TREATED. WOOD PRESERVATIVE SHALL MEET THE MINIMUM RETENTION AS SET FORTH IN THE LATEST AMERICAN WOOD-PRESERVERS ASSOCIATION COMMODITY STANDARDS.
- TIMBER POST TO BE PRESSURE TREATED TO A MINIMUM OF 6FT ABOVE FINISHED GRADE

SITE UTILITY NOTES

- WATER, SEWER AND ELECTRICAL SERVICES WILL BE PROVIDED TO NEW STRUCTURE.

GENERAL NOTES:

- ALL SPECIFIED ITEMS TO BE FURNISHED AS NOTED OR APPROVED EQUAL.



ROOF TRUSS DESIGN LOADS:

T.C.L.L.: BALANCED SNOW = 43 PSF
UNBALANCED SNOW = 65 PSF
T.C.D.L. = 10 PSF
B.C.D.L. = 10 PSF
T.C.L.L. = 40 PSF
B.C.L.L. = 0 PSF

GENERAL DESIGN LOAD NOTES

- THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATION REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT.

A. "2016 IBC AS ADOPTED BY NEW YORK STATE", DEPARTMENT OF STATE, NEW YORK.

B. "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES", ANSI/ASCE AMERICAN SOCIETY OF CIVIL ENGINEERS.
- ADDITIONAL CODES FOR MATERIALS SHALL BE FOUND IN THE APPROPRIATE SECTIONS THAT FOLLOW. SEE THOSE SECTIONS FOR THE APPLICABLE CODES.

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NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209

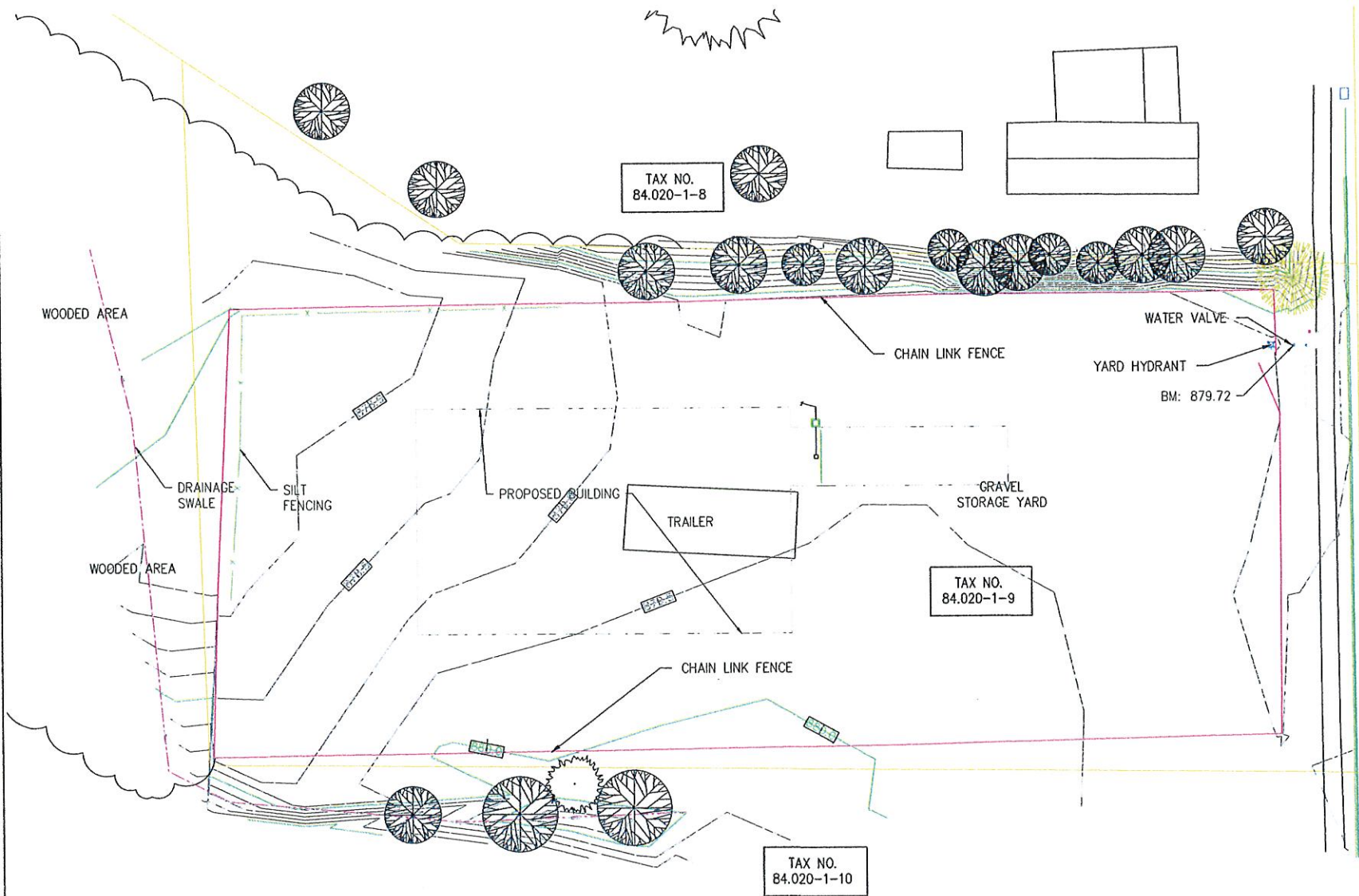


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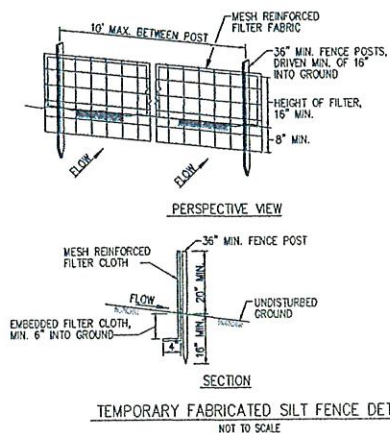
DRAWING TITLE: GENERAL NOTES
PROJECT NAME: STORAGE / RETAIL BUILDING
111 CEDAR ST., BATAVIA, NY
CLIENT: CEDAR STREET SALES
151 CEDAR STREET, BATAVIA, NY

PROJECT NO.: 005-2019
DATE: 4-3-19
SCALE: AS NOTED
DRAWING NO: N-2
SHEET NO: 3 of 16

PROJ. MGR. ADS
DRWN. BY:
CHKD. BY: ADS



A EXISTING SITE LAYOUT
Scale: 1"=20'



NOTES:

1. EROSION CONTROL DEVICES ARE TO BE INSTALLED AND MAINTAINED BY THE CONTRACTOR UNTIL CONSTRUCTION IS COMPLETED, DOWNHILL OF ALL DISTURBED AREAS AND AS DIRECTED BY THE ENGINEER OR ANY GOVERNING AGENCIES.
2. EROSION CONTROL DEVICES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ADJUTING THE ADJACENT BALES.
3. EACH EROSION CONTROL DEVICE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (8) INCHES AND PLACED SO THE BINDINGS ARE HORIZONTAL.
4. STRAW BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
5. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
7. EROSION CONTROL DEVICES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES.

LEGEND

- MAJOR CONTOUR
MINOR CONTOUR

SITE DATA		
PARCEL AREA:	0.98 ACRES	
TAX MAP. NO.	84.020-1-9	
ZONING DISTRICT:	I-2 (INDUSTRIAL)	
PROPOSED USE: RETAIL STORAGE		
ZONING REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	40,000 sf	41,440 sf
BUILDING HEIGHT:	40 ft	28 ft
MAXIMUM BUILDING COVERAGE	20%	18%
MINIMUM FRONTAGE	150 ft	135 ft
MINIMUM FRONT YARD	50 ft	140 ft
MINIMUM SIDE YARD	15 ft	35 ft
MINIMUM REAR YARD	35 ft	55 ft

EROSION CONTROL NOTES:

THE EQUIPMENT ANTICIPATED TO BE USED FOR THE CONSTRUCTION INCLUDES THE FOLLOWING: BACKHOES, BULLDOZERS, LOADERS, TRUCKS, CRANES, COMPACTORS, AND GRADERS. THE FOLLOWING MEASURES SHALL BE UNDERTAKEN TO PROVIDE MAXIMUM PROTECTION TO THE SOIL, WATER, AND ADJUTING LANDS:

1. PRIOR TO GRUBBING OR ANY EARTH MOVING OPERATION, SILTATION FENCE OR EROSION CONTROL BERMS SHALL BE INSTALLED ACROSS THE SLOPE ON THE CONTOUR AT THE DOWNHILL LIMIT OF THE WORK AS PROTECTION AGAINST CONSTRUCTION RELATED EROSION. REFERE TO DETAILS SHOWN ON EROSION CONTROL PLAN.
2. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN FIFTEEN CALENDAR DAYS AFTER FINAL GRADING HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE OR PRACTICAL TO PERMANENTLY STABILIZE DISTURBED LAND, TEMPORARY EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN THIRTY CALENDAR DAYS OF EXPOSURE OF SOIL. ALL DISTURBED AREAS SHALL BE MULCHED FOR EROSION CONTROL UPON COMPLETION OF ROUGH GRADING.
3. ANY EXPOSED SLOPES GREATER THAN 3:1 AND NEWLY CONSTRUCTED DRAINAGE SWALES SHALL BE STABILIZED WITH EROSION CONTROL MESH TO PREVENT EROSION DURING CONSTRUCTION AND TO FACILITATE RE-VEGETATION AFTER TOP SOILING AND SEEDING.
4. IN AREAS OF CONSTRUCTION DEWATERING, PUMPED DISCHARGE SEDIMENT DEVICES SHALL BE UTILIZED ADJACENT TO THE ACTIVITY. SEDIMENT TRAPS SHALL BE CONSTRUCTED UTILIZING DIRTBAGS, OR OTHER SIMILAR DEVICES THAT DO NOT REQUIRE ADDITIONAL SOIL DISTURBANCE. ADDITIONAL SEDIMENTATION PROTECTION SHALL BE PROVIDED BY THE INSTALLATION OF HAY BALE BARRIERS BETWEEN THE SEDIMENT TRAPS AND THE RECEIVING DRAINAGE COURSE.
5. NATIVE TOPSOIL SHALL BE SAVED, STOCKPILED, MULCHED, AND REUSED AS MUCH AS POSSIBLE ON THE SITE. SILTATION FENCE SHALL BE INSTALLED AT THE BASE OF STOCKPILES AT THE DOWNHILL LIMIT TO PROTECT AGAINST EROSION. STOCKPILES SHALL BE STABILIZED BY SEEDING AND MULCHING UPON FORMATION OF THE PILES. UPHILL OF THE STOCKPILES, STABILIZED DITCHES AND/OR BERMS SHALL BE CONSTRUCTED TO DIVERT STORMWATER RUNOFF AWAY FROM THE PILES.
6. ALL SILTATION FENCE AND HAY BALE BARRIERS SHALL BE INSPECTED BY THE CONTRACTOR ON A WEEKLY BASIS OR FOLLOWING ANY SIGNIFICANT RAINFALL (1/2 INCH OR MORE) OR SNOWMELT. ALL DAMAGED EROSION CONTROL DEVICES SHALL BE REPAIRED AND/OR REPLACED IMMEDIATELY. TRAPPED SEDIMENT SHALL BE REMOVED BEFORE IT HAS ACCUMULATED TO ONEHALF OF THE INSTALLED SILTATION FENCE OR HAY BALE BARRIER HEIGHT. DEVICES NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION SHALL ALSO BE REPAIRED AND/OR REPLACED AS NECESSARY.

7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED BY SEPTEMBER 15 OF THE YEAR OF CONSTRUCTION, THEN WITHIN THE NEXT 10 CALENDAR DAYS THESE AREAS SHALL BE GRADED AND SMOOTHED, THEN SEEDED TO A WINTER COVER CROP OF RYE AT A RATE OF 3 LBS. PER 1,000 SQ. FT. THE FOLLOWING SHALL BE INCORPORATED INTO THE SOIL PRIOR TO RYE SEEDING: GROUND LIMESTONE AT A RATE OF 130 LBS. PER 1,000 SQ. FT., FOLLOWED BY A 10-10-10 FERTILIZER AT A RATE OF 14 LBS. PER 1,000 SQ. FT. HAY MULCH SHALL BE APPLIED AT A RATE OF 100 LBS. PER 1,000 SQ. FT. FOLLOWING SEEDING. IF THE RYE SEEDING CANNOT BE COMPLETED BY OCTOBER 1, THEN ON THAT DAY HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE TO PROVIDE WINTER PROTECTION. IF RYE DOES NOT MAKE ADEQUATE GROWTH BY NOVEMBER 5, THEN ON THAT DATE, HAY MULCH SHALL BE APPLIED AT A RATE OF 100 LBS. PER 1,000 SQ. FT. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON HAY MULCH FOR WIND CONTROL. BIODEGRADABLE NETTING SHALL BE INSTALLED ON STEEP SLOPES (3:1 AND STEEPER) AND ON AREAS OF CONCENTRATED FLOWS.

8. INTERCEPTED SEDIMENT SHALL BE RETURNED TO THE SITE AND INCORPORATED INTO THE PROJECT AREA.

9. SHOULD CONSTRUCTION OCCUR AFTER NOVEMBER 15, ADDITIONAL EROSION CONTROL METHODS SHALL BE IMPLEMENTED. ALL DISTURBED AREAS SHALL BE MINIMIZED AS MUCH AS POSSIBLE. PRIOR TO FREEZING, ADDITIONAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS APPROPRIATE. INSPECTION OF THESE EROSION CONTROL ITEMS SHALL BE CONSTANT, WITH PARTICULAR ATTENTION PAID TO WEATHER PREDICTIONS TO ENSURE THAT THESE MEASURES ARE PROPERLY IN PLACE TO HANDLE LARGE AMOUNTS OF RUNOFF FROM HEAVY RAINS OR THAWS.

10. FOR EARTHWORK PERFORMED BY TOWN PERSONNEL, EROSION CONTROL MEASURES INSTALLATION AND MAINTENANCE WILL BE RESPONSIBILITY OF TOWN. EROSION CONTROL MEASURES REQUIRED DUE TO CONTRACTORS WORK WILL BE INSTALLED AND MAINTAINED BY THEM.

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DRAWING TITLE:
EXISTING SITE LAYOUT

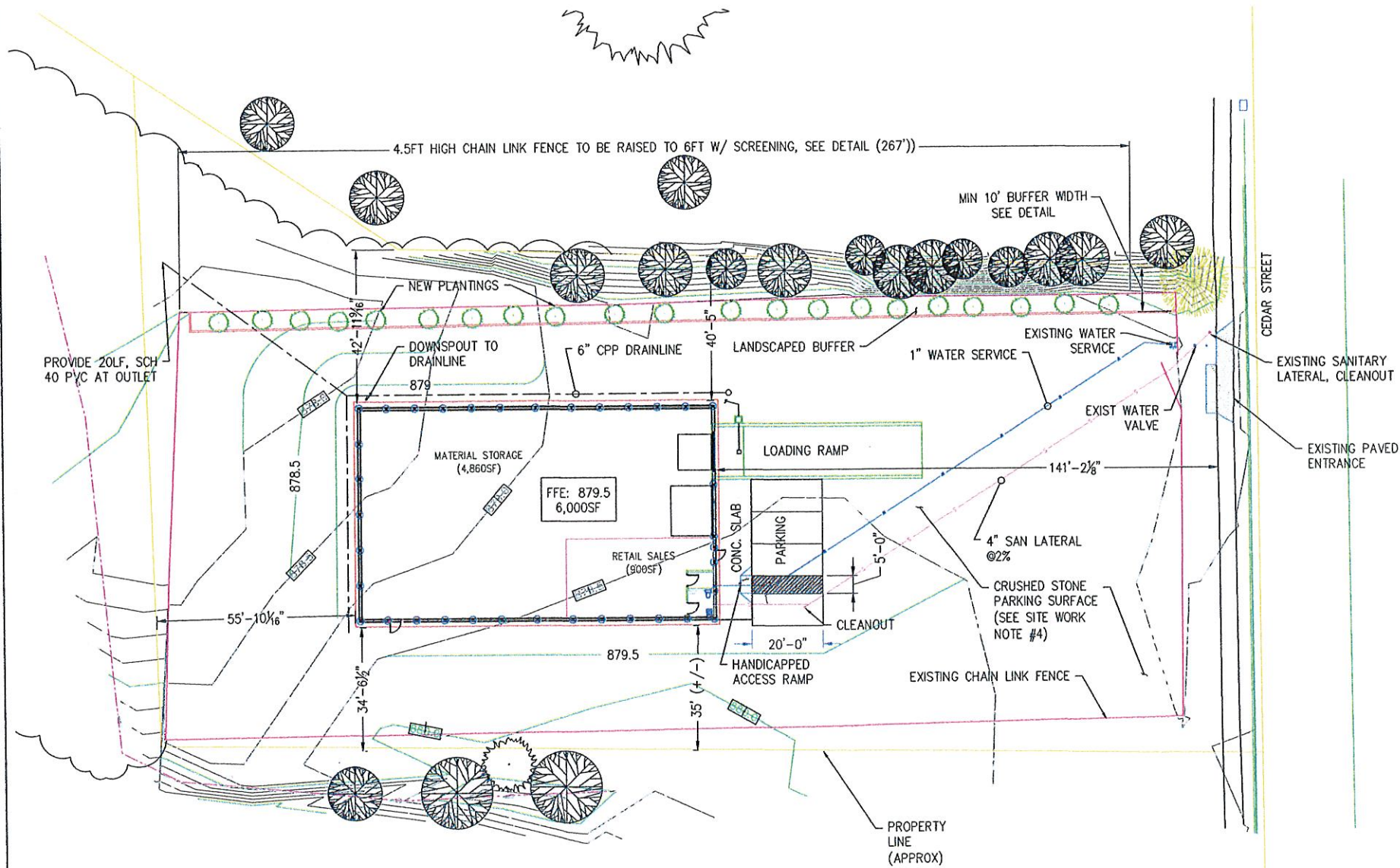
PROJECT NAME:
STORAGE/RETAIL BUILDING

111 CEDAR ST., BATAVIA, NY

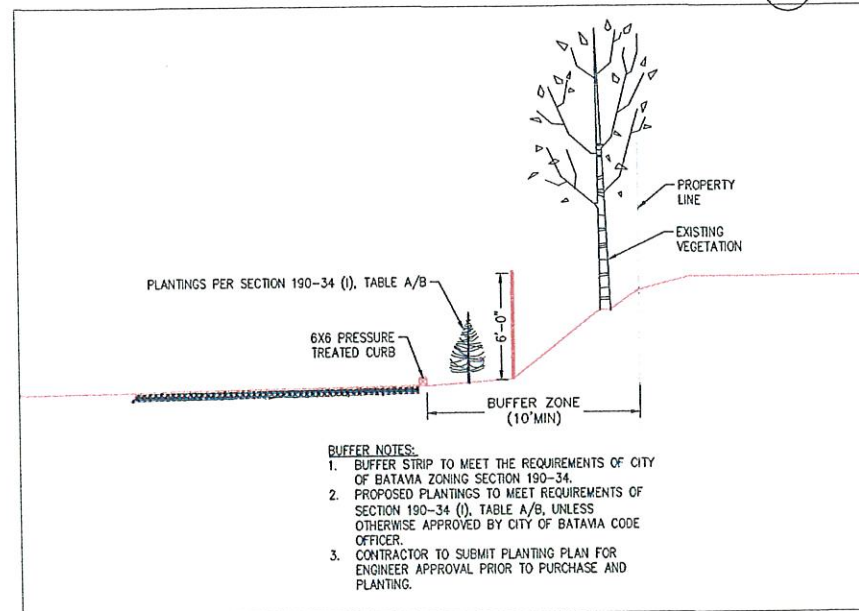
CLIENT:
CEDAR STREET SALES

151 CEDAR STREET, BATAVIA, NY

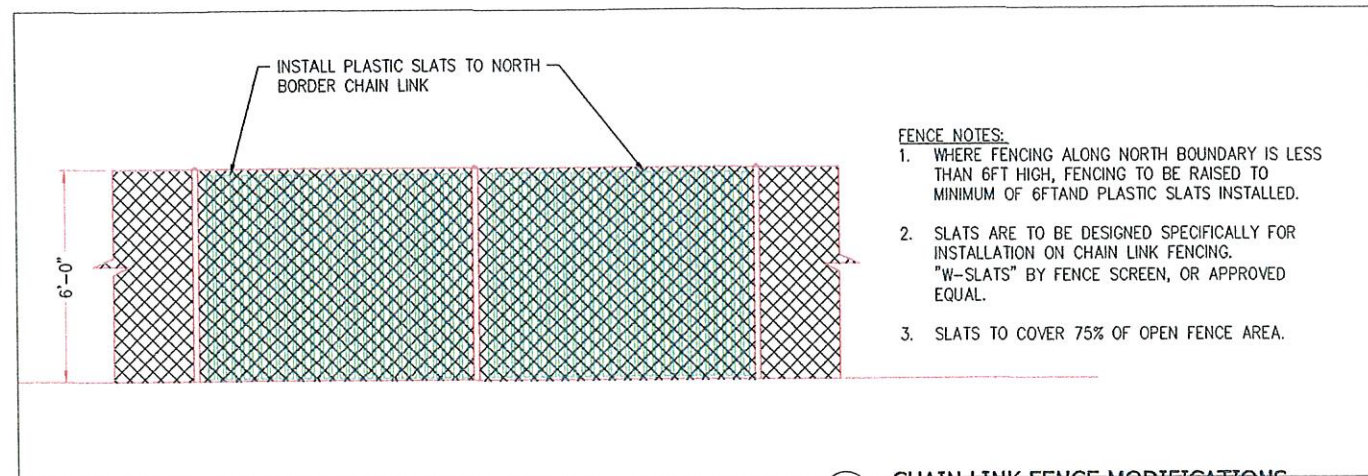
PROJECT NO.:	005-2019	PROJ. MGR.	ADS
DATE:	4-15-19	DRWN. BY:	
SCALE:	AS NOTED	CHKD. BY:	ADS
DRAWING NO.:	C-1		
SHEET NO.	4	of 16	



A PROPOSED SITE LAYOUT
Scale: 1"=20'



1 LANDSCAPED BUFFER SECTION
Scale: 3/16"=1'



2 CHAIN LINK FENCE MODIFICATIONS
Scale: 3/8"=1'

SITE DATA		
PARCEL AREA:	0.98 ACRES	
TAX MAP. NO.	84.020-1-9	
ZONING DISTRICT:	I-2 (INDUSTRIAL)	
PROPOSED USE: RETAIL STORAGE		
ZONING REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	40,000 sf	41,440 sf
BUILDING HEIGHT:	40 ft	28 ft
MAXIMUM BUILDING COVERAGE	20%	18%
MINIMUM FRONTAGE	150 ft	135 ft
MINIMUM FRONT YARD	50 ft	140 ft
MINIMUM SIDE YARD	15 ft	35 ft
MINIMUM REAR YARD	35 ft	55 ft

GENERAL SITEWORK NOTES:

1. MAXIMUM AREA OF DISTURBANCE WILL BE APPROXIMATELY 7,000SF (0.16AC).
2. SITE CURRENTLY SHEET DRAINS PRIMARILY TO THE SOUTH TO DRAINAGE SWALE FLOWING NORTHEAST. NO CHANGE IN SITE DRAINAGE IS PROPOSED.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SITE DRAINAGE DURING CONSTRUCTION AND IMPLEMENTING ALL EROSION CONTROL MEASURES.
4. EXISTING SITE CONSIST OF CRUSHED STONE. AFTER COMPLETION OF CONSTRUCTION, CONTRACTOR TO COMPACT ALL DISTURBED SUBGRADE AND PROVIDE A MINIMUM OF 2" #1 CRUSHED STONE. STONE TO BE ROLLER COMPACTED TO SMOOTH HARD SURFACE.

PARKING REQUIREMENTS:

REQUIRED:

1. PER SECTION 190-39-3.28, FOLLOWING PARKING SHALL BE PROVIDED:
 - 1.1. 1 PARKING SPA. PER 300SF RETAIL SPACE.
 - 1.2. 1 PARKING SPACE PER TWO EMPLOYEES.

PROVIDED:

1. TOTAL RETAIL FLOOR SPACE = 900SF, REQUIRING A TOTAL OF 3 CUSTOMER PARKING SPACES.
2. TOTAL OF TWO EMPLOYEES WILL BE FULL TIME AT THIS LOCATION REQUIRING ONE ADDITIONAL PARKING SPACE.
3. TOTAL NUMBER PARKING SPACES PROVIDED = 3 STANDARD AND ONE HANDICAPPED PARKING SPACE.
4. ADDITIONAL EMPLOYEE PARKING IS AVAILABLE AT THE MAIN RETAIL STORE LOCATED AT 111 CEDAR STREET.
5. PARKING SURFACE CONSIST OF CRUSHED STONE, WHICH IS TO REMAIN.

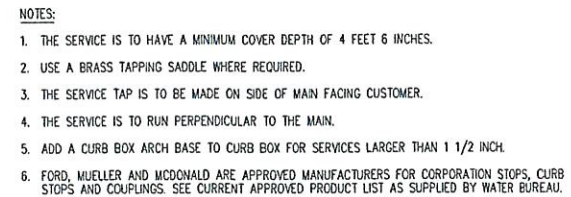
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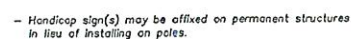
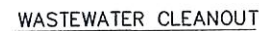
DRAWING TITLE: **PROPOSED SITE LAYOUT**
PROJECT NAME: **STORAGE/RETAIL BUILDING**
111 CEDAR ST., BATAVIA, NY
CLIENT: **CEDAR STREET SALES**
151 CEDAR STREET, BATAVIA, NY

PROJECT NO.: **005-2019** PROJ. MGR.: **ADS**
DATE: **4-29-19** DRWN. BY:
SCALE: **AS NOTED** CHKD. BY: **ADS**
DRAWING NO.: **C-2**
SHEET NO.: **5** of 16



NOTES:

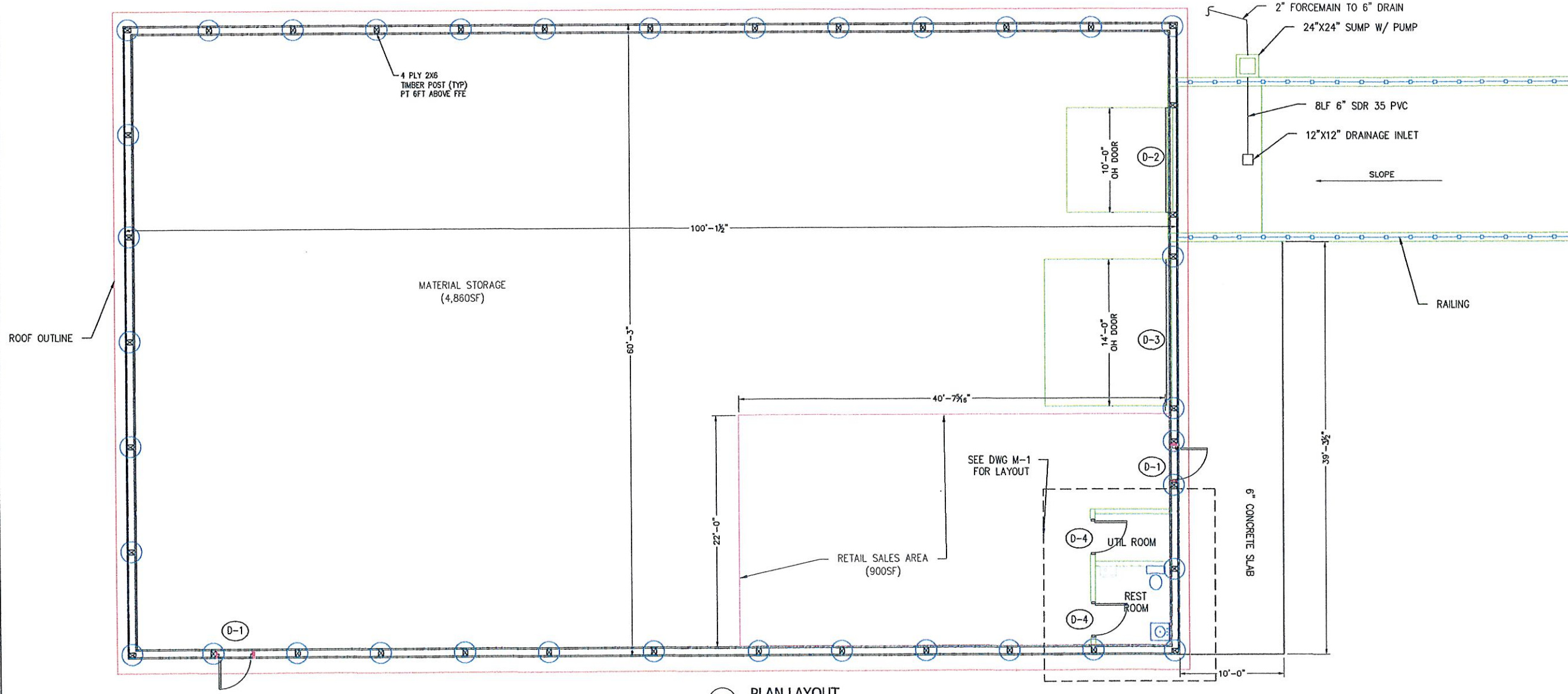
1. HANDICAP RAMP CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE CODES AND SPECIFICATIONS.
2. SURFACES SHALL MEET THE GUIDELINES OF THE ADA STANDARDS FOR ACCESSIBILITY, APPENDIX A, PART 36.
3. WHERE SIDEWALK IS FLUSH WITH BACK OF CURB, DELETE ADDITIONAL 4" CONCRETE SIDEWALK AND TRANSITION THE CURB AND SIDEWALK SUCH THAT THE MAXIMUM SLOPE OF THE RAMP AND TRANSITION SIDEWALK IS 1:12.
4. THE FLARED SIDES MUST HAVE A 1:10 SLOPE. IF THE DISTANCE X IS LESS THAN 48", THEN THE SLOPE OF THE FLARED SIDES SHALL NOT EXCEED 1:12.



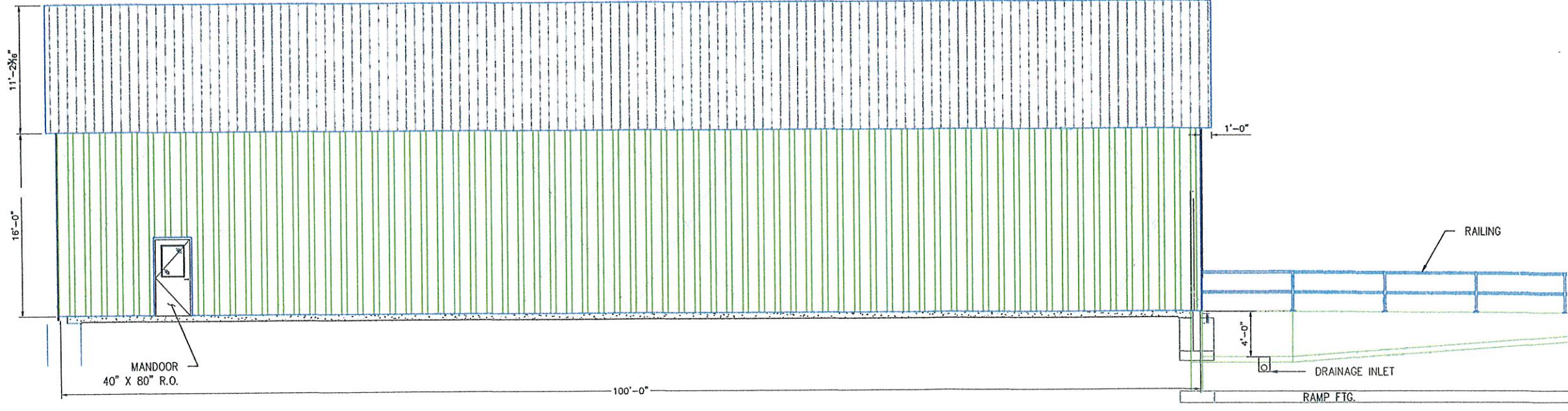
Scale: $3/4'' = 1\text{ft}$

Scale: 3/4":1ft

PROJECT NO.: 005-2019	PROJ. MG: ADS
DATE: 4-29-19	DRWN. BY:
SCALE: AS NOTED	CHKD. BY: ADS
DRAWING NO: C-3	
SHEET NO. 6 of 16	



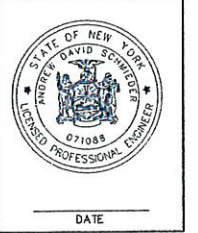
A PLAN LAYOUT
Scale: 3/16"=1ft



B ELEVATION VIEW
Scale: 3/16"=1ft

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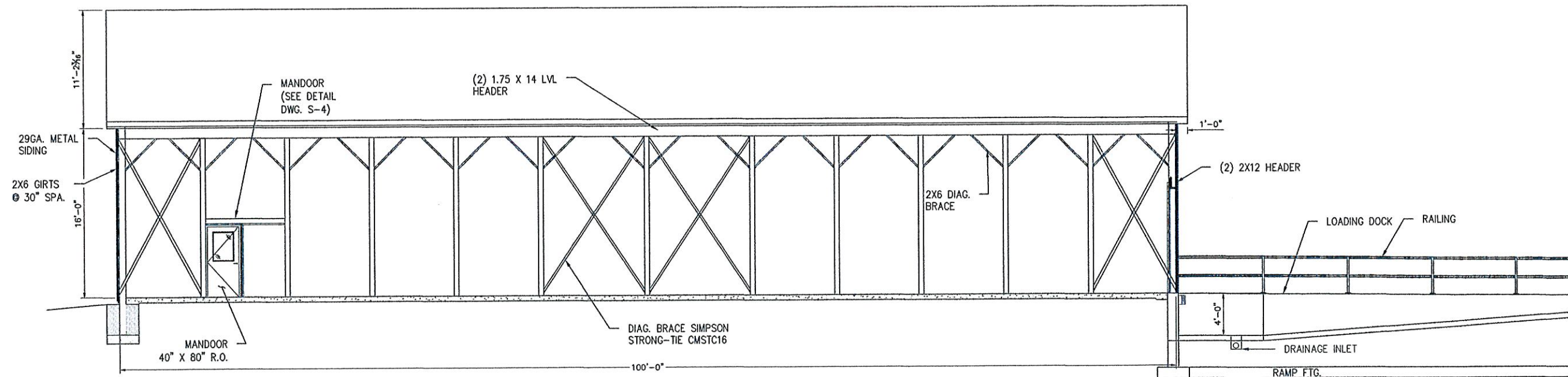
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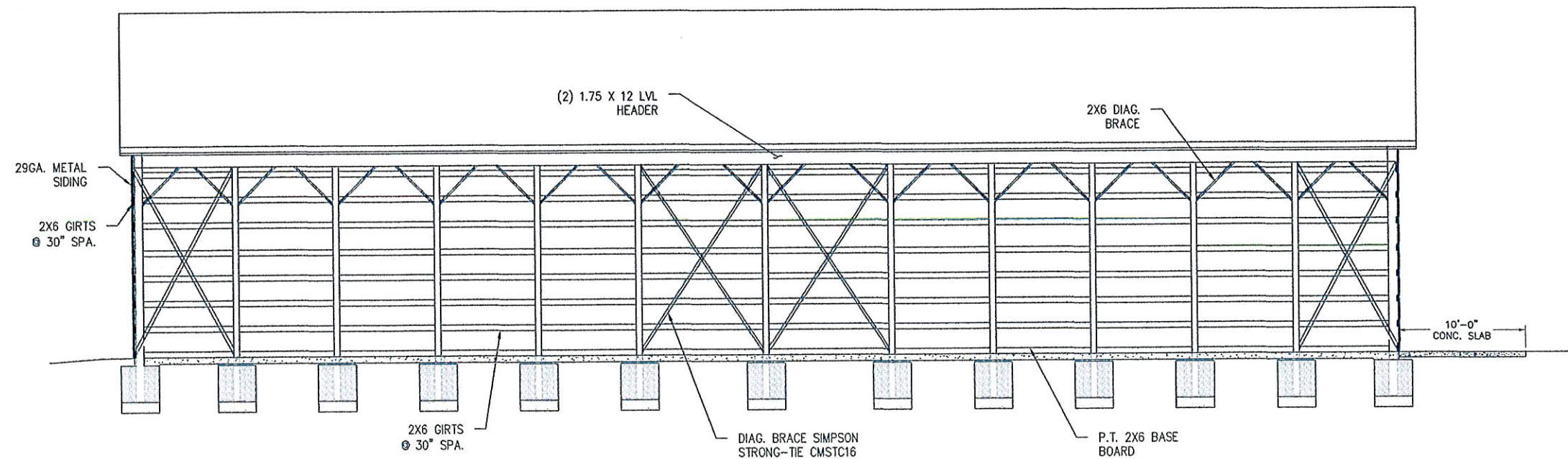
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DRAWING TITLE:	BUILDING LAYOUT
PROJECT NAME:	STORAGE / RETAIL BUILDING
CLIENT:	111 CEDAR ST., BATAVIA, NY CEDAR STREET SALES 151 CEDAR STREET, BATAVIA, NY

PROJECT NO:	005-2019	PROJ. MGR.	ADS
DATE:	4-3-19	DRWN. BY:	
SCALE:	AS NOTED	CHKD. BY:	ADS
DRAWING NO:	S-1		
SHEET NO.	7	of 16	

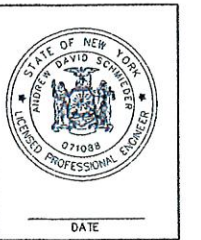


A BUILDING SECTION
Scale: 3/16"=1ft



B SIDE WALL FRAMING
Scale: 3/16"=1ft

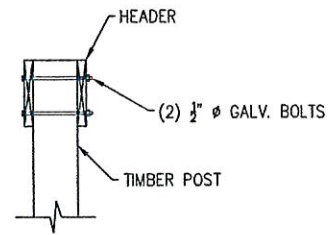
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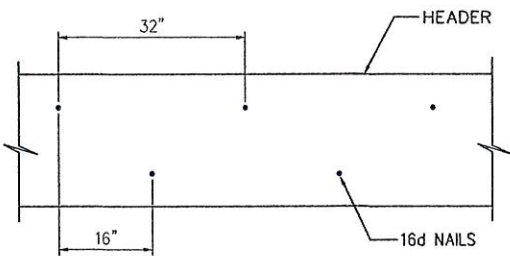
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DRAWING TITLE: **EAST / WEST WALL FRAMING**
PROJECT NAME: **STORAGE / RETAIL BUILDING**
CLIENT: **CEDAR STREET SALES**
111 CEDAR ST., BATAVIA, NY
151 CEDAR STREET, BATAVIA, NY

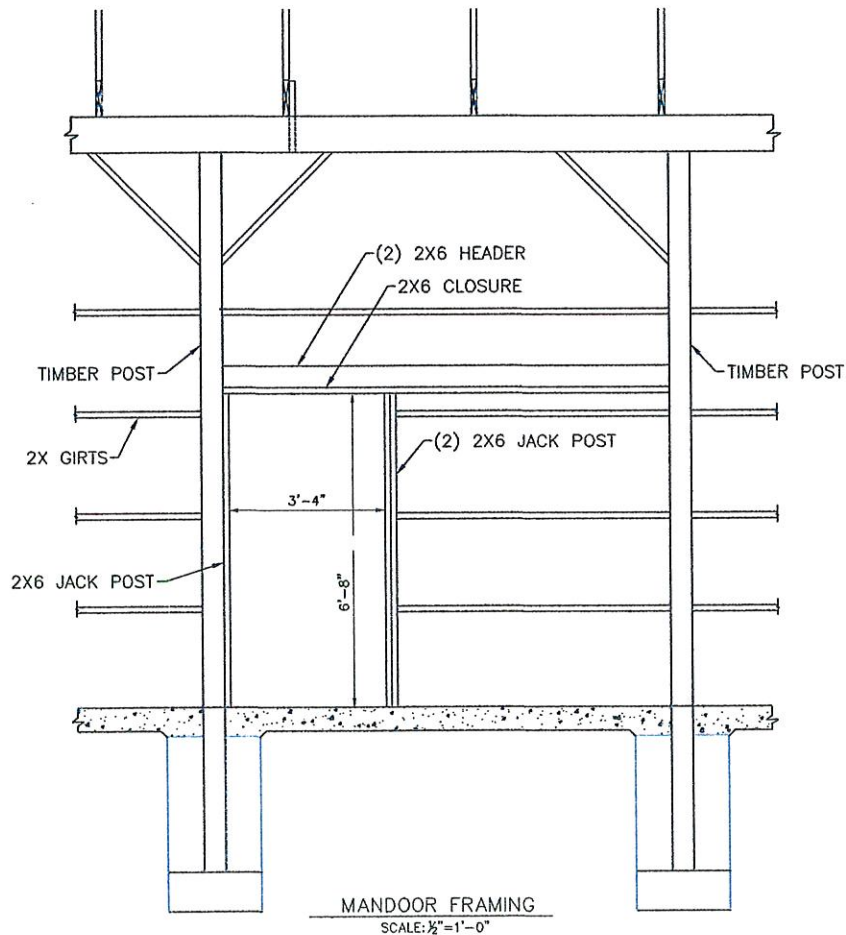
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DATE: 4-3-19	DRWN. BY:
SCALE: AS NOTED	CHKD. BY: ADS
DRAWING NO.: S-2	
SHEET NO.: 8	of 16



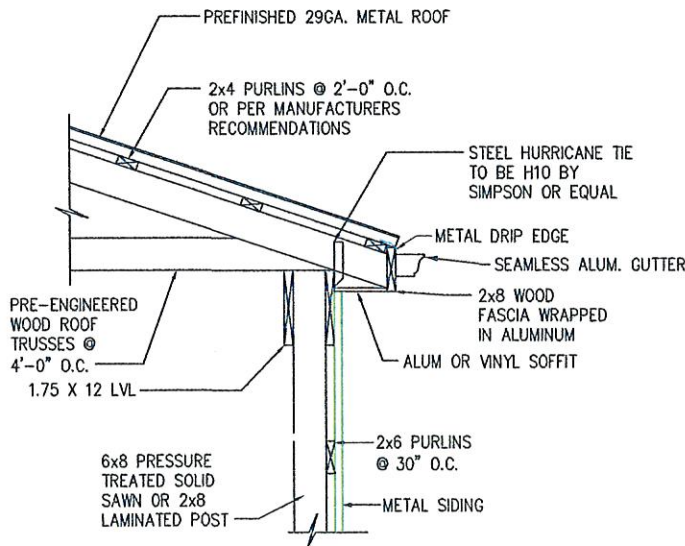
HEADER CONNECTION DETAIL
SCALE: 3/4"=1'-0"



TYPICAL HEADER NAIL PATTERN
SCALE: N.T.S.

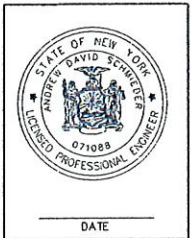


MANDOOR FRAMING
SCALE: 1/2"=1'-0"



TYPICAL FASCIA DETAIL
SCALE: 3/4"=1'-0"

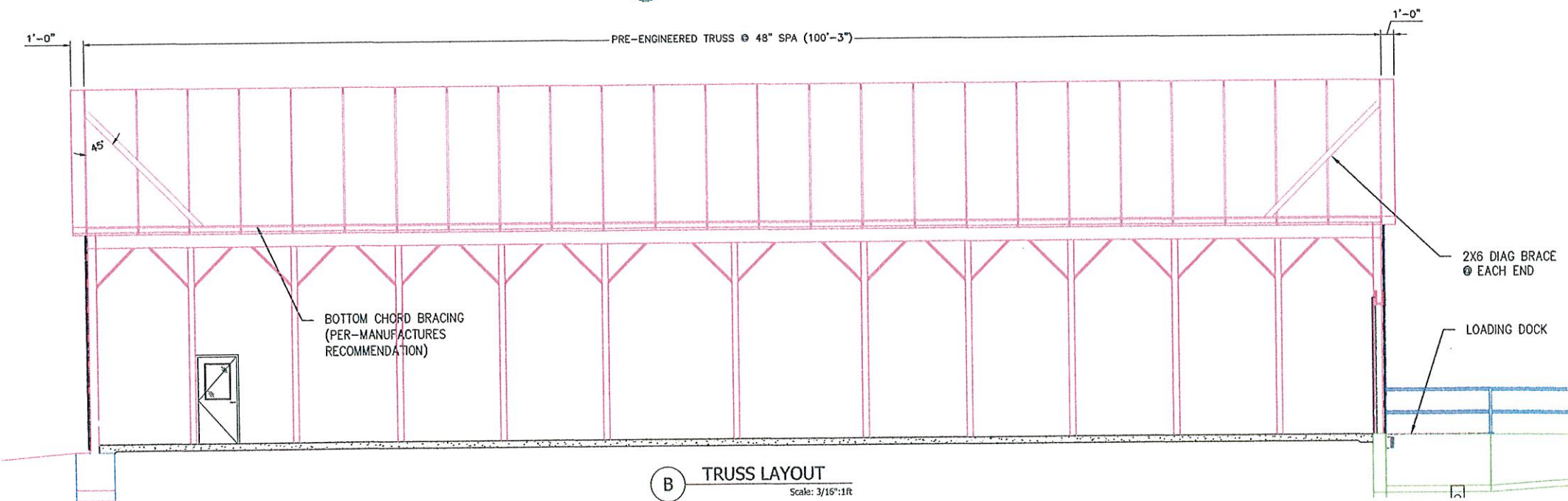
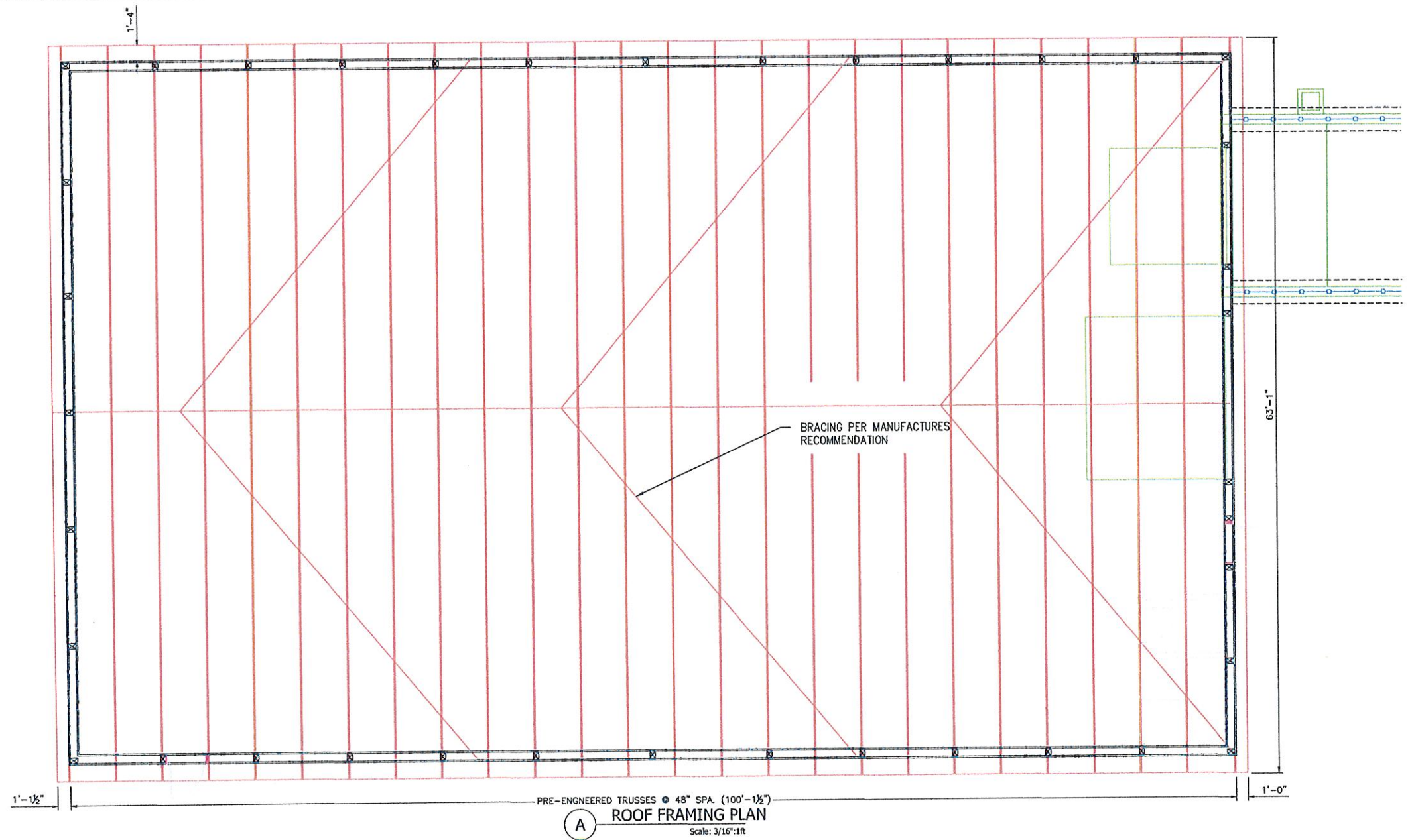
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			DATE
			DESCRIPTION
			REVISIONS



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DRAWING TITLE: **STRUCTURAL DETAILS**
PROJECT NAME: **STORAGE / RETAIL BUILDING**
111 CEDAR ST., BATAVIA, NY
CLIENT: **CEDAR STREET SALES**
151 CEDAR STREET, BATAVIA, NY

PROJECT NO.: 005-2019	PROJ. MGR. ADS
DATE: 4-3-19	DRWN. BY:
SCALE: AS NOTED	CHKD. BY: ADS
DRAWING NO.: S-4	
SHEET NO. 10	of 16



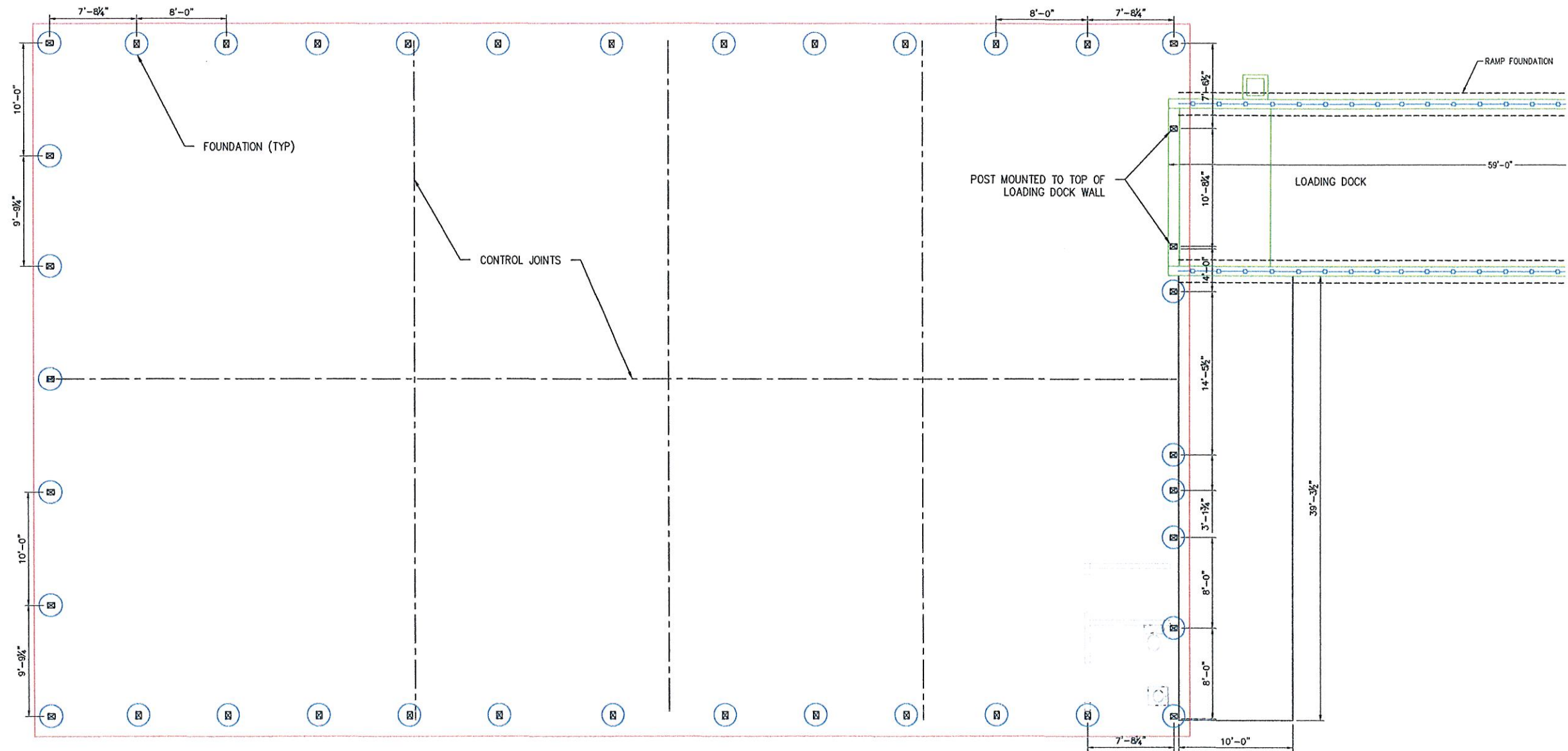
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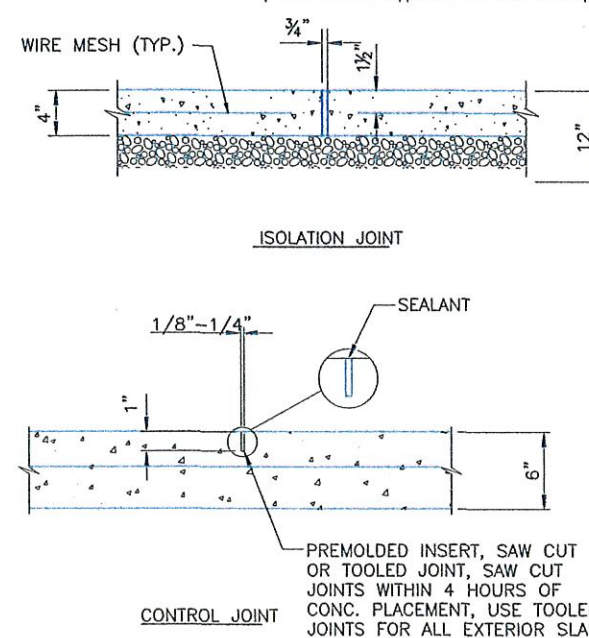
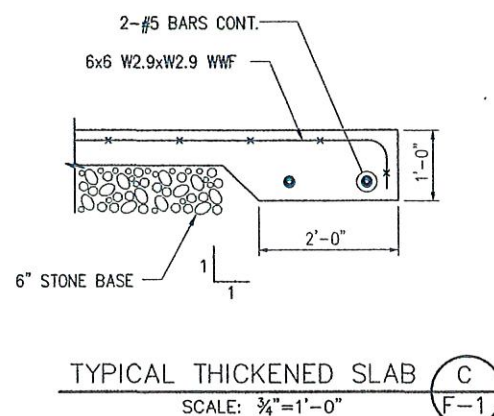
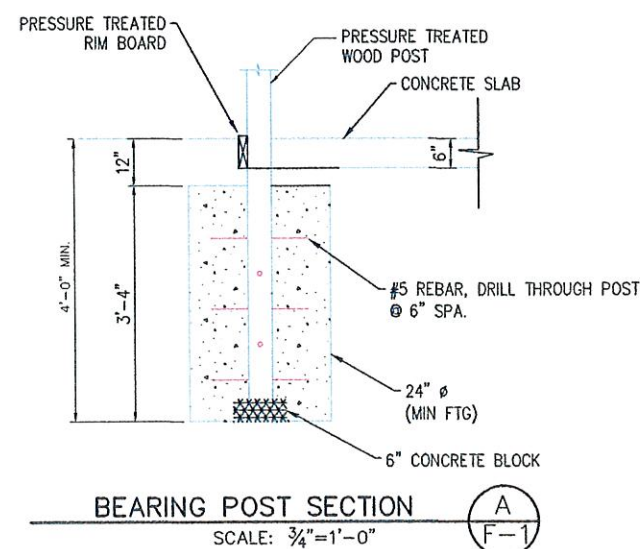
ANDREW SCHMIEDER, PE
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DRAWING TITLE:	ROOF FRAMING PLAN
PROJECT NAME:	STORAGE / RETAIL BUILDING
CLIENT:	111 CEDAR ST., BATAVIA, NY CEDAR STREET SALES 151 CEDAR STREET, BATAVIA, NY

PROJECT NO.:	005-2019	PROJ. MGR.	ADS
DATE:	4-3-19	DRWN. BY:	
SCALE:	AS NOTED	CHKD. BY:	ADS
DRAWING NO.:	S-5		
SHEET NO.:	11	of 16	



A FOUNDATION LAYOUT PLAN
Scale: 3/16"=1'-0"



NOTE:
IF CONTROL JOINTS ARE NOT SHOWN ON PLAN, CONTRACTOR TO PROVIDE CONTROL JOINT PLAN TO LIMIT AREAS TO LESS THAN 400 SQ. FT., SUBJECT TO ENGINEERS REVIEW.

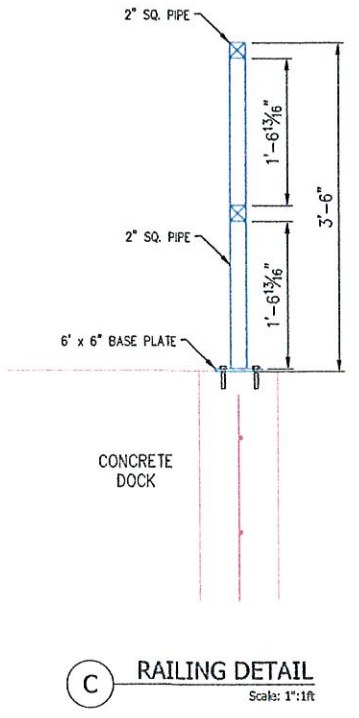
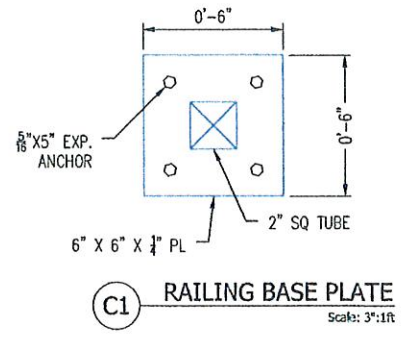
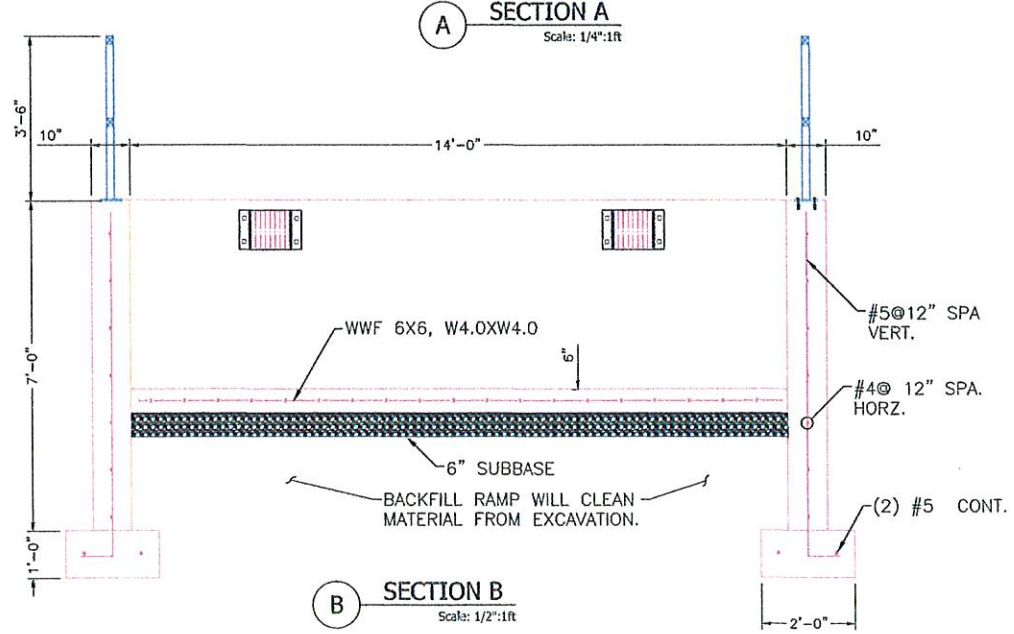
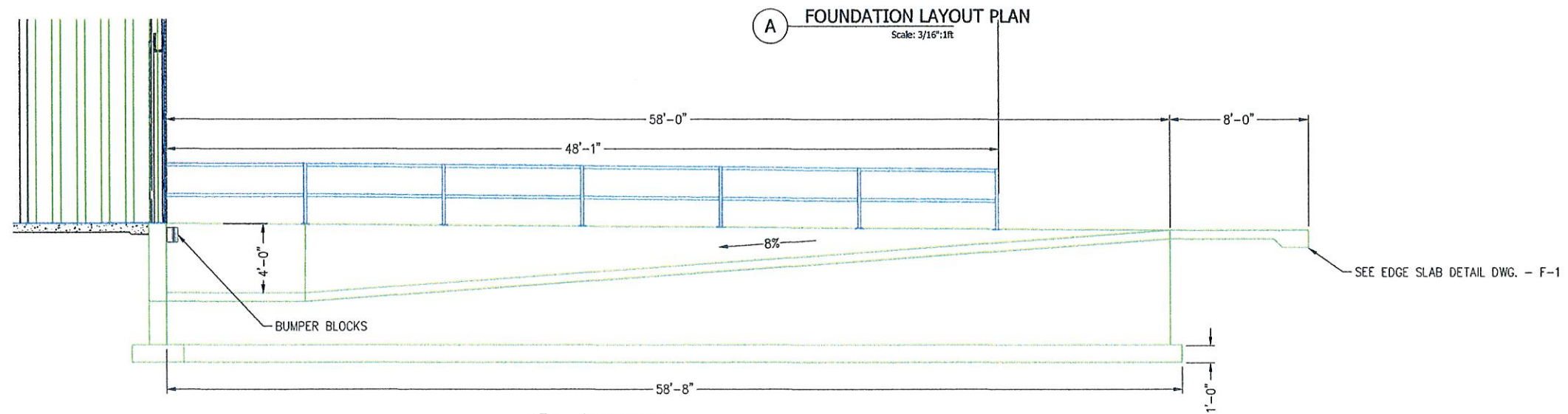
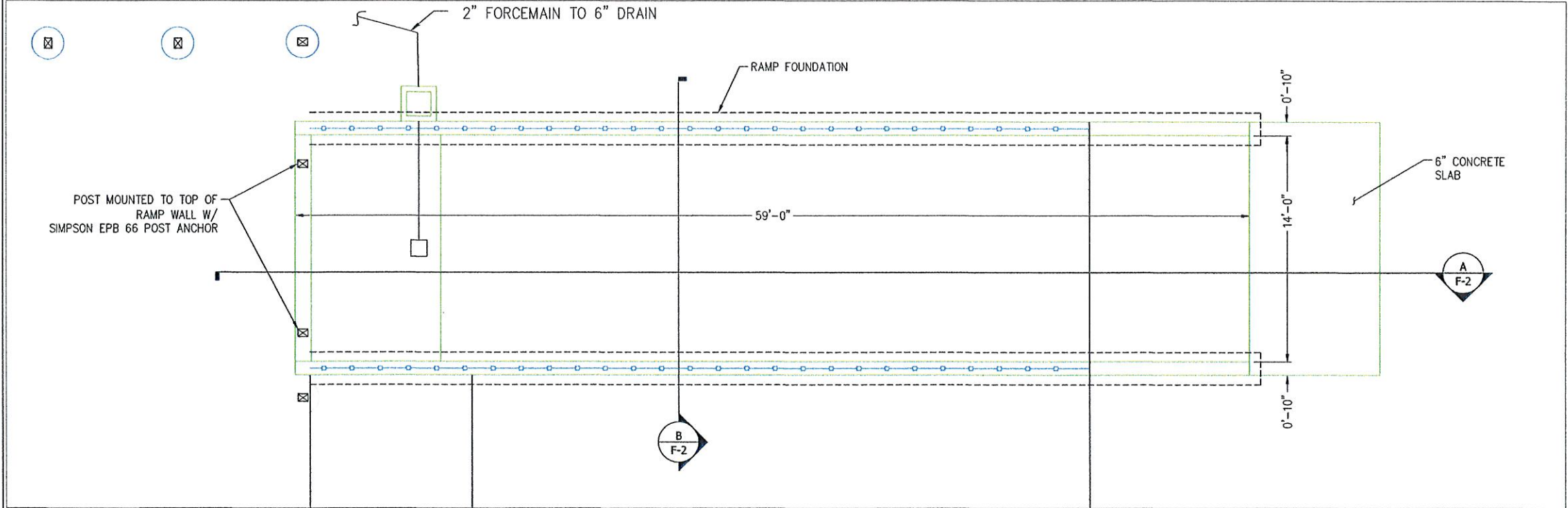
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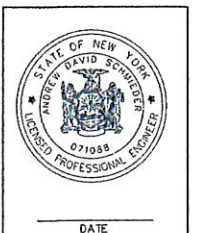
ANDREW SCHMIEDER, PE
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(585) 297-3552

DRAWING TITLE:	FOUNDATION LAYOUT PLAN
PROJECT NAME:	STORAGE / RETAIL BUILDING
CLIENT:	111 CEDAR ST., BATAVIA, NY CEDAR STREET SALES 151 CEDAR STREET, BATAVIA, NY

PROJECT NO.:	005-2019	PROJ. MGR.	ADS
DATE:	4-3-19	DRWN. BY:	
SCALE:	AS NOTED	CHKD. BY:	ADS
DRAWING NO.:	F-1		
SHEET NO.:	12	of 16	



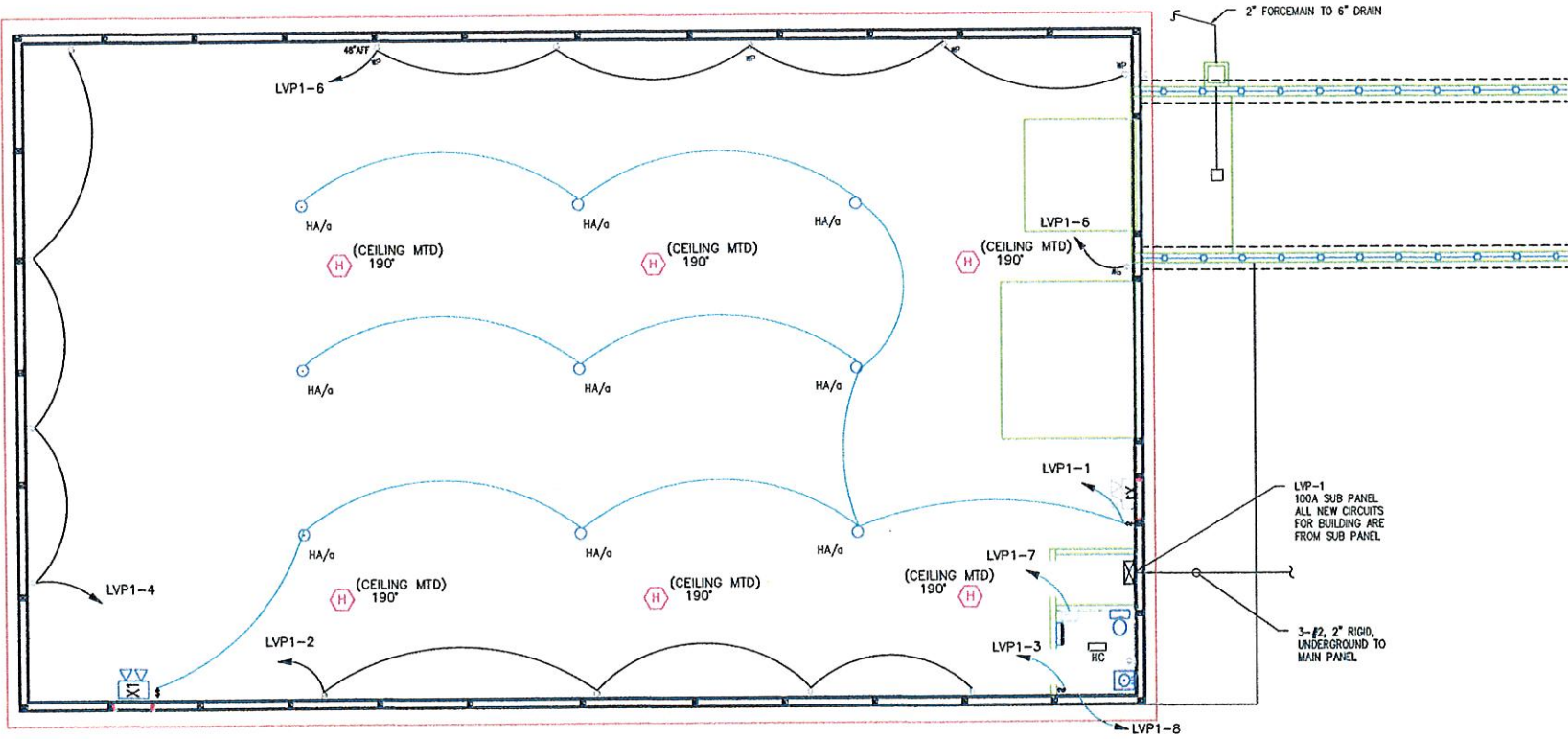
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NO.	DATE	DESCRIPTION	REVISIONS
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LOADING DOCK DETAILS
STORAGE / RETAIL BUILDING
 111 CEDAR ST., BATAVIA, NY
CLIENT: CEDAR STREET SALES
 151 CEDAR STREET, BATAVIA, NY

PROJECT NO.: 005-2019	PROJ. MGR: ADS
DATE: 4-3-19	DRWN. BY:
SCALE: AS NOTED	CHKD. BY: ADS
DRAWING NO: F-2	
SHEET NO. 13	of 16



A ELECTRICAL PLAN
Scale: 1/8"=1ft

ELECTRICAL NOTES:

1. INSTALL ALL WIRING AND EQUIPMENT IN ACCORDANCE WITH THE NFPA 70, NFPA 110 AND THE NFPA 111 2015 NATIONAL ELECTRICAL CODE.
2. OBTAIN AN UNDERWRITERS CERTIFICATE UPON SUBSTANTIAL COMPLETION.
3. COORDINATE ALL WORK WITH OTHER TRADES.
4. WIRE SHALL BE STRANDED COPPER WITH THHN/THWN INSULATION, MINIMUM #12 AWG.
5. CONCEALED CONDUIT SHALL BE EMT WITH SET SCREW FITTINGS.
6. EXPOSED CONDUIT SHALL BE RIGID STEEL WITH THREADED FITTINGS. TYPE MC CABLE WITH A SEPARATE INSULATED GROUND IS PERMITTED. SUPPORT CABLE ON MINIMUM 4.5' CENTERS.
7. ALL HOMERUNS TO PANELBOARDS SHALL BE INSTALLED IN EMT CONDUIT. TYPE MC CABLE MAY BE USED FROM OUTLET BOXES IN THE CEILING TO DEVICES AND LUMINAIRES, AND MAY BE RUN HORIZONTALLY IN THE METAL STUD PARTITIONS.
8. WIRING DEVICES SHALL BE SPECIFICATION GRADE, THERMOPLASTIC COVERPLATES. MAKE SHALL BE HUBBELL OR EQUAL.
9. WEATHER RESISTANT DEVICE COVERS SHALL BE UL LISTED WITH THE DEVICE PLUGGED IN. MAKE SHALL BE HUBBELL OR EQUAL.
10. PANELBOARDS SHALL HAVE ALUMINUM BUS WITH PLUG-ON CIRCUIT BREAKERS AND SURFACE HINGED TRIM. MAKE SHALL BE SQUARE D OR EQUAL.
11. ELECTRIC SERVICE TO BE FROM EXISTING PANELBOARD LOCATED IN EXISTING SERVICE BUILDING. ELECTRIC SERVICE TO BE PLACE BELOW GROUND IN PVC CONDUIT.
12. CONDUIT AND CABLE SHALL BE RUN PARALLEL OR PERPENDICULAR TO BUILDING STRUCTURES AND SHALL BE SECURELY HUNG OR SUPPORTED FROM THE BUILDING STRUCTURE WITH MAXIMUM CLEARANCE ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
13. ALL ELECTRICAL WORK IN FINISHED AREAS SHALL BE RUN CONCEALED WITH ALL RECEPTACLES, SWITCHES, DEVICES AND JUNCTION BOXES INSTALLED FLUSH.
14. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
15. LIGHTING AND RECEPTACLES LOADS ARE NOT TO BE CONNECTED TO THE SAME CIRCUIT.
16. CONNECT ALL CIRCUITS SO THAT THE LOAD ON ANY CIRCUIT DOES NOT EXCEED 80% OF THE RATING OF THE CIRCUIT PER THE NATIONAL ELECTRICAL CODE.
17. HEAT DETECTORS TO BE CONNECTED TO FIRE ALARM CONTROL PANEL (FACP) IN MAIN BUILDING. CONTRACTOR TO PROVIDE SHOP DRAWING OF THE FIRE ALARM SYSTEM PRIOR TO PURCHASE AND INSTALLATION.
18. REFER TO DWG. E-2 FOR PANELBOARD SCHEDULE

MISCELLANEOUS LEGEND		ELECTRICAL LIGHTING LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
①	REFERENCE TO DRAWING NOTE	\$	SINGLE POLE SWITCH
②	REVISION NOTE	oFA	DOWNLIGHT. DESIGNATION REFERS TO LUMINAIRE SCHEDULE
ELECTRICAL POWER LEGEND		PC PC	PHOTOCELL. NUMBER INDICATES TYPE
SYMBOL	DESCRIPTION	EM	EMERGENCY LIGHT
Ⓟ	DUPLEX RECEPTACLE, SUBSCRIPTS AS FOLLOWS: AFI ARC FAULT INTERRUPTER CR CORROSION RESISTANT EP EXPLOSION PROOF GFI GROUND FAULT INTERRUPTER WP WELDING PLUG IG ISOLATED GROUND SS SURGE SUPPRESSION W WEATHERPROOF	H	HEAT DETECTOR
LP1-2	INDICATES 20A BRANCH CIRCUIT CONNECTION FROM PANEL LP1, CIRCUIT 2 TO FIXTURES OR DEVICES. PROVIDE 2-#12.1-#12EG IN RACEWAY. MULTI-WIRE BRANCH CIRCUITS PER NEC ARE ALLOWABLE.	POWER DISTRIBUTION LEGEND	
	INDICATES NEW DEVICE OR EQUIPMENT	SYMBOL	DESCRIPTION
		—	SURFACE MOUNTED BRANCH CIRCUIT PANELBOARD. 208Y/120V OR 240/120V. REFER TO PANEL BOARD SCHEDULE

LUMINAIRE SCHEDULE					
TYPE	DESCRIPTION	LUMENS	LAMPS	VOLTAGE	ACCEPTABLE MANUFACTURER
HA	BLIZZARD EXT- 100W LED HIGH BAY LUMINAIRE BY INDUSTRIAL LIGHTING SYSTEMS, UL LISTED FOR DAMP LOCATIONS.	12,166	LED	120	APPROVED EQUAL
HC	RECESSED LIGHTING FIXTURE, LITHONIA 6BPMW LED, 6" DIA. 725 LUMENS	12.7	LED	120	APPROVED EQUAL
EM/X1	TLC LED EMERGENCY LIGHT (TLC2-B-TCVS), BY EVENLITE	125	LED	120	HUBBEL/APPROVED EQUAL

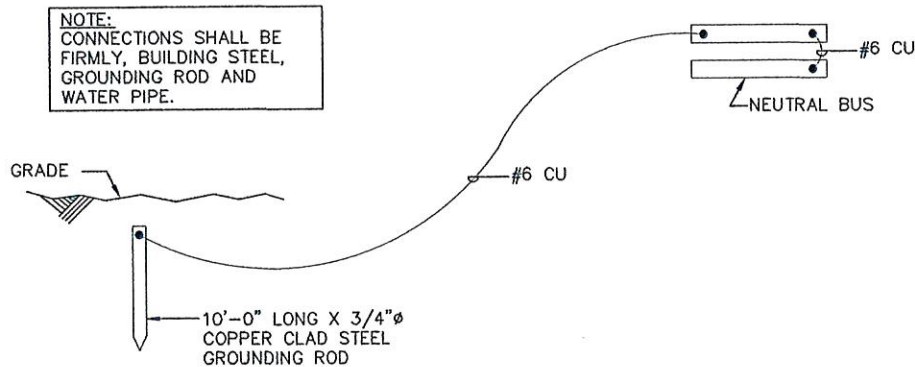
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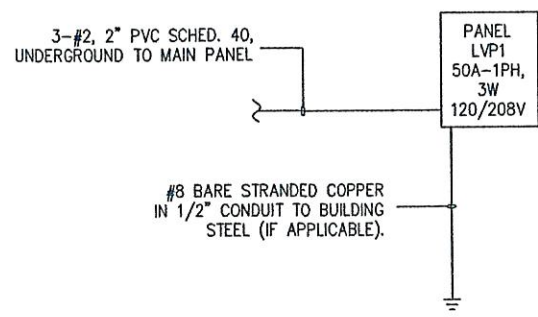
ANDREW SCHMIEDER, PE
11142 ALEXANDER ROAD, ATICA, NY
(585) 297-3552

ELECTRICAL PLAN	
PROJECT NAME:	STORAGE / RETAIL BUILDING
CLIENT:	CEDAR STREET SALES
DRAWING TITLE:	111 CEDAR ST., BATAVIA, NY

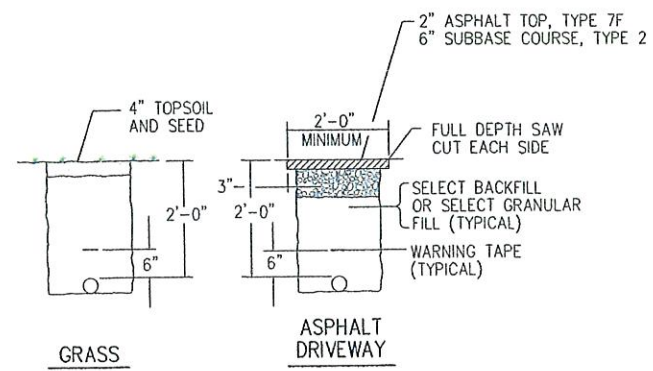
PROJECT NO.:	005-2019	PROJ. MGR.	ADS
DATE:	4-25-19	DRAWN BY:	
SCALE:	AS NOTED	CHKD. BY:	ADS
DRAWING NO.:	E-1		
SHEET NO.	14	of 16	




GROUNDING SYSTEM DETAIL 3
SCALE: NTS E-2



POWER RISER DIAGRAM 4
SCALE: NTS E-2



CONDUIT TRENCH INSTALLATION
NOT TO SCALE

PANEL LVP1													
MAIN CIRCUIT BREAKER: 100A MCB							PROJECT NAME: CEDAR STREET RETAILS						
MAIN BUS: 100A							FED FROM: STREET						
VOLTAGE: 208Y/120V 1PH -3W							LOCATION: -						
MAXIMUM AVAILABLE SHORT CKT. CURRENT: 22 KAIC							MOUNTING: SURFACE						
LOCATION		LOAD W		BKR.		CKT	BUS	CKT	BKR.		LOAD W		LOCATION
		ØA	ØB	P	A				A	P	ØA	ØB	
INTERIOR LIGHT		488		1	20	1		2	20	1	540		RECEPTACLE
INTERIOR LIGHT			150	1	20	3		4	20	1		360	RECEPTACLE
EXTERIOR LIGHT		-		1	20	5		6	20	1	180		RECEPTACLE
ELECTRIC WATER HEATER			-	1	20	7		8	20	1		-	ELECTRIC SPACE HEATER
SPARE		-		1	20	9		10	20	1	-		SPARE
SPARE			-	1	20	11	12	20	1		-	SPARE	
PHASE LOAD		-	-							-	-	PHASE LOAD	
MAX. PHASE CURRENT:		ØA -	-		TOTAL CONNECTED LOAD : - KW				NOTES: *PROVIDE GFCI BREAKER				
		ØB -	-						** PROVIDE LOCK-ON CIRCUIT BREAKER				

ELECTRICAL NOTES:

ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE-YEAR OF THE LATEST REVISION AND ALL OTHER APPLICABLE CODES, RULES AND REGULATIONS. ANY LABOR, MATERIALS AND EQUIPMENT NECESSARY DUE TO NON-CONFORMANCE WITH THE ABOVE SHALL BE FURNISHED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

ALL LIGHTING FIXTURES SHALL BE COMPLETELY LAMPED AND OPERABLE.

ALL EQUIPMENT SHALL BE U.L. LISTED AND LABELED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS FEES AND INSPECTIONS. BEFORE POWER IS APPLIED, THE CONTRACTOR SHALL OBTAIN APPROVAL OF ALL REGULATORY AGENCIES HAVING JURISDICTION AND SHALL FURNISH WRITTEN PROOF OF SAME TO OWNER.

ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONTACTS AND COORDINATION WITH ELECTRIC COMPANY. ANY AND ALL FEES REQUIRED BY THE OF ELECTRIC COMPANY SHALL BE BORNE BY THE CONTRACTOR.

LOCATIONS OF EQUIPMENT SHOWN ON THE DRAWINGS SHALL BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION WITH THE OWNER/ARCHITECT IN THE FIELD PRIOR TO INSTALLATION OF THE EQUIPMENT OR WIRING.

CONDUIT SHALL BE RIGID GALVANIZED STEEL (PVC COATED) WITH SEALED JOINTS WHERE INSTALLED UNDERGROUND OR UNDER THE SLAB. CONDUIT IN OTHER UNFINISHED AREAS MAY BE MET WHERE PERMITTED BY CODE.

CONDUIT AND CABLE SHALL BE RUN PARALLEL OR PERPENDICULAR TO BUILDING STRUCTURES AND SHALL BE SECURELY HUNG OR SUPPORTED FROM THE BUILDING STRUCTURE WITH MAXIMUM CLEARANCE ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.

ALL ELECTRICAL WORK IN FINISHED AREAS SHALL BE RUN CONCEALED WITH ALL RECEPTACLES, SWITCHES, DEVICES AND JUNCTION BOXES INSTALLED FLUSH.

FURNISH AND INSTALL STEEL SLEEVES WITH RESILIENT SEAL FOR ALL FOUNDATION WALL AND FOOTING PENETRATIONS.

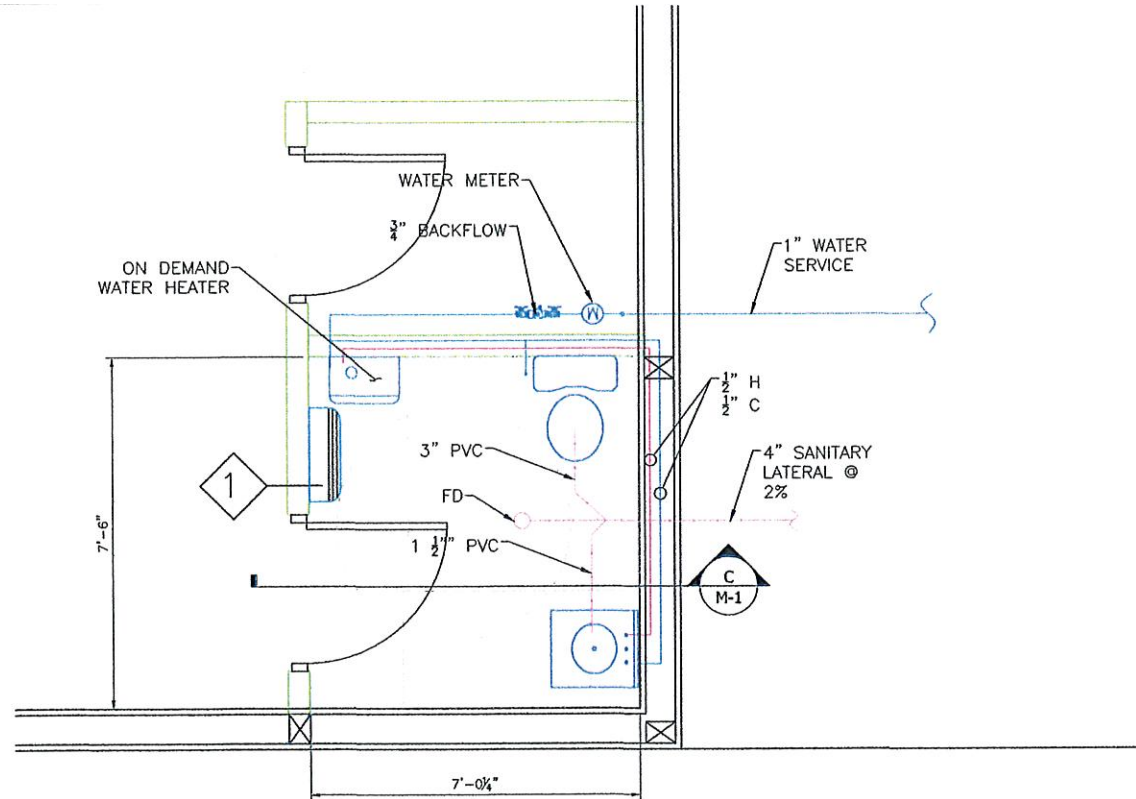
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REVISIONS		DESCRIPTION
3		
2		
1		
NO.	DATE:	

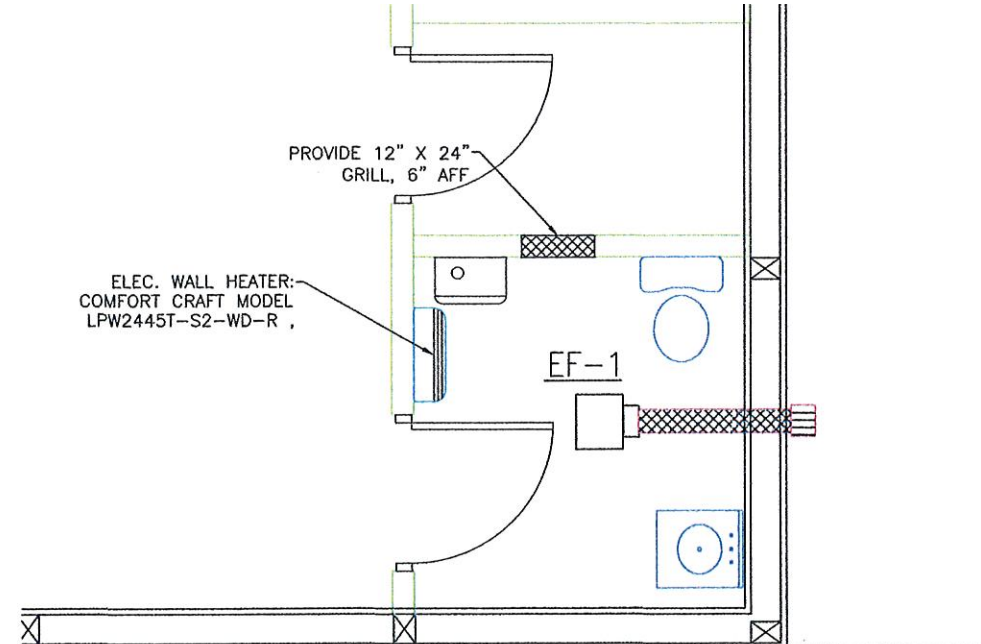
DATE

ANDREW SCHMIEDER, PE
11142 ALEXANDER ROAD, ATTICA, NY
(585) 297-3552

DRAWING TITLE:	ELECTRICAL DETAILS
PROJECT NAME:	STORAGE/RETAIL BUILDING
PROJECT ADDRESS:	111 CEDAR ST., BATAVIA, NY
CLIENT:	CEDAR STREET SALES
PROJECT NO.:	005-2019
PROJ. MGR.:	ADS
DATE:	4-17-19
DRWN. BY:	
SCALE:	AS NOTED
CHKD. BY:	ADS
DRAWING NO.:	E-2
SHEET NO.:	15 of 16



A PLUMBING LAYOUT
Scale: 1/2":1ft



B MECHANICAL LAYOUT
Scale: 1/2":1ft

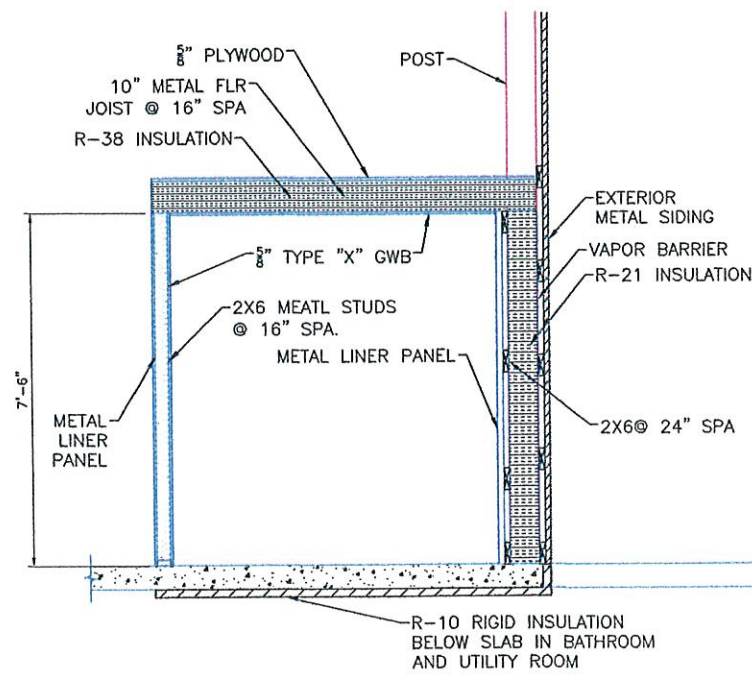
EXHAUST FAN SCHEDULE										
NUMBER	DRIVE	SERVICE	CFM	SP IN WG	RPM	ELECTRICAL			MAKE/ MODEL	NOTES
						VOLTS	PH.	WATTS		
EF-1	DIRECT	DRESSING ROOM	110	.10	950	115	1	80W	GREENHECK SP-B110	1-2

- NOTES:
- FURNISH COMPLETE WITH GREENHECK #WC WALL CAP
 - INTERLOCK FAN OPERATION WITH LIGHTING CONTROL
 - INTERLOCK FAN OPERATION WITH WALL MOUNTED THERMOSTAT

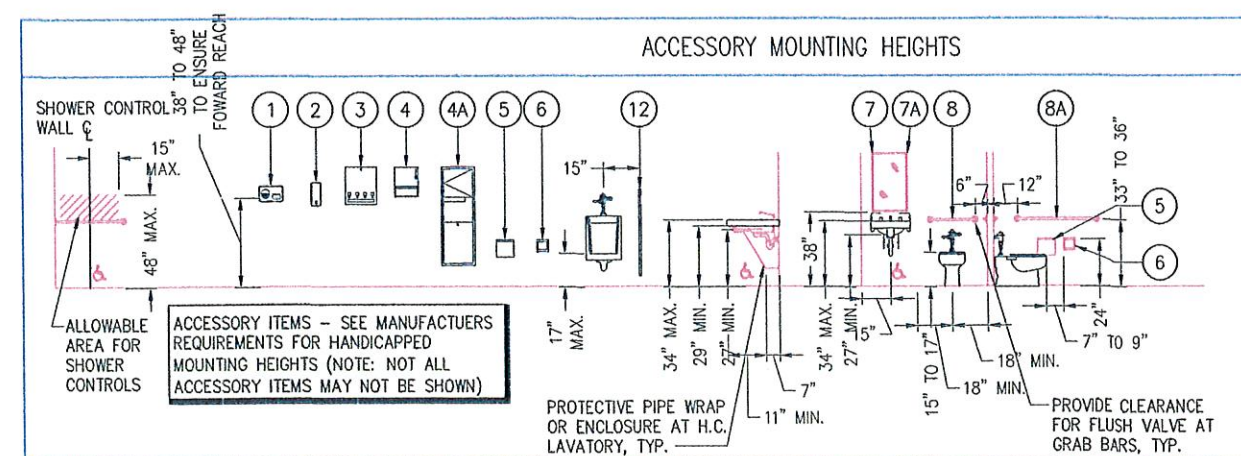
ELECTRIC WALL HEATER							
NUMBER	SUPPLY AIR (CFM)	WATTS	AMPS	ELECTRICAL			MAKE/MODEL
				VOLTS	PH.	HZ	
EH-1	185	3,500	9.4-18.8	208	1	60	COMFORT CRAFT MODEL LPW445T-S2-WD-R

- NOTES:
- FURNISH COMPLETE WITH LOW AMBIENT KIT
 - PROVIDE 6" (MIN) CONCRETE PAD FOR CONDENSER

TOILET ACCESSORIES SCHEDULE		
NO.	DESCRIPTION	REMARKS
1	HAND / HAIR DRYER	NOT REQUIRED
2	SOAP DISPENSER	
4A	PAPER TOWEL DISPENSER / WASTE RECEPTACLE (BY OWNER)	
6	TOILET TISSUE DISPENSER	
7	MIRROR	
7A	40"x30" MIRROR - HC	40" MAX MOUNTING HEIGHT
8	GRAB BAR - TOILET 36"	
8A	GRAB BAR - TOILET 42"	



C BATHROOM FRAMING
Scale: 1/2":1ft



UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209			
NO.	DATE	DESCRIPTION	REVISIONS
3			
2			
1			

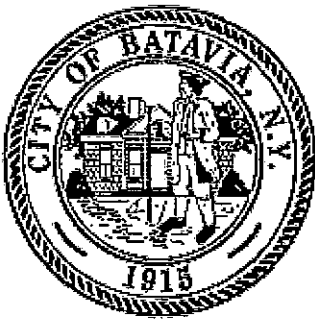


DATE

ANDREW SCHMIEDER, P.E.
11142 ALEXANDER ROAD, ATTICA, NY
(585) 297-3552

DRAWING TITLE: **MECH/PLUMBING PLAN**
PROJECT NAME: **STORAGE/RETAIL BUILDING**
111 CEDAR ST., BATAVIA, NY
CLIENT: **CEDAR STREET SALES**
151 CEDAR STREET, BATAVIA, NY

PROJECT NO.: 005-2019	PROJ. MGR. ADS
DATE: 4-15-19	DRWN. BY:
SCALE: AS NOTED	CHKD. BY: ADS
DRAWING NO: M-1	
SHEET NO. 16	of 16



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 4/29/19

Re: 43 Vernon Ave.
Tax Parcel No. 84.023-2-13

Zoning Use District: R-1A

The applicant, Charles Kohorst (contractor/agent for owner), has filed an application to remove an existing open porch and construct a new enclosed front porch with stairs and landing under an existing roof. Portions of the new structure will be located within the front yard clear space.

Note: This is a type II action as defined by Environmental Conservation Law and is not subject to review under SEQR 6 NYCRR Part 617.5 (c) (10).

Review and Approval Procedures:

Zoning Board of Appeals- Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

1) Required variances- Area BMC Sec. 190-29 A. and Schedule I

	<u>Required</u>	<u>Proposed</u>	<u>Difference</u>
Front yard clear space	20'	14.03	5.97'



CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

Received

25 M

APR 26 2019

City of Batavia
Inspection Bureau

PAID
MAY 20 2019
CITY OF BATAVIA
CLERK-TREASURER

Application No.: 19-04

Hearing Date/Time: _____

APPLICANT: Charles Kohorst Charles Kohorst@yahoo.com

Name: Charles Kohorst
Street Address: 922 Genesee St.
City: Corfu N.Y. State: N.Y.
E-Mail Address: Charles Kohorst@yahoo.com
Phone: 585-409-0881
Fax: 14036
Zip: 14036

STATUS: ☐ Owner ☐ Agent for Owner ☒ Contractor

OWNER: Richard and Mary Blevins

Name: Richard and Mary Blevins
Street Address: 43 Vernon Ave.
City: Batavia N.Y. State: N.Y.
E-Mail Address: _____
Phone: _____
Fax: 14036
Zip: 14036

LOCATION OF PROPERTY: 43 Vernon Ave.

DETAILED DESCRIPTION OF REQUEST: To rebuild enclosed porch that is sinking. Remove existing Enclosed porch and rebuild new Enclosed porch to drawing using 6x6 Posts 7'6" o.c., 2x8 floor joist, 2x6 walls, 3/4" subfloor OSB, R19 insulation 1/2" Drywall

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Applicant's Signature

Date: 04/25/2019

Owner's Signature

Date

To be Filled out by Zoning Officer

TAX PARCEL: 84.023-2-13 ZONING DISTRICT: R-1A FLOOD PLAIN: C

TYPE OF APPEAL: ☒ Area Variance ☐ Use Variance ☐ Interpretation ☐ Decision of Planning Committee
FEE: ☒ \$50 (One or Two Family Use) ☐ \$100 (All other Uses)

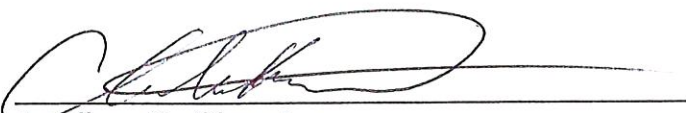
Provision(s) of the Zoning Ordinance Appealed: 190-29 A. and Schedule I - Front yard
Clear space is 20'

Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

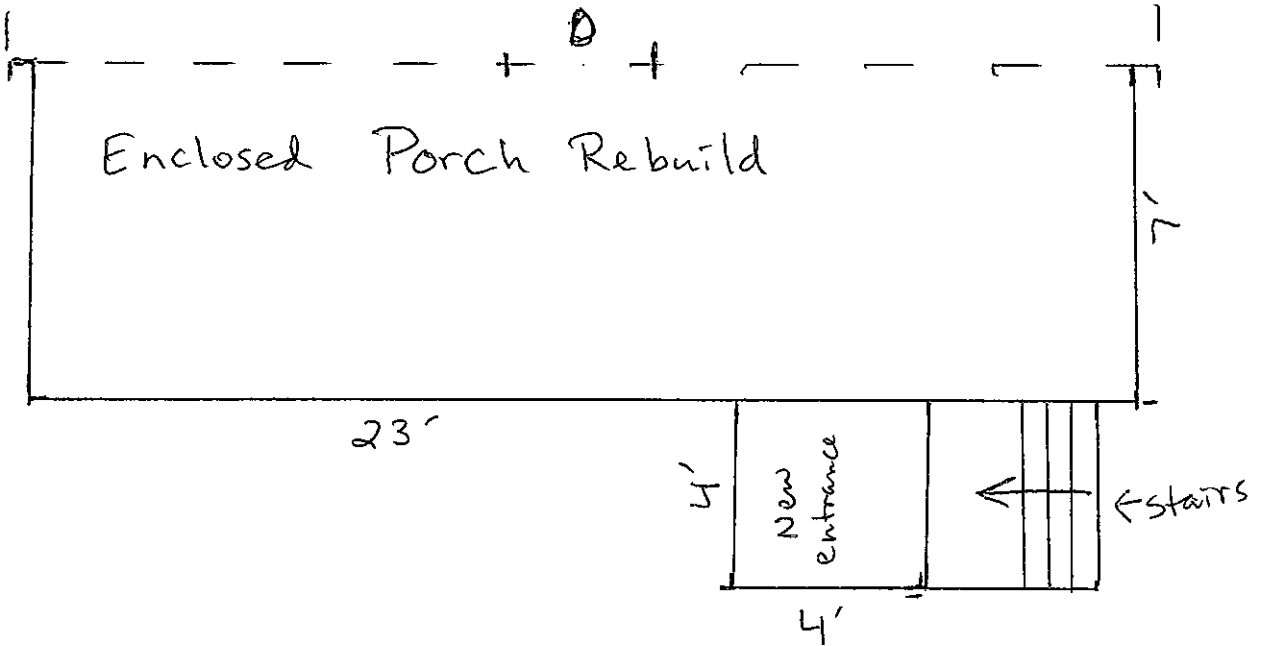
Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.
It is an entrance landing to enter enclosed porch and will be in line with other ones that already exist on the street.
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. The only other place to put it would bring it out into the driveway.
3. **Substantiality.** The requested area variance is not substantial. Seek to do a minimal size landing with stairs to enter enclosed porch.
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.
NO
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title.
NO


Applicant's Signature

09/25/2019
Date

Existing House



1/4" = 1'

